

BISON RIDGE
COMMUNITY GARDENS
COMMERCE CITY



LANDSCAPE NOTES:

1. LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.

2. ALL MATERIAL AND WORKMANSHIP SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF 12 MONTHS FOLLOWING THE SUBSTANTIAL COMPLETION DATE.

3. BEFORE COMMENCING WORK, CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AS A RESULT OF THE LANDSCAPE CONSTRUCTION.

4. PRIOR TO FINAL ACCEPTANCE, TEST THE IRRIGATION SYSTEM UNDER THE SUPERVISION OF THE OWNER.

5. PLANT LOCATIONS ARE APPROXIMATE ON PLANS AND SHALL BE FIELD VERIFIED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL CONFIRM UTILITY LOCATIONS PRIOR TO PLANTING AND SHALL AVOID PLANTING TREES ABOVE UTILITIES.

6. ALL TREES SHALL BE FIELD LOCATED WITH THE CLIENT AND/OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.

7. ALL B&B PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE, OR OTHER CONTAINMENT MATERIAL, EXCEPT FOR 100% HEMP BURLAP, REMOVED FROM THE TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING. REMOVE THE TOP 2/3 OF THE HEMP BURLAP AFTER PLACING PLANT IN THE PIT.

8. DO NOT STORE BULK MATERIALS NEAR STRUCTURES, OVER EXISTING PLANTING, OVER UTILITIES, WALKWAYS AND PAVEMENTS. PROVIDE EROSION CONTROL MEASURES TO PREVENT DISPLACEMENT OF BULK MATERIALS, DISCHARGE INTO WATERWAYS OR SEWERS, AND AIRBORNE DUST.

9. SOIL AMENDMENT:

a. ALL PLANTING AREAS SHALL RECEIVE 4 CUBIC YARDS PER 1,000 SQUARE FEET (MIN. 1 1/4" DEPTH) OF COMPOST. COMPOST SHALL BE TILLED WITH NATIVE SOIL TO A DEPTH OF 8 INCHES. ROLL AND RAKE SMOOTH. ENSURE NO ROCKS OR OTHER DEBRIS

EXCEEDING 3 INCHES IN DIAMETER REMAIN.

b. IF PREPARED SOIL OR PREPARED SUBGRADE IS RE-COMPACTED, RESTORE AS DIRECTED BY THE LANDSCAPE ARCHITECT.

c. BIOSOL, AN ORGANIC FERTILIZER, SHALL BE APPLIED AT A RATE OF 1,500 POUNDS PER ACRE TO REVEGETATED AREAS.

d. BACKFILL PLANT PITS WITH A MIX OF 80% NATIVE SOIL AND 20% COMPOST.

6. MULCH ENTIRE LANDSCAPE AREA TO A DEPTH OF 3 INCHES WITH THE MULCH TYPE(S) SPECIFIED ON THE PLANS.

7. MULCH SHALL NOT BE ABOVE OR MORE THAN 1/2 INCH BELOW ADJOINING SURFACE. MULCH SHALL BE HELD BACK 2-3 INCHES FROM THE STEMS AND TRUNKS OF PLANTS.

11. DURING PLANTING OPERATIONS, KEEP ADJACENT PAVING AREAS CLEAN AND PROTECTED FROM DAMAGE. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY.

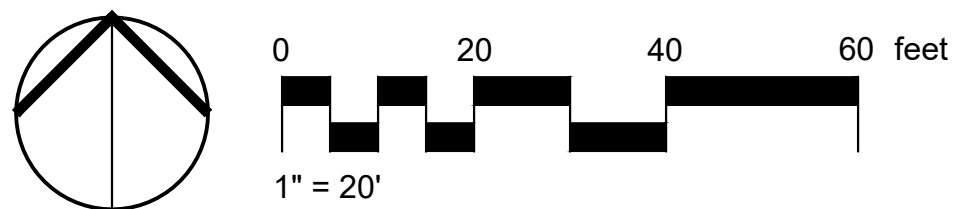
12. WARRANTY: INSTALLER AGREES TO WARRANTY PLANTING THAT FAILS IN MATERIALS, WORKMANSHIP OR GROWTH WITHIN A WARRANTY PERIOD OF 12 MONTHS FROM THE DATE OF PLANTING COMPLETION.

13. PLANT SYMBOLS SHALL DICTATE PLANT COUNT.

14. ALL LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE CONTRACTOR UNTIL FINAL OWNER ACCEPTANCE.
- UTILITY NOTES:
1. UTILITY LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

2. ALL PROPOSED TREES SHALL BE PLANTED AT LEAST 8 FEET FROM WET UTILITY LINES.
- SECTION TOWNSHIP RANGE:
- SECTION 06, TOWNSHIP 2 SOUTH, RANGE 66
WEST, 6TH PRINCIPAL MERIDIAN, COLORADO
- LEGAL DESCRIPTION:
- SUB:TURNBERRY FILING NO 1 BLK:13 LOT:1
(ENTIRE PARCEL TO CITY OF COMMERCE
CITY (EXEMPT) PER DEED IN RECEPTION NO
2015000059768. PRO-RATED FOR 201 DAYS
FOR 2015 AND FULL EXEMPTION FOR 2016.)
- OWNER'S SIGNATURE:
- I HEREBY CERTIFY THAT THE EROSION AND SEDIMENT CONTROL MEASURES FOR 11230 POTOMAC ST SHALL BE CONSTRUCTED ACCORDING TO THE DESIGN PRESENTED IN THIS DOCUMENT. I UNDERSTAND THAT ADDITIONAL EROSION CONTROL, SEDIMENT CONTROL AND WATER QUALITY ENHANCING MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN POLLUTANT DISCHARGES OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THE PLAN RUN WITH THE LAND AND SHALL BE THE OBLIGATION OF THE LAND OWNER AND/OR HIS SUCCESSORS OR HEIRS; UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED OR VOIDED.
- OWNER OR AUTHORIZED AGENT _____
- AUTHORIZED SIGNATURE _____
- VICINITY MAP:
-
- SHEET INDEX:
- | Pg # | Dwg # | Title |
|------|--------|------------------------------------|
| 1 | C1.0 | COVER |
| 2 | E1.0 | EXISTING CONDITIONS |
| 3 | D1.0 | DEMOLITION PLAN |
| 4 | ESC1.0 | EROSION & SEDIMENT CONTROL PLAN |
| 5 | ESC2.0 | EROSION & SEDIMENT CONTROL DETAILS |
| 6 | L1.0 | MATERIALS PLAN |
| 7 | L1.1 | LAYOUT PLAN |
| 8 | L1.2 | GRADING PLAN |
| 9 | L2.0 | DETAILS |
| 10 | L2.1 | DETAILS |
| 11 | L2.2 | DETAILS |
| 12 | L2.3 | DETAILS |
| 13 | L2.4 | DETAILS |
| 14 | L3.0 | PLANTING PLAN & SCHEDULE |
- PROJECT CONTACTS:
- OWNER**
CITY OF COMMERCE CITY, COLORADO
MILO HAY
303.289.3767
mhay@c3gov.com
- LANDSCAPE ARCHITECT**
SCJ STUDIO
JENA BIONDOLILO
303.842.9731
jena.biondolillo@scjalliance.com
- CONTRACTOR**
TBD
-
- | | | | | | | | | | |
|--|----|------|----------------------------|----------------------------|---|--|--|--|--|
| REVISIONS | BY | DATE | INITIAL STAKEHOLDER REVIEW | 90% CONSTRUCTION DOCUMENTS | | | | | |
| △ | | | | | | | | | |
| <div><div>SCJ ALLIANCE
CONSULTING SERVICES</div><div>5353 MANHATTAN CIRCLE, SUITE 202, BOULDER, CO 80303
P: 303.482.3180
SCJALLIANCE.COM</div></div> | | | | | | | | | |
| COVER | | | | | BISON RIDGE COMMUNITY GARDEN
11230 POTOMAC ST
COMMERCE CITY, CO | | | | |
| SHEET TITLE: PROJECT NAME: | | | | | | | | | |
| SEAL: | | | | | | | | | |
| DESIGNER:#### | | | | | | | | | |
| DRAWN BY:#### | | | | | | | | | |
| APPROVED BY:#### | | | | | | | | | |
| DATE: MARCH, 2026 | | | | | | | | | |
| JOB NO: 24-000531 | | | | | | | | | |
| DRAWING FILE NO: 24-000531_BISON-RIDGE_DEMO | | | | | | | | | |
| DRAWING NO: C1.0 | | | | | | | | | |
| SHEET NO: 1 OF 14 | | | | | | | | | |
- Jul 15, 2026 4:35:53pm - User: jena.biondolillo
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1. EXISTING SITE FEATURES, TREES, AND CONTOURS ARE APPROXIMATE BASED ON TOPOGRAPHIC SURVEY PERFORMED PRIOR TO RECREATION CENTER CONSTRUCTION AND RECREATION CENTER CONSTRUCTION DOCUMENTS.
2. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK.
3. CONTACT THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN SHOWN ON THIS PLAN.



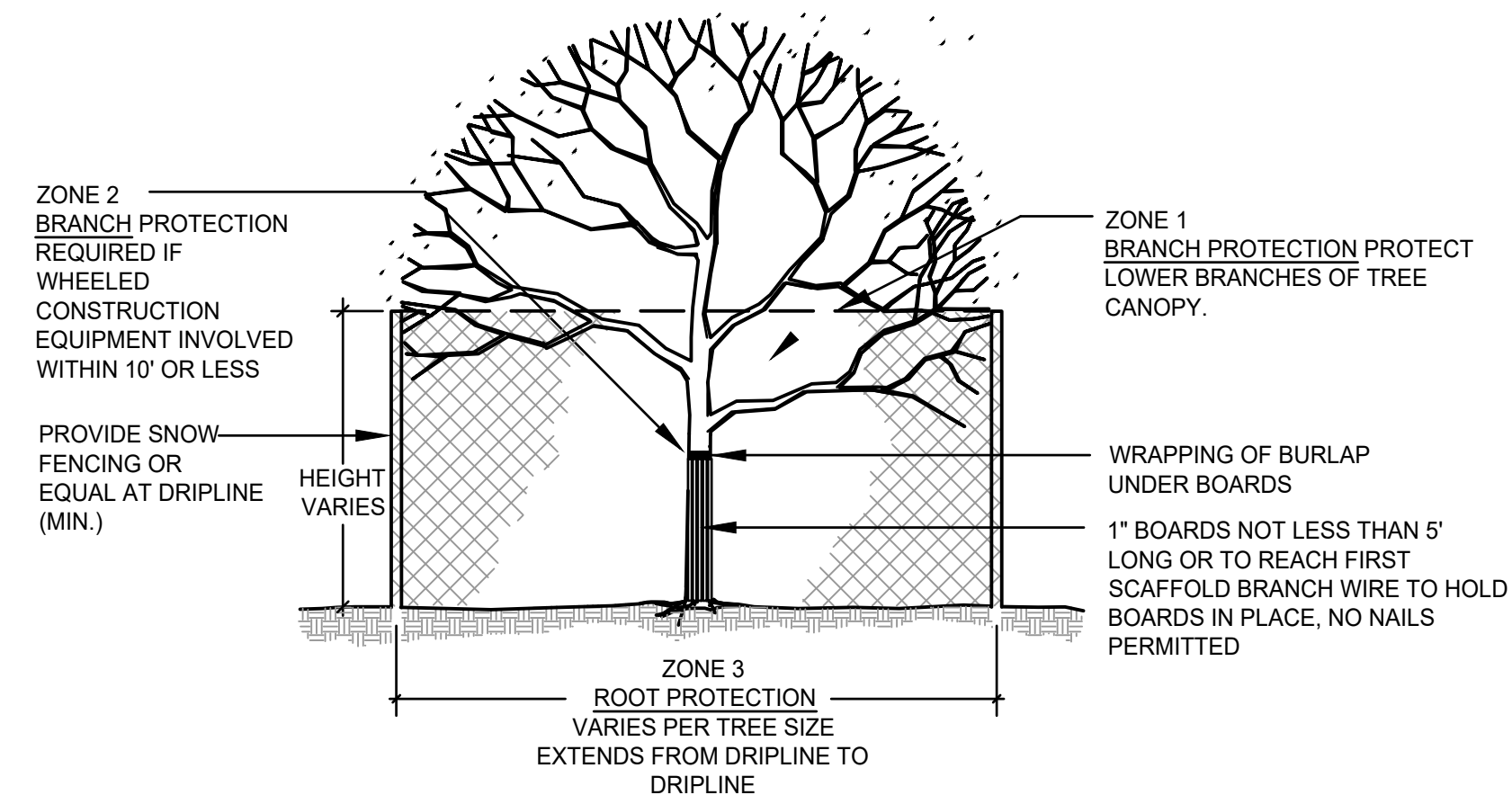
SHEET TITLE		EXISTING CONDITIONS		REVISIONS		DATE	BY
SEAL:		PROJECT NAME		INITIAL STAKEHOLDER REVIEW		3/17/2026	JB
DESIGNER:		BISON RIDGE COMMUNITY GARDEN		90% CONSTRUCTION DOCUMENTS		7/15/2026	JB
DRAWN BY:		11230 POTOMAC ST					
APPROVED BY:		COMMERCE CITY, CO					
DATE:							
JOB NO:							
DRAWING FILE NO:							
DRAWING NO:							
SHEET NO:							



THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

SITE DEMOLITION NOTES

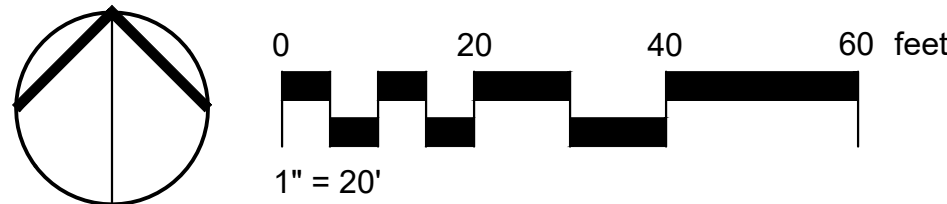
- ITEMS SHALL REMAIN UNLESS OTHERWISE DESIGNATED FOR REMOVAL. CONTRACTOR IS RESPONSIBLE FOR REPAIRING/REPLACING CONCRETE OR ANY OTHER ITEMS TO REMAIN THAT ARE DAMAGED DURING DEMOLITION AND CONSTRUCTION.
2. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED. COORDINATE DEMOLITION WORK WITH WORK TO BE PERFORMED UNDER THIS CONTRACT.
3. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
4. ALL CONCRETE AND ASPHALT REMOVAL SHALL BE SAW CUT. EDGES OF MATERIAL TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES TO BE DONE WITH CARE AND AT NO COST TO THE OWNER.
5. REMOVE AND DISPOSE OF EXISTING CONSTRUCTION DEBRIS WITHIN IMPROVEMENT AREAS PRIOR TO CONSTRUCTION. CONSTRUCTION DEBRIS DISPOSAL LOCATIONS AS INDICATED BY THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
6. SALVAGED ITEMS TO BE REMOVED WITH CARE, CLEANED, AND STORED ON SITE FOR FUTURE USE OR TRANSPORTED TO OFF SITE LOCATION AS DIRECTED BY OWNER.
7. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY AND LANDSCAPE ARCHITECT.
8. CONTACT THE LOCAL UNDERGROUND SERVICE FOR UTILITY LOCATIONS AND IDENTIFICATION PRIOR TO DEMOLITION.
9. PERFORM EXCAVATION IN THE VICINITY OF EXISTING UTILITIES BY HAND WHERE APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT OR TOOL RELATED TO THE EXECUTION OF THE CONTRACT.
10. TOPSOIL STOCKPILING:
 - 10.1. EXCAVATED TOPSOIL SHALL BE SALVAGED AND STOCKPILED. A FOUR TO SIX INCH STRIPPING DEPTH IS COMMON, BUT DEPTH WILL DEPEND ON THE SOIL PROFILE AT THE SITE. TOPSOIL STOCKPILED FOR FUTURE USE SHALL BE RELATIVELY FREE FROM LARGE ROOTS, STICKS, WEEDS, BRUSH, STONES LARGER THAN (1) INCH DIAMETER, OR OTHER LITTER AND WASTE PRODUCTS INCLUDING OTHER EXTRANEUS MATERIALS NOT CONDUCTIVE TO PLANT GROWTH.
 - 10.2. LOCATION OF ANY ON-SITE TOPSOIL STOCKPILES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION. STOCKPILE LOCATIONS SHALL BE IDENTIFIED TO AVOID SLOPES AND NATURAL DRAINAGEWAYS AND TO AVOID TRAFFIC ROUTES. TOPSOIL STOCKPILE SHALL BE LOCATED IN AREAS TO AVOID EROSION OF SAID STOCKPILE TO OFFSITE AREAS.
 - 10.3. TOPSOIL STOCKPILES ARE TO HAVE A MINIMUM 1.5 FEET HIGH (OR HIGHER) PERIMETER BERM AROUND THE CIRCUMFERENCE OF THE PILE FOR SEDIMENT CONTROL AND TOPSOIL CONSERVATION. CONSTRUCTION OF THE PERIMETER DITCH/BERM SHOULD PRECEDE ANY ACTIVITIES ASSOCIATED WITH MATERIAL PLACEMENT IN THE STOCKPILE. TOPSOIL STOCKPILE HEIGHT SHALL NOT EXCEED 10 FEET.
 - 10.4. USE SEDIMENT BARRIERS (STRAW BALES, SILT FENCES) AROUND THE PERIMETER OF THE STOCKPILE. APPLY TEMPORARY STABILIZATION TO THE STOCKPILE WITHIN SEVEN DAYS OF THE FORMATION OF THE STOCKPILE EITHER IN THE FORM OF TEMPORARY SEEDING OR MULCH IF IT IS TO REMAIN UNUSED FOR LONGER THAN 30 DAYS. IF STOCKPILE WILL NOT BE USED WITHIN 12 MONTHS, IT SHOULD BE STABILIZED THROUGH SEEDING OF PERMANENT VEGETATION SO AS TO MINIMIZE SOIL EROSION BY BOTH WIND AND WATER.
 - 10.5. FILL ALL HOLES DERIVED FROM FENCE POSTS REMOVAL. COMPACT SOILS TO PREVENT SETTLING.
11. IRRIGATION DEMOLITION:
 - 11.1. THE CONTRACTOR SHALL REVIEW THE AS-BUILT DRAWINGS OF BISON RIDGE RECREATION CENTER IRRIGATION SYSTEM PRIOR TO COMMENCING DEMOLITION.
 - 11.2. IRRIGATION MAINLINE AND LATERALS SHALL REMAIN IN PLACE WHERE POSSIBLE. IF THE MAINLINE NEEDS TO BE RE-ROUTED, THE CONTRACTOR SHALL COORDINATE THE NEW ALIGNMENT WITH THE OWNER'S REPRESENTATIVE
 - 11.3. REMOVE SPRAY HEADS WITHIN THE LIMIT OF WORK AND CAP LINES. CONTRACTOR TO COORDINATE THE RELOCATION OF SPRAY HEADS WITH THE OWNER'S REPRESENTATIVE.
 - 11.4. REFER TO PROPOSED IRRIGATION PLANS FOR LOCATION AND CONNECTION OF NEW DRIP IRRIGATION AND YARD HYDRANTS.



1) TREE PROTECTION DETAIL

 $1'' = 1''$

P-CI-COM-10



DEMOLITION PLAN		BISON RIDGE COMMUNITY GARDEN 11230 POTOMAC ST COMMERCE CITY, CO		PROJECT NAME:	
SHEET TITLE:		DESIGNER:		DRAWING FILE NO:	
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		MARCH, 2026			
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1. GRADING PLAN IS FOR ROUGH GRADING ONLY. CHANGES MAY BE NECESSARY TO BRING PLANS INTO CONFORMANCE WITH APPROVED DRAINAGE AND SITE PLAN.
2. A WATER TRUCK SHALL BE KEPT ON-SITE TO CONTROL WIND EROSION AND DUST.
3. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
4. NO GRADING SHALL TAKE PLACE IN ANY DELINEATED FLOOD HAZARD AREA UNTIL THE FINAL DRAINAGE PLAN HAS BEEN APPROVED AND ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
5. ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT WILL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. UPON WRITTEN NOTICE BY THE CITY, FAILURE TO REMOVE THE MUD OR DEBRIS BY THE CONTRACTOR WITHIN 24 HOURS SHALL CAUSE THE CITY TO STOP ALL WORK UNTIL THE SITUATION IS RESOLVED.
6. WHEN REQUIRED, A COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE), WATER QUALITY DIVISION, STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED AND A COPY SHALL BE SUBMITTED TO THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS.
7. AREAS DISTURBED BY GRADING SHALL BE MULCHED AND RESEEDED WITH NATIVE VEGETATION OR AS APPROVED ON THE PLAN.
8. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR SAFETY CONDITIONS ON AND ADJACENT TO THE SITE 24 HOURS A DAY, SEVEN DAYS A WEEK.
9. CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. (811 or 1-800-922-1987)
10. THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY OF COMMERCE CITY PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL COMPLIANCE WITH THE CITY'S STORMWATER QUALITY CONTROL CRITERIA. THE CITY ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED ABOVE) FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS.
11. THE ADEQUACY OF THIS ESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER.
12. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. COMMERCE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE APPROVED PLANS.
13. THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP's) SHALL BE IN ACCORDANCE WITH THE CITY APPROVED PLANS.
14. ANY VARIATION IN MATERIAL, TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMP'S FROM THE CITY APPROVED PLANS WILL REQUIRE APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE CITY OF COMMERCE CITY ENGINEERING DIVISION.
15. AFTER THE ESC PLAN HAS BEEN APPROVED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMP'S INDICATED ON THE ACCEPTED ESC PLAN.
16. THE FIRST BMP TO BE INSTALLED ON THE SITE SHALL BE CONSTRUCTION FENCE, MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM CORRIDORS AND OTHER AREAS TO BE PRESERVED.
17. AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMP'S, THE PERMITTEE SHALL CALL THE PUBLIC WORKS AT 303-289-8150 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE. THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE REQUESTED MEETING TIME. NO CONSTRUCTION ACTIVITIES SHALL BE PLANNED WITHIN 24 HOURS AFTER THE PRECONSTRUCTION MEETING.
18. THE ESC MANAGER SHALL BE CERTIFIED IN STORMWATER MANAGEMENT AND EROSION CONTROL AND DOCUMENTATION SHALL BE PROVIDED TO THE CITY.
19. THE OWNER OR OWNER'S REPRESENTATIVE, THE ESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTOR, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING. IF ANY OF THE REQUIRED PARTICIPANTS FAIL TO ATTEND THE PRECONSTRUCTION MEETING, OR IF THE INSTALLATION OF THE INITIAL BMP'S ARE NOT APPROVED BY THE CITY ESC INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING, WITH A CORRESPONDING DELAY IN THE START OF CONSTRUCTION. THE CITY STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF RECORD AT THE PRECONSTRUCTION MEETING.
20. CONSTRUCTION SHALL NOT BEGIN UNTIL THE CITY ESC INSPECTOR APPROVES THE INSTALLATION OF THE INITIAL BMP'S AND THE GRADING PERMIT IS OBTAINED FROM PUBLIC WORKS.
21. THE ESC MANAGER SHALL STRICTLY ADHERE TO THE APPROVED LIMITS OF CONSTRUCTION AT ALL TIMES. THE CITY OF COMMERCE CITY ENGINEERING DIVISION MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL EROSION/SEDIMENT CONTROLS MAY BE REQUIRED IN ANY ADDITIONAL AREAS OF CONSTRUCTION.
22. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS.
23. A COPY OF THE GRADING PERMIT AND APPROVED PLANS SHALL BE ON SITE AT ALL TIMES.
24. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE AND SHALL BE THE PERMITTEE'S CONTACT PERSON WITH THE CITY FOR ALL MATTERS PERTAINING TO THE GRADING PERMIT. THE ESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVAILABLE THROUGH A 24-HOUR CONTACT NUMBER.
25. THE ESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ONTO ADJACENT PAVED AREAS. PAVED AREAS, INCLUDING STREETS, ARE TO BE KEPT CLEAN THROUGHOUT

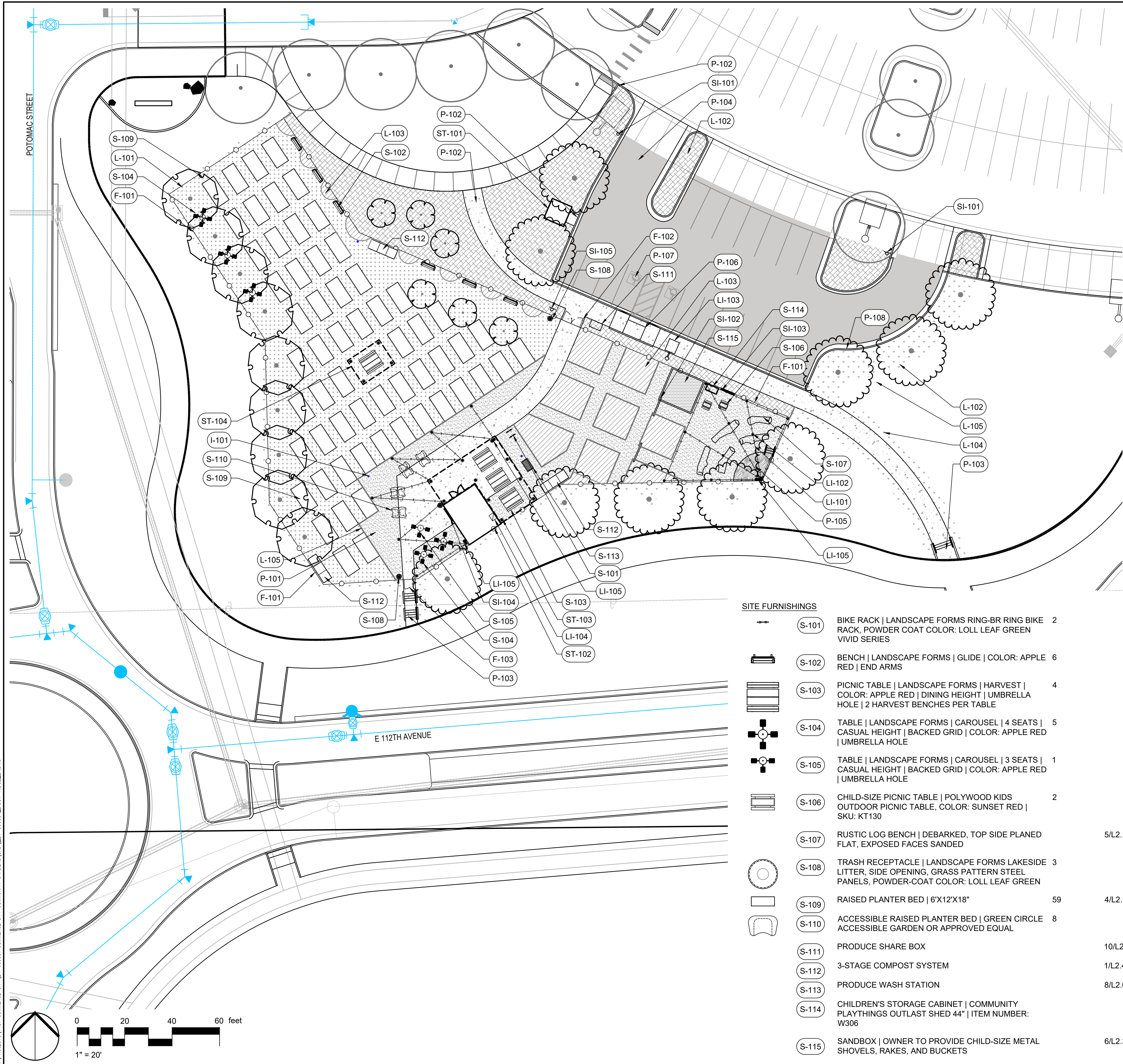
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The diagram shows a circular arch on the left and its elevation profile on the right. The arch is a semi-circle with a vertical line from the center to the top. The elevation profile is a stepped line with a horizontal axis labeled 0, 20, 40, and 60 feet. The profile starts at 0, goes up to 20, down to 10, up to 20, down to 10, up to 20, down to 10, up to 20, down to 10, up to 20, and finally down to 0 at 60 feet. A scale of 1" = 20' is indicated below the profile.

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SITE FURNISHINGS

	S-101	BIKE RACK LANDSCAPE FORMS RING-BR RING BIKE RACK, POWDER COAT COLOR: LOLL LEAF GREEN VIVID SERIES	2	
	S-102	BENCH LANDSCAPE FORMS GLIDE COLOR: APPLE RED END ARMS	6	
	S-103	PICNIC TABLE LANDSCAPE FORMS HARVEST COLOR: APPLE RED DINING HEIGHT UMBRELLA HOLE 2 HARVEST BENCHES PER TABLE	4	
	S-104	TABLE LANDSCAPE FORMS CAROUSEL 4 SEATS CASUAL HEIGHT BACKED GRID COLOR: APPLE RED UMBRELLA HOLE	5	
	S-105	TABLE LANDSCAPE FORMS CAROUSEL 3 SEATS CASUAL HEIGHT BACKED GRID COLOR: APPLE RED UMBRELLA HOLE	1	
	S-106	CHILD-SIZE PICNIC TABLE POLYWOOD KIDS OUTDOOR PICNIC TABLE, COLOR: SUNSET RED SKU: KT130	2	
	S-107	RUSTIC LOG BENCH DEBARKED, TOP SIDE PLANED FLAT, EXPOSED FACES SANDED	5	5/L2.1
	S-108	TRASH RECEPTACLE LANDSCAPE FORMS LAKESIDE LITTER, SIDE OPENING, GRASS PATTERN STEEL PANELS, POWDER-COAT COLOR: LOLL LEAF GREEN	3	
	S-109	RAISED PLANTER BED 6'X12'X18"	59	4/L2.1
	S-110	ACCESSIBLE RAISED PLANTER BED GREEN CIRCLE ACCESSIBLE GARDEN OR APPROVED EQUAL	8	
	S-111	PRODUCE SHARE BOX		10/L2.0
	S-112	3-STAGE COMPOST SYSTEM		1/L2.4
	S-113	PRODUCE WASH STATION		8/L2.0
	S-114	CHILDREN'S STORAGE CABINET COMMUNITY PLAYTHINGS OUTLAST SHED 44" ITEM NUMBER: W306		
	S-115	SANDBOX OWNER TO PROVIDE CHILD-SIZE METAL SHOVELS, RAKES, AND BUCKETS		6/L2.3

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY	DETAIL
FENCING				
	F-101	6' HT BLACK CHAINLINK FENCE	769 LF	1/L2.1
	F-102	8' WIDE DOUBLE GATE		3/L2.1
	F-103	4' WIDE SINGLE GATE		2/L2.1
IRRIGATION				
	I-101	FROST PROOF YARD HYDRANT WITH 75' HOSE RE: IRRIGATION PLAN AND DETAILS		/
LANDSCAPE				
	L-101	CEDAR CHIPS CEDAR MULCH, NO GREENS, TWIGS, OR OTHER DEBRIS	12,104 SF	4/L2.3
	L-102	ORNAMENTAL PLANTING BED AMENDED TOPSOIL AND ROCK MULCH SEE PLANTING PLAN	5,499 SF	
	L-103	IN-GROUND GARDEN BED AMENDED SOIL, PLANTS BY OTHERS	2,090 SF	
	L-104	NATIVE SEED TO EXTEND OF DISTURBANCE MATCH EXISTING	3,397 SF	
	L-105	STEEL EDGING 12 GAUGE X 6" LOCALLY SOURCES STEEL EDGE, COLOR: BROWN	566 LF	11/L2.0
LIGHTING				
	LI-101	STRING LIGHTS, 15'/30'/50'/100' LENGTHS; CONNECT END TO END TO ACHIEVE REQUIRED SPAN WITHOUT OVERLAP	520 LF	3/L2.3
	LI-102	STRING LIGHT MAST		3/L2.3
	LI-103	PARKING LOT LIGHT MATCH EXISTING		
	LI-104	ELECTRICAL PANEL		
	LI-105	GFCI OUTLET WITH OUTDOOR COVER		
PAVING				
	P-101	GRAVEL 1/4" MINUS CRUSHED ROCK	4,521 SF	11/L2.0
	P-102	CONCRETE FLATWORK	4,602 SF	5/L2.0
	P-103	CONCRETE STEPS WITH CHEEK WALL AND HANDRAIL		6/L2.0
	P-104	ASPHALT PAVING 3" THICK ASPHALT OVER 6" DEPTH COMPACTED ROAD BASE, REFER TO CITY STANDARD SPECIFICATIONS	7,666 SF	
	P-105	STAGE WOOD DECK	153 SF	1/L2.3
	P-106	ADA CURB RAMP WITH DETECTABLE WARNING STRIP		6/L2.1
	P-107	STRIPED ADA PARKING SPACES		
	P-108	CONCRETE CURB AND GUTTER	631 LF	
SIGNAGE & WAYFINDING				
	SI-101	"GARDEN PARKING ONLY" SIGN		4/L2.0
	SI-102	DECORATIVE METAL ARCH		9/L2.0
	SI-103	CHALKBOARD MOUNTED TO FENCE BILLYBOARDS OUTDOOR CHALKBOARD WITH PAINTED WOOD FRAME, 72" WIDTH X 48" HEIGHT, FRAME COLOR: SPANISH OLIVE		
	SI-104	BULLETIN BOARD MOUNTED TO SHED EXTREME WEATHERPLUS RADIUS EDGE ENCLOSED OUTDOOR BULLETIN BOARD WALL MOUNT, LOCKABLE 2 DOOR METAL DISPLAY CASE, 72" X 48" LANDSCAPE, SATIN SILVER FRAME, TAN FORBO, BREAK RESISTANT ACRYLIC, MULTI-COLOR PINS ITEM ID #: SCBBR234-WPLUS-7248		
	SI-105	GARDEN INFORMATION SIGN		2/L2.4
STRUCTURES				
	ST-101	PORTABLE RESTROOM ENCLOSURE MATCH CITY STANDARD		
	ST-102	STORAGE SHED 16' X 20' TUFF SHED PREMIER RANCH GARAGE WITH 10'X7' GARAGE DOOR AND GABLE VENTS, PAINT COLOR: GOBLIN WITH DELICATE WHITE TRIM, ROOF COLOR: WEATHERED WOOD APPROVED ALTERNATE MAY BE USED		3/L2.4
	ST-103	LARGE PERGOLA		1/L2.2
	ST-104	SMALL PERGOLA		2/L2.2

REVISIONS	BY	DATE	DESCRIPTION
	JB	3/17/2026	INITIAL STAKEHOLDER REVIEW
	JB	7/15/2026	90% CONSTRUCTION DOCUMENTS

SCJ ALLIANCE
CONSULTING SERVICES
5353 MANHATTAN CIRCLE, SUITE 202, BOULDER, CO 80303
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SCJALLIANCE.COM

MATERIALS PLAN

BISON RIDGE COMMUNITY GARDEN
11230 POTOMAC ST
COMMERCE CITY, CO

SHEET TITLE

PROJECT NAME

DESIGNER: ###

DRAWN BY: ###

APPROVED BY: ###

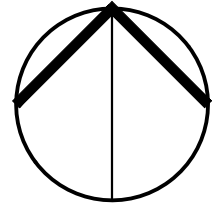
DATE: MARCH, 2026

JOB NO: 24-000531

DRAWING FILE NO: 24-000531_BISON-RIDGE_LA

DRAWING NO: L1.0

SHEET NO: 6 OF 14



0 20 40 60 feet

1" = 20'

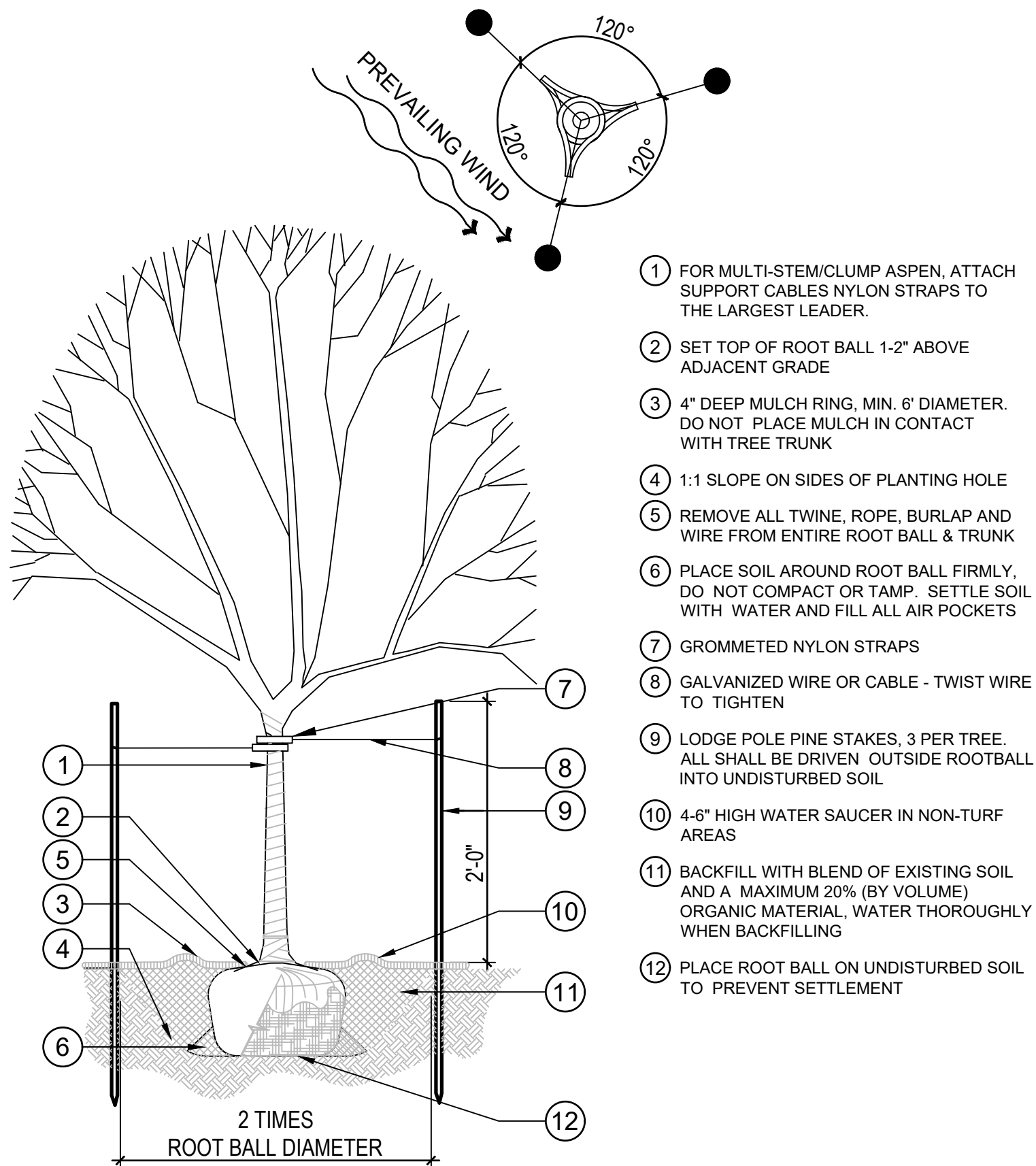
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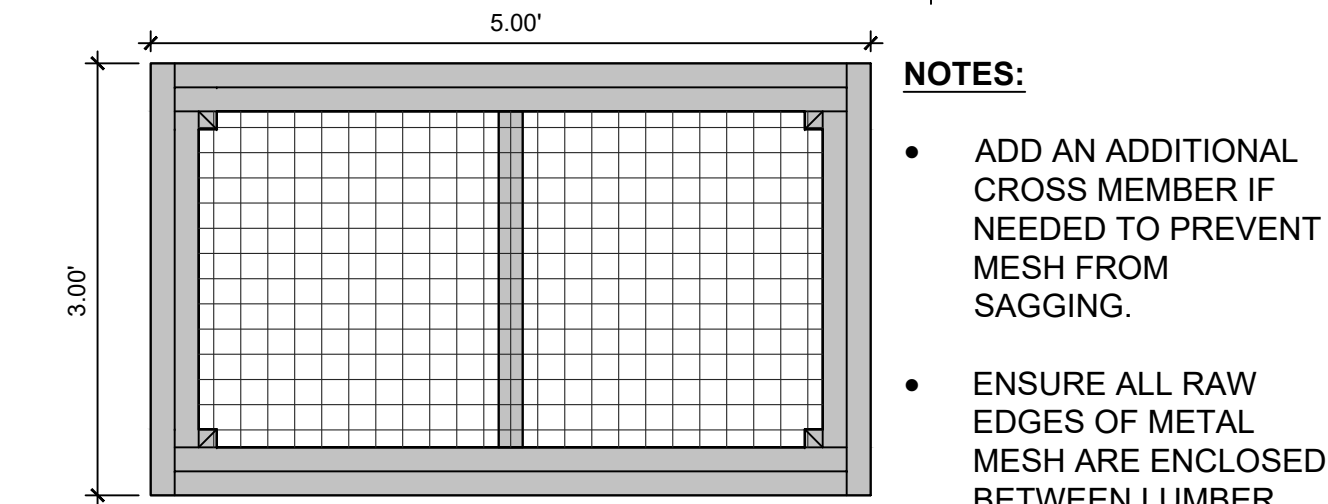
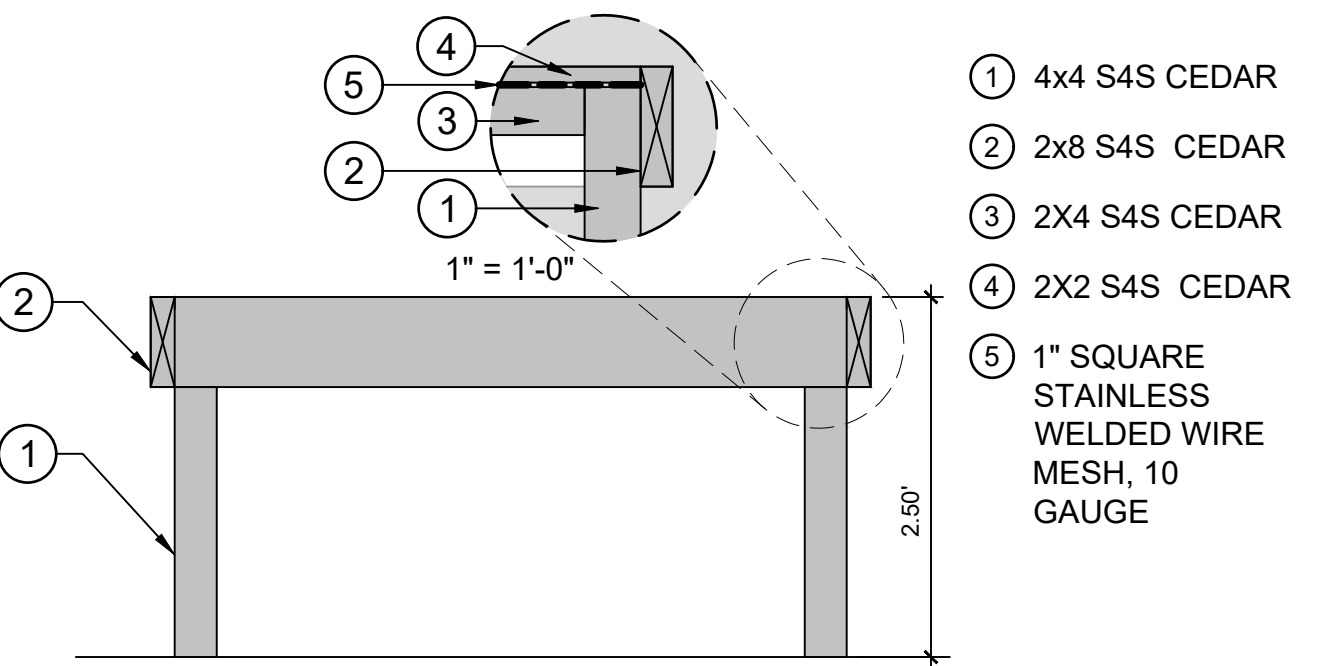
1. EXISTING CONTOURS SHOWN ON THE PLAN ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. EXISTING GRADES SHOULD BE VERIFIED IN THE FIELD. IF ACTUAL EXISTING GRADE DIFFERS SIGNIFICANTLY FROM THE PLAN, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING CONSTRUCTION WORK.
2. PROPOSED SPOT ELEVATIONS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT FINISH GRADES ARE WITHIN ACCEPTABLE SLOPE RANGES AS DESCRIBED IN THE FOLLOWING NOTES.
3. MINIMUM SLOPE ON ALL CONCRETE FLATWORK IS 1% FOR DRAINAGE.
4. MAXIMUM CROSS-SLOPE ON ALL CONCRETE FLATWORK IS 2% PER ADA STANDARDS.
5. MAXIMUM RUNNING SLOPE ON ALL CONCRETE PATHS IS 5% PER ADA STANDARDS.
6. GRAVEL AND WOOD CHIP WALKWAYS TO BE MINIMUM 2% SLOPE AND MAXIMUM 5% SLOPE.
7. PLANTING BEDS TO BE MINIMUM 2% SLOPE AND MAXIMUM 25% SLOPE.
8. SLOPES BENEATH AND WITHIN 3 FEET OF FURNITURE SHALL BE MAXIMUM 2%.
9. WHERE NEW CONCRETE FLATWORK MEETS EXISTING CONCRETE THE FINISH GRADE OF NEW CONCRETE SHALL MATCH EXISTING GRADE.
10. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONCRETE FLATWORK MEETS ADA STANDARDS
11. FINISH GRADE WITHIN EXISTING TREE DRIPLINES SHALL NOT BE MORE THAT 6" HIGHER OR LOWER THAN EXISTING GRADE. DO NOT DISTURB EXISTING ROOTS.
12. GRADING SHALL BE LIMITED TO THE AREA WITHIN THE LIMIT OF GRADING. FEATHER GRADING AT THE EDGE OF DISTURBANCE TO MATCH EXISTING GRADE AND NATURAL APPEARANCE.

DESIGNER: ###		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	
DRAWN BY: ###		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	
APPROVED BY: ###		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	
DATE: MARCH, 2026		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	
JOB NO: 24-000531		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	
DRAWING FILE NO: 24-000531_BISON-RIDGE_LA		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	
DRAWING NO: L1.2		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	
SHEET NO: 8 OF 14		PROJECT NAME:		GRADING PLAN		BISON RIDGE COMMUNITY GARDEN		SCJ ALLIANCE CONSULTING SERVICES		REVISIONS		DATE		BY	

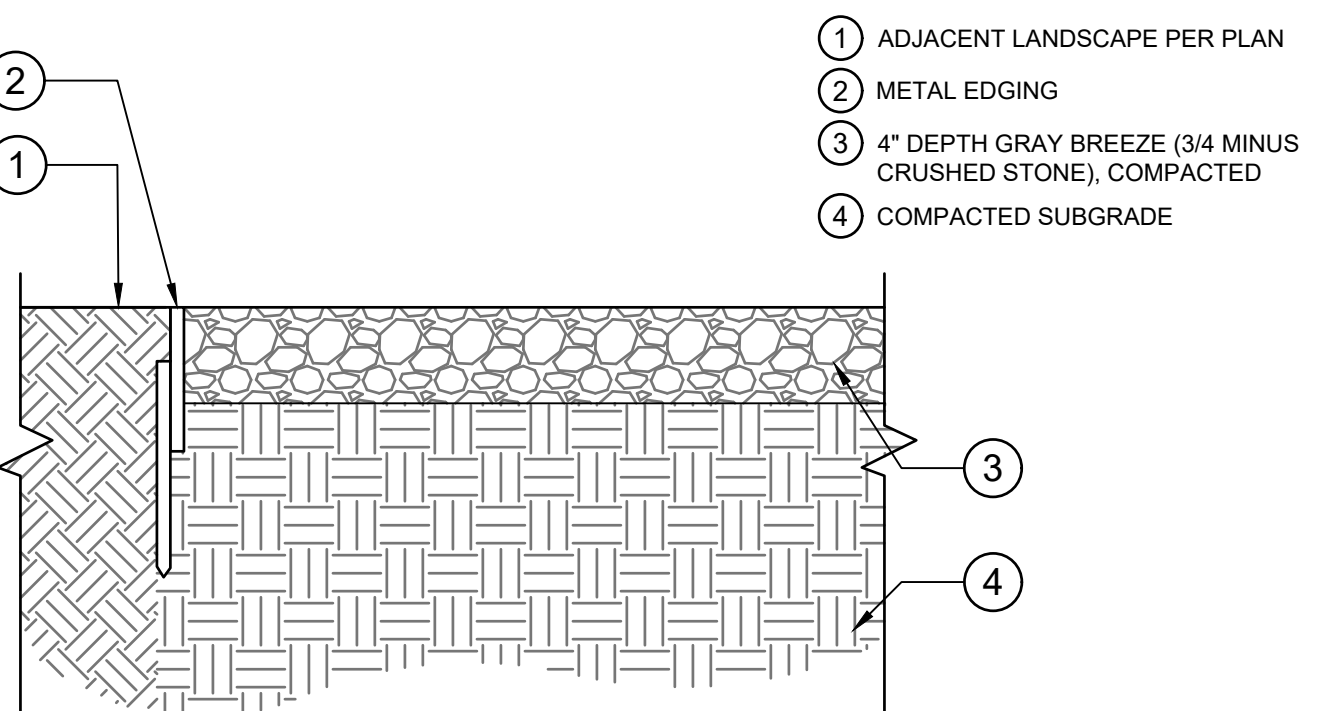
PLAN VIEW - TREE STAKES



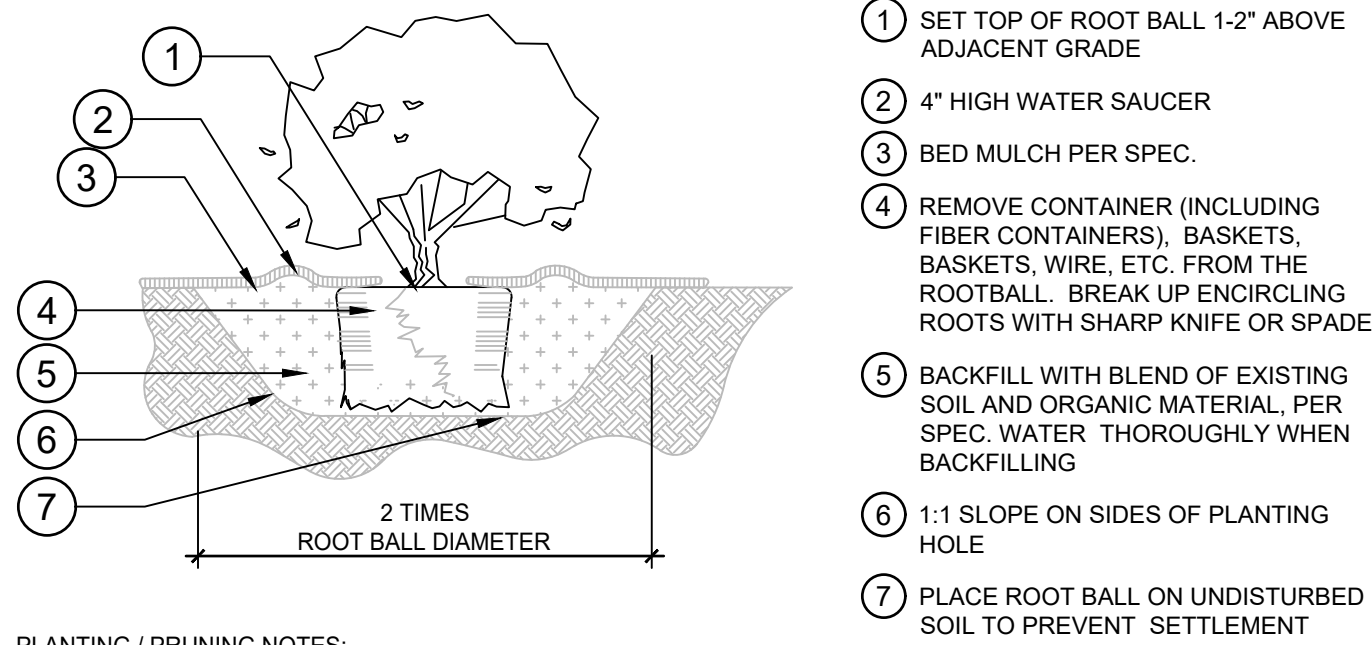
1 DECIDUOUS TREE PLANTING
NOT TO SCALE
P-CI-COM-11



8 PRODUCE WASH STATION
3/4" = 1'-0"
P-CI-COM-55



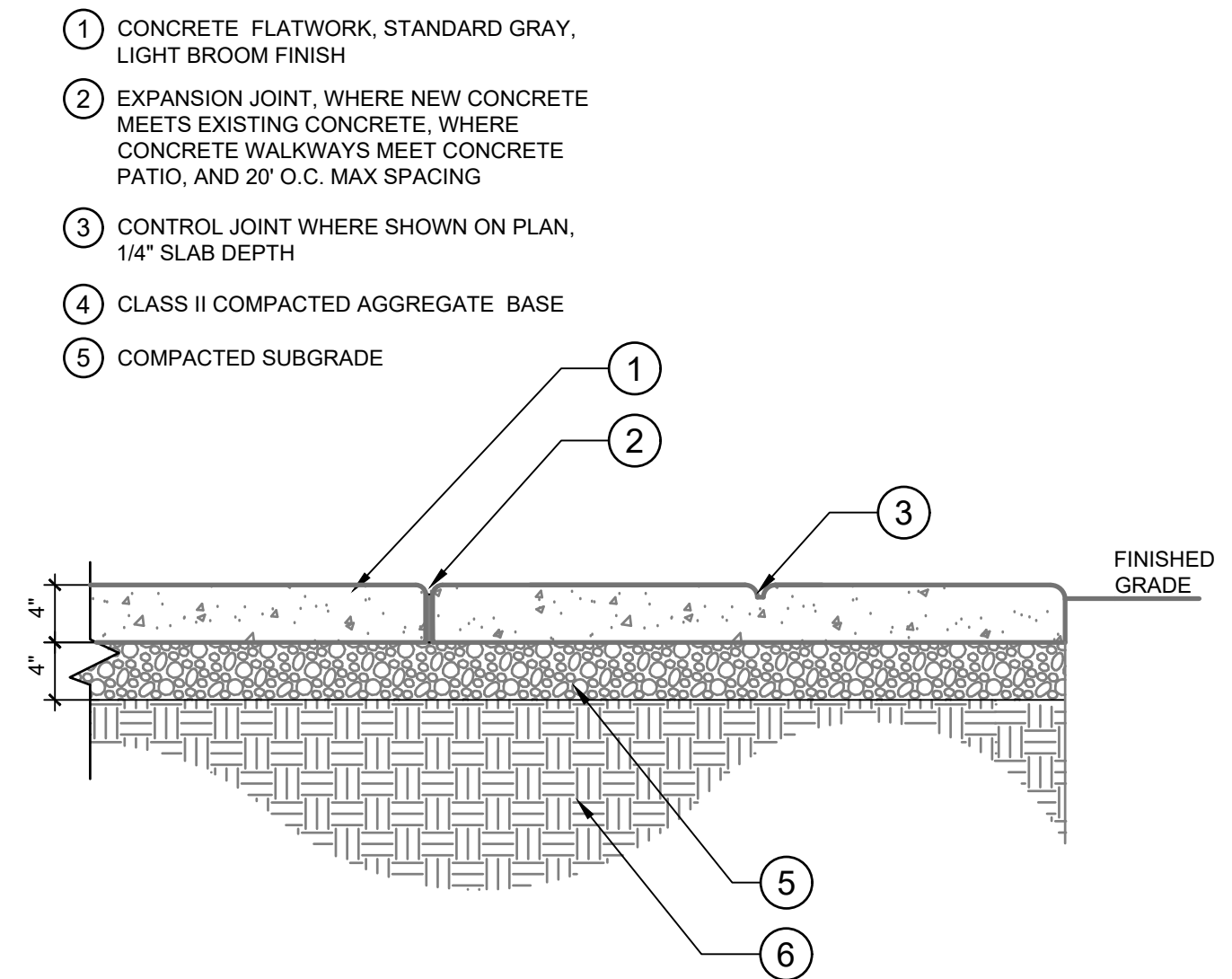
11 CRUSHED STONE & METAL EDGING
1 1/2" = 1'-0"
P-CI-COM-03



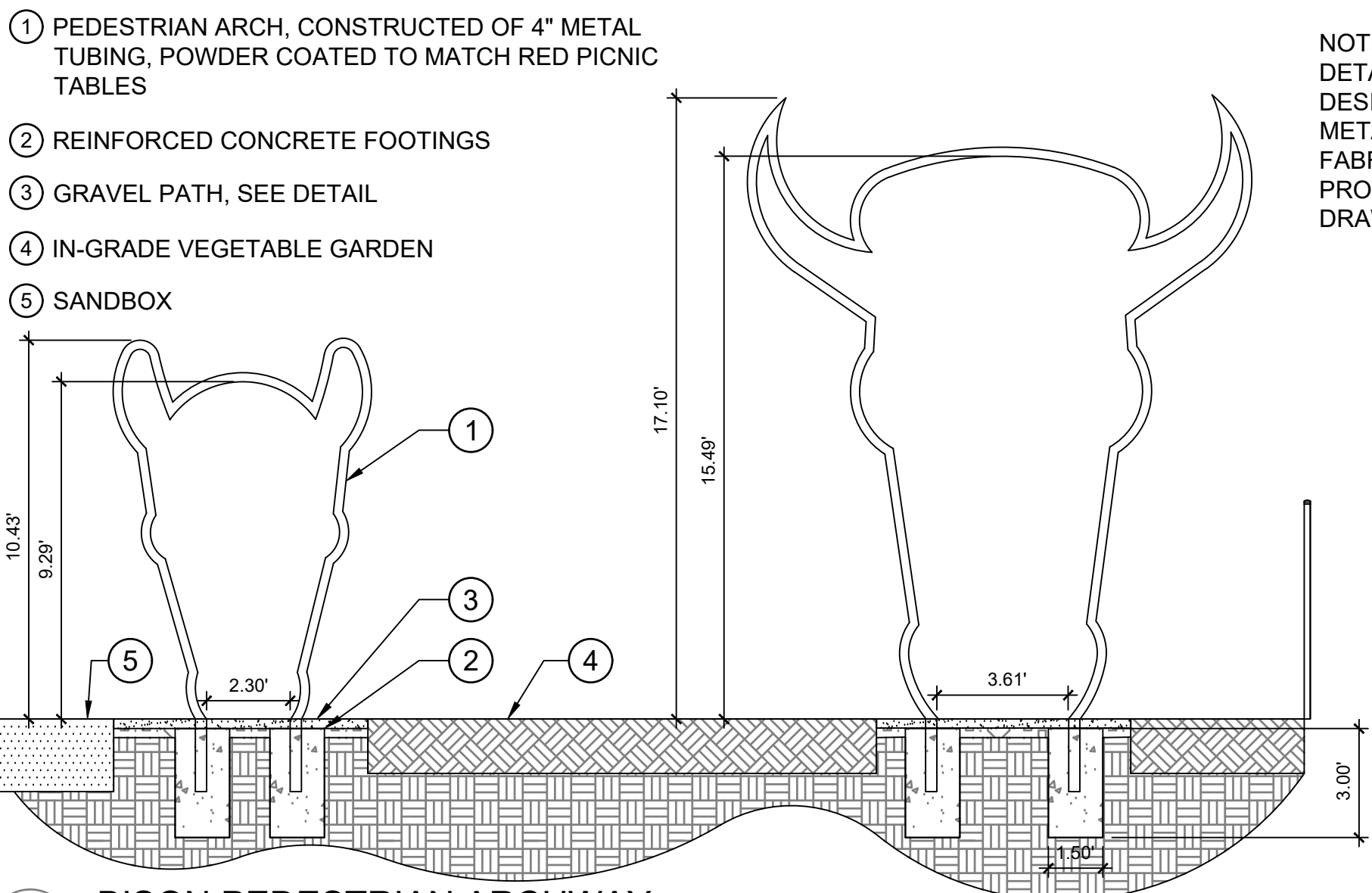
PLANTING / PRUNING NOTES:
1. DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.
2. ROOT BOUND PLANTS ARE NOT ACCEPTABLE FOR PLANTING AND WILL BE REJECTED.

PLACEMENTS NOTES:
SET SHRUB PLUMB. SPACE PLANTS AND PLACE FOR BEST EFFECT.

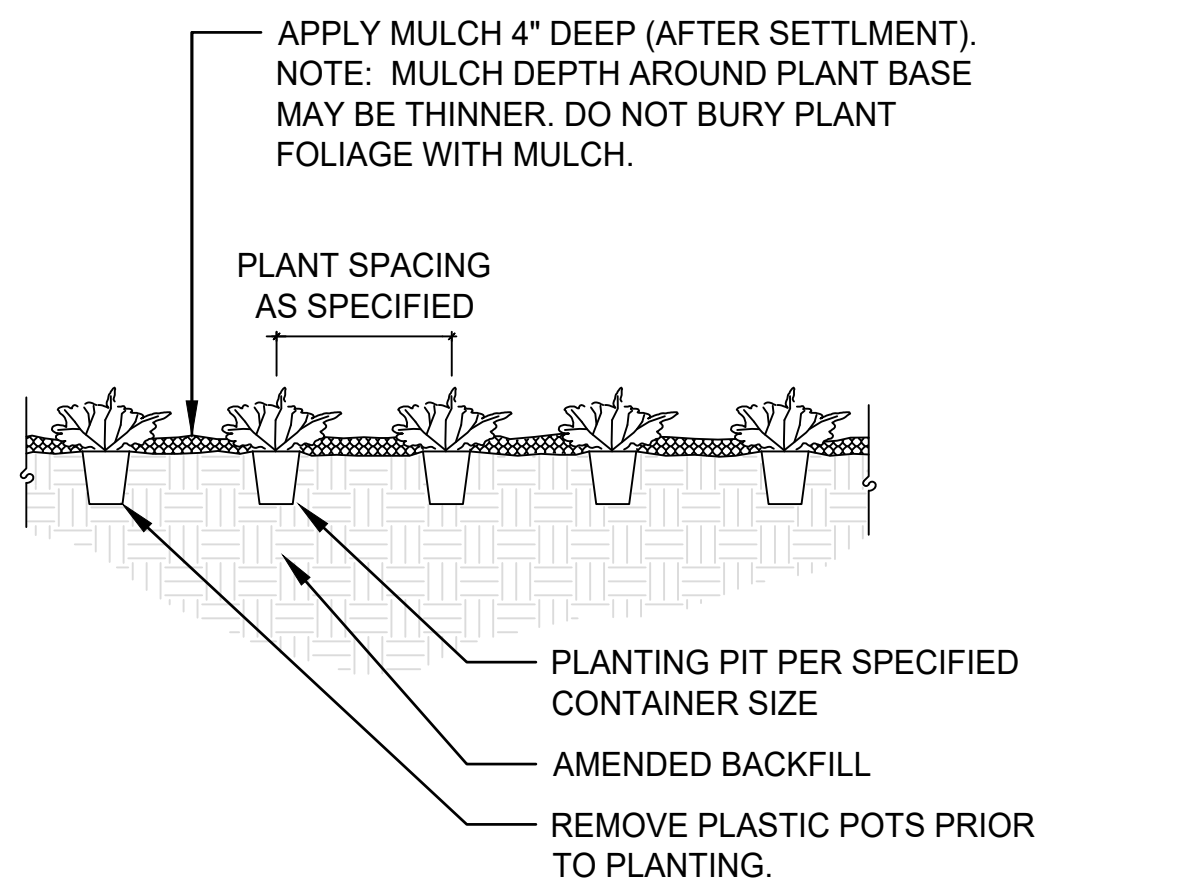
2 SHRUB & ORNAMENTAL GRASS PLANTING
NOT TO SCALE
P-CI-COM-14



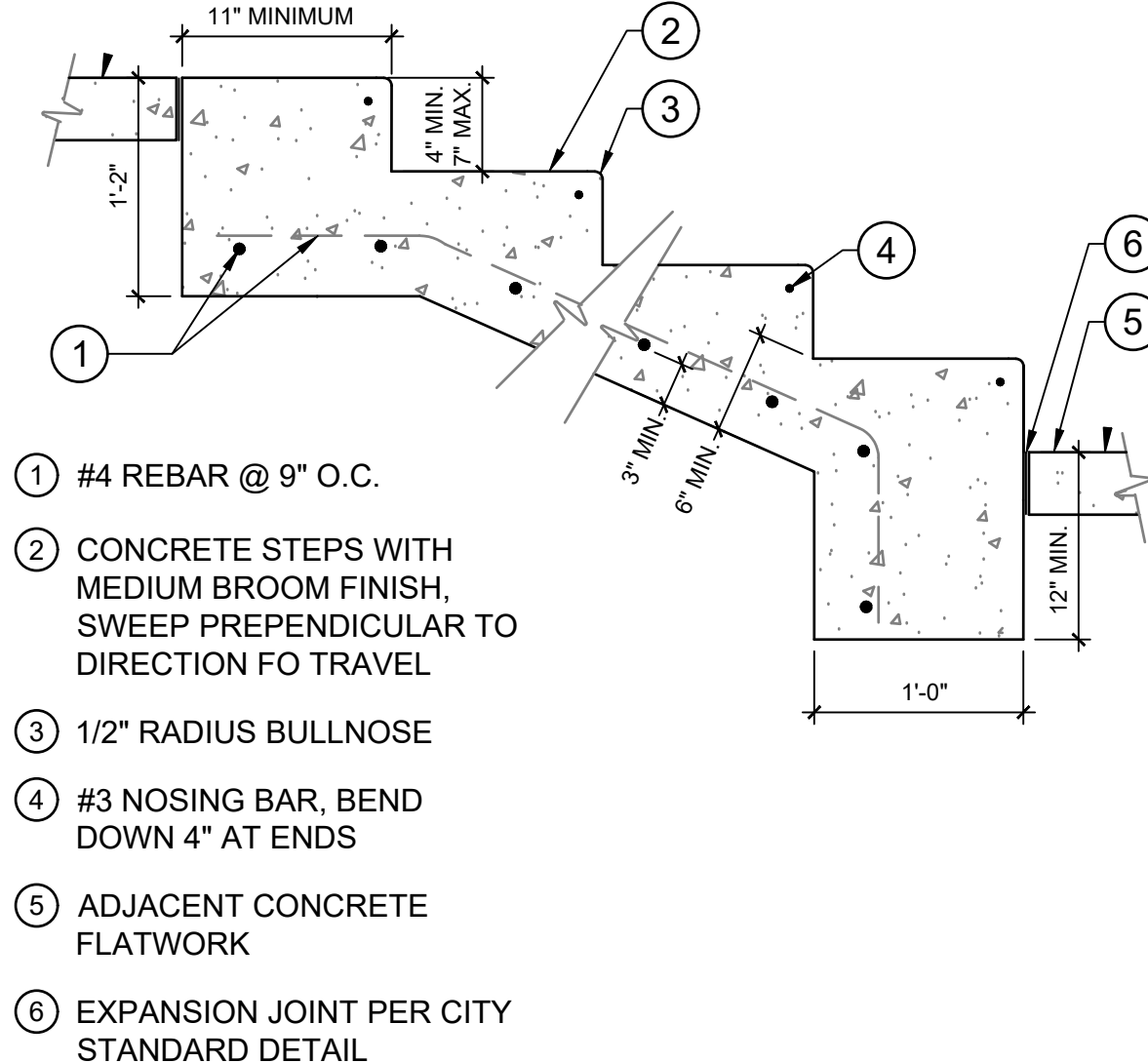
5 CONCRETE FLATWORK
1" = 1'-0"
P-CI-COM-07



9 BISON PEDESTRIAN ARCHWAY
1/4" = 1'-0"
P-CI-COM-56

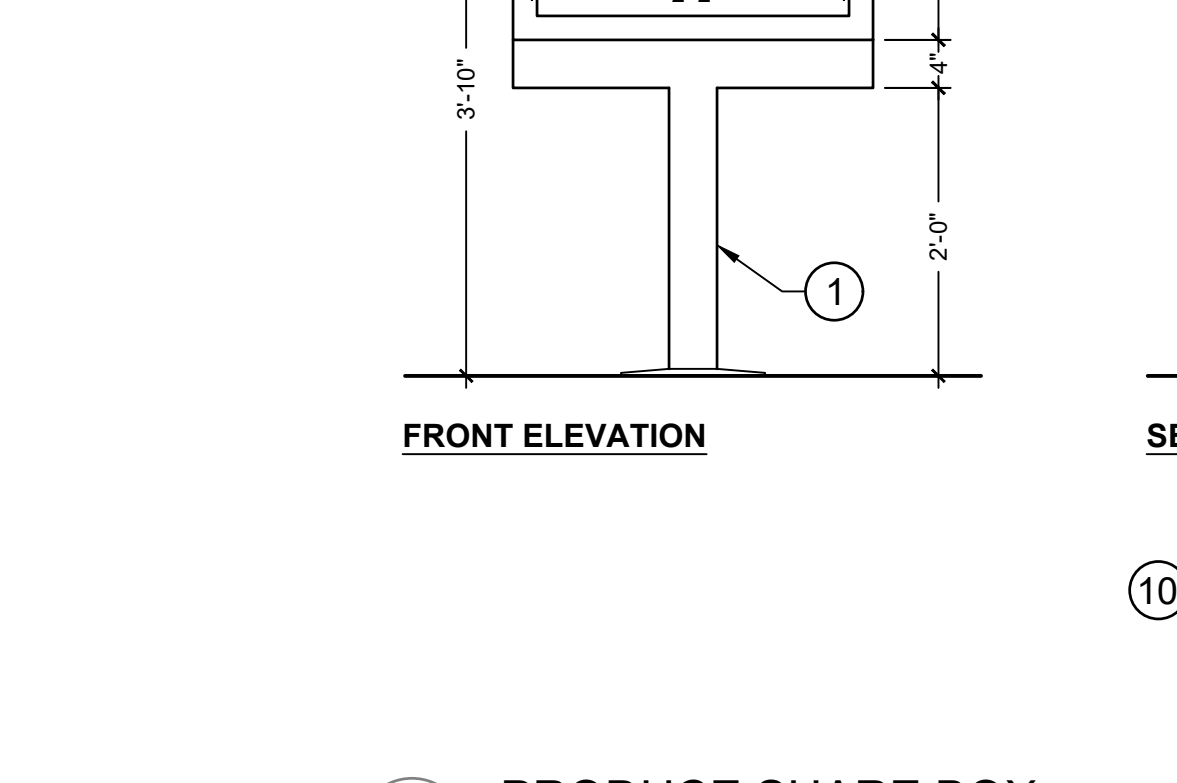


3 PERENNIAL & GROUNDCOVER PLANTING
NOT TO SCALE
P-CI-COM-16

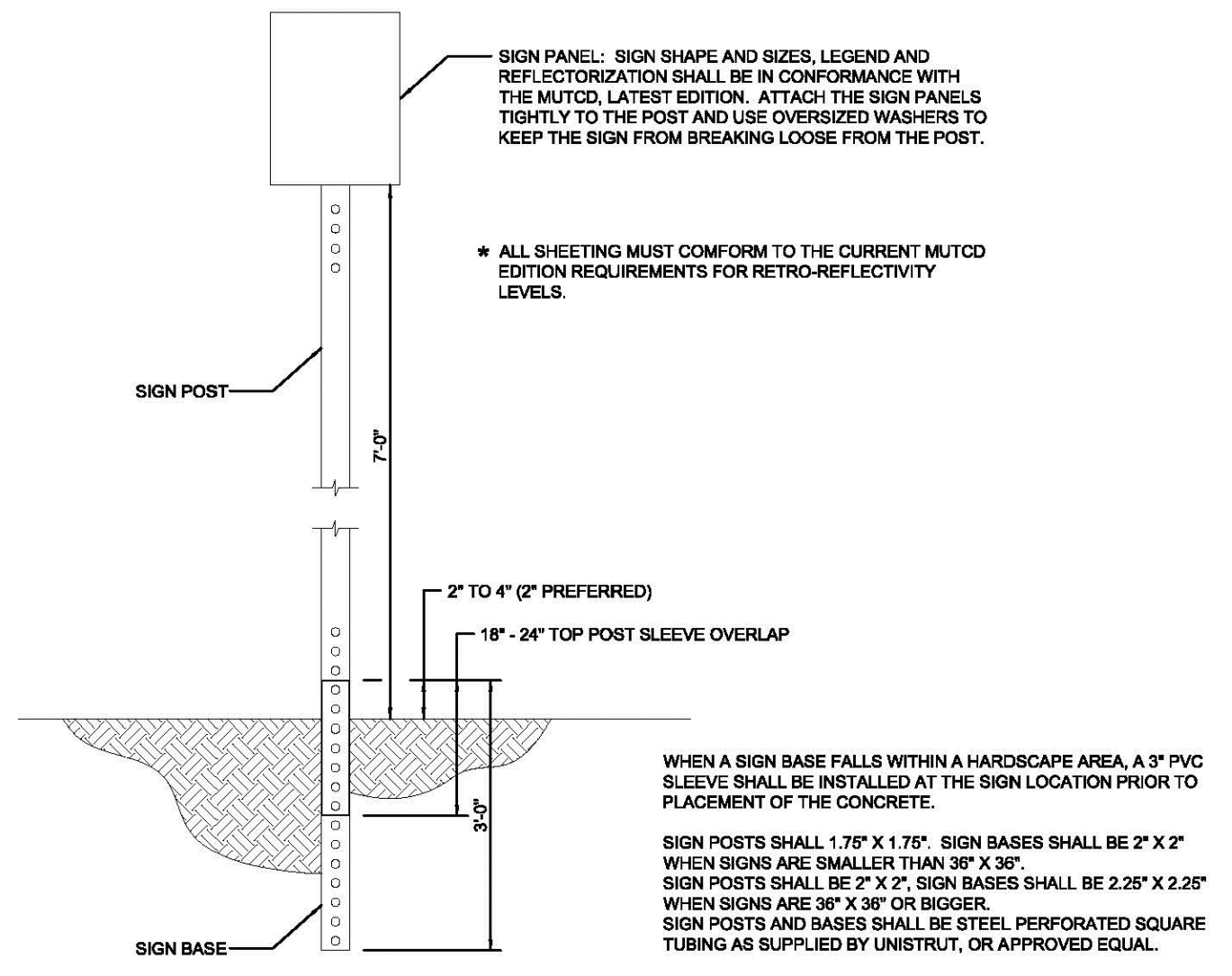


6 CONCRETE STAIRS
1" = 1'-0"
P-CI-COM-02

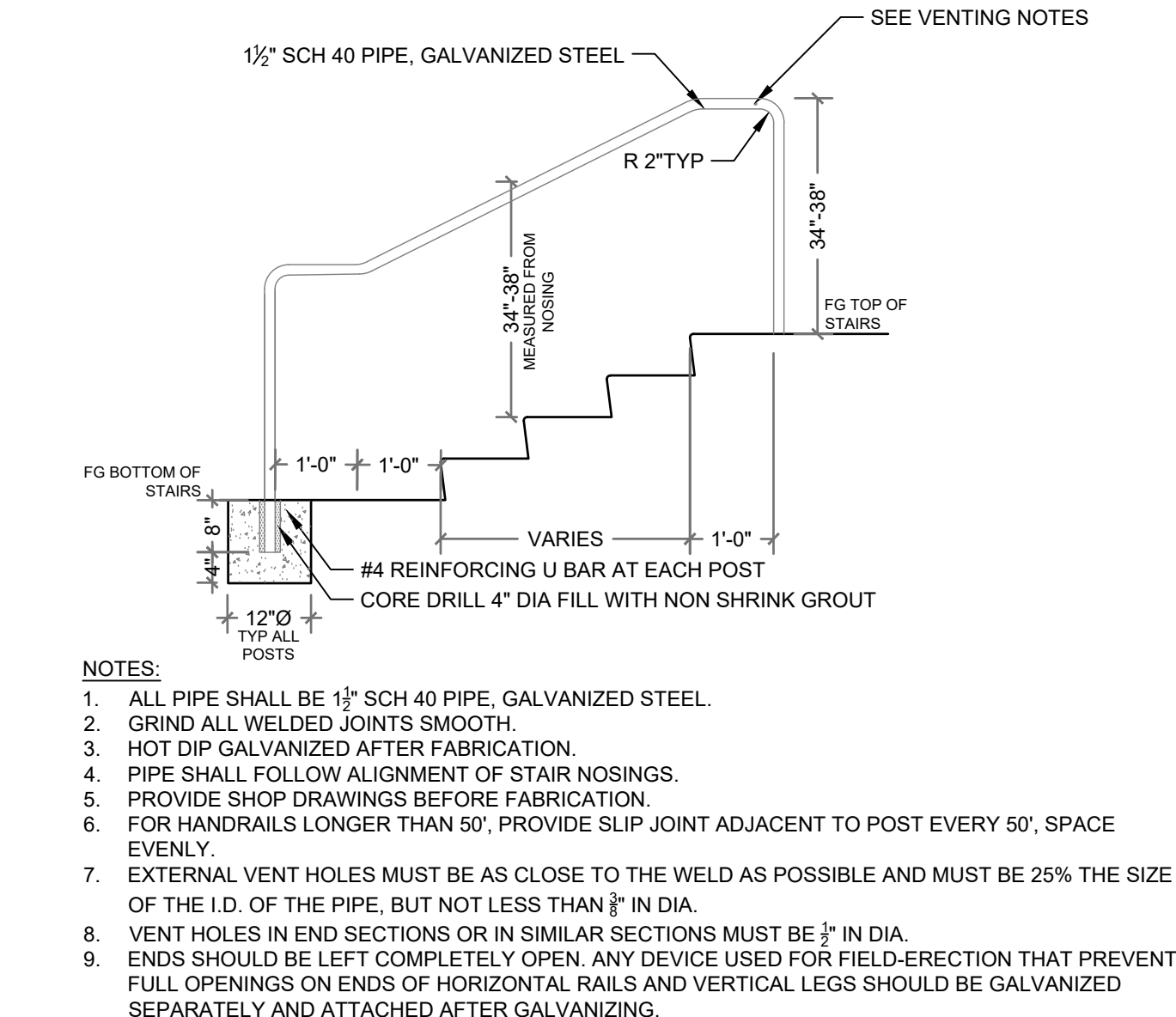
NOTES:
DETAIL FOR DESIGN INTENT.
METAL FABRICATOR TO PROVIDE SHOP DRAWINGS



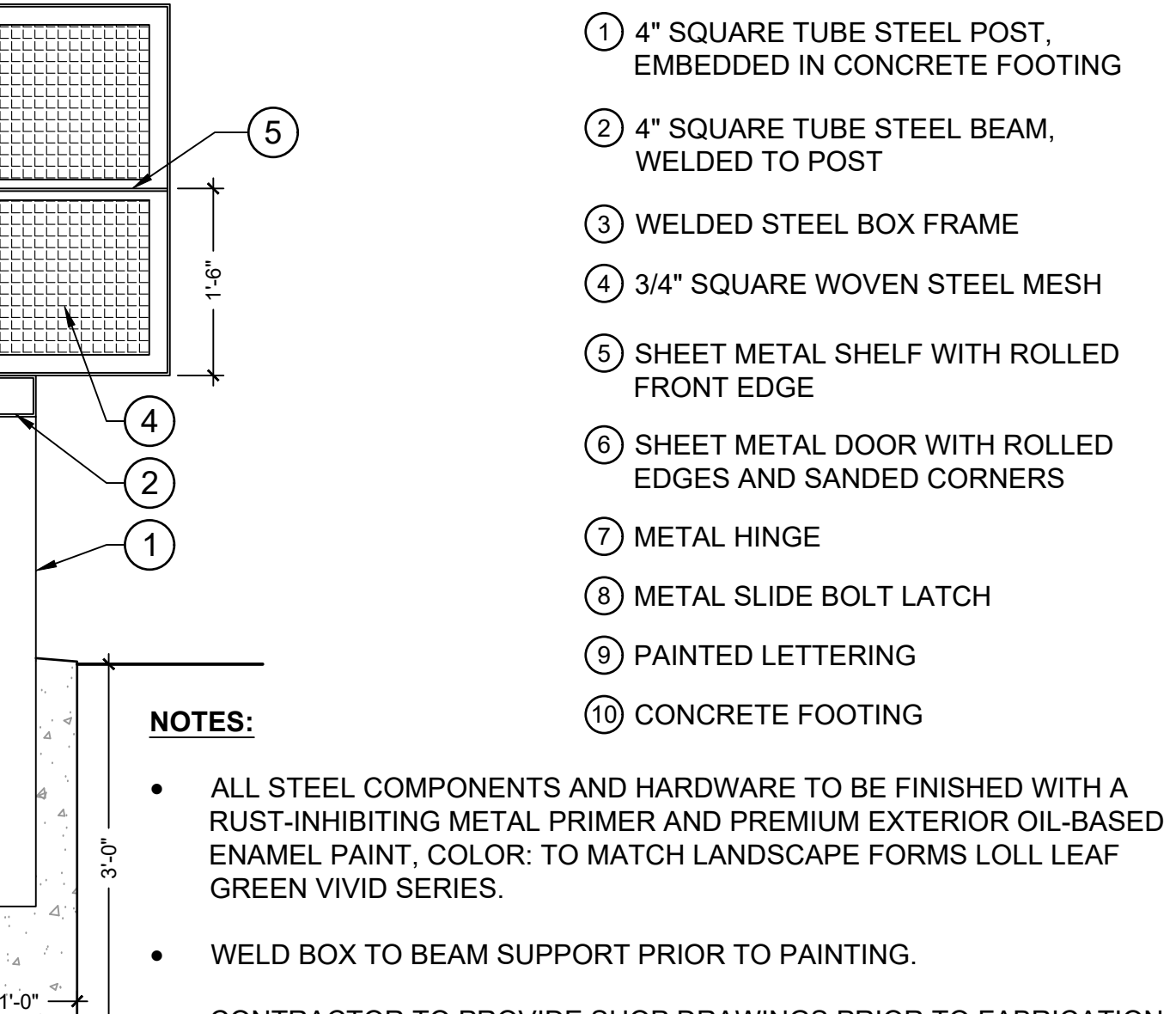
10 PRODUCE SHARE BOX
3/4" = 1'-0"
P-CI-COM-12



4 CITY STANDARD SIGN POST & BASE
NOT TO SCALE
P-CI-COM-59

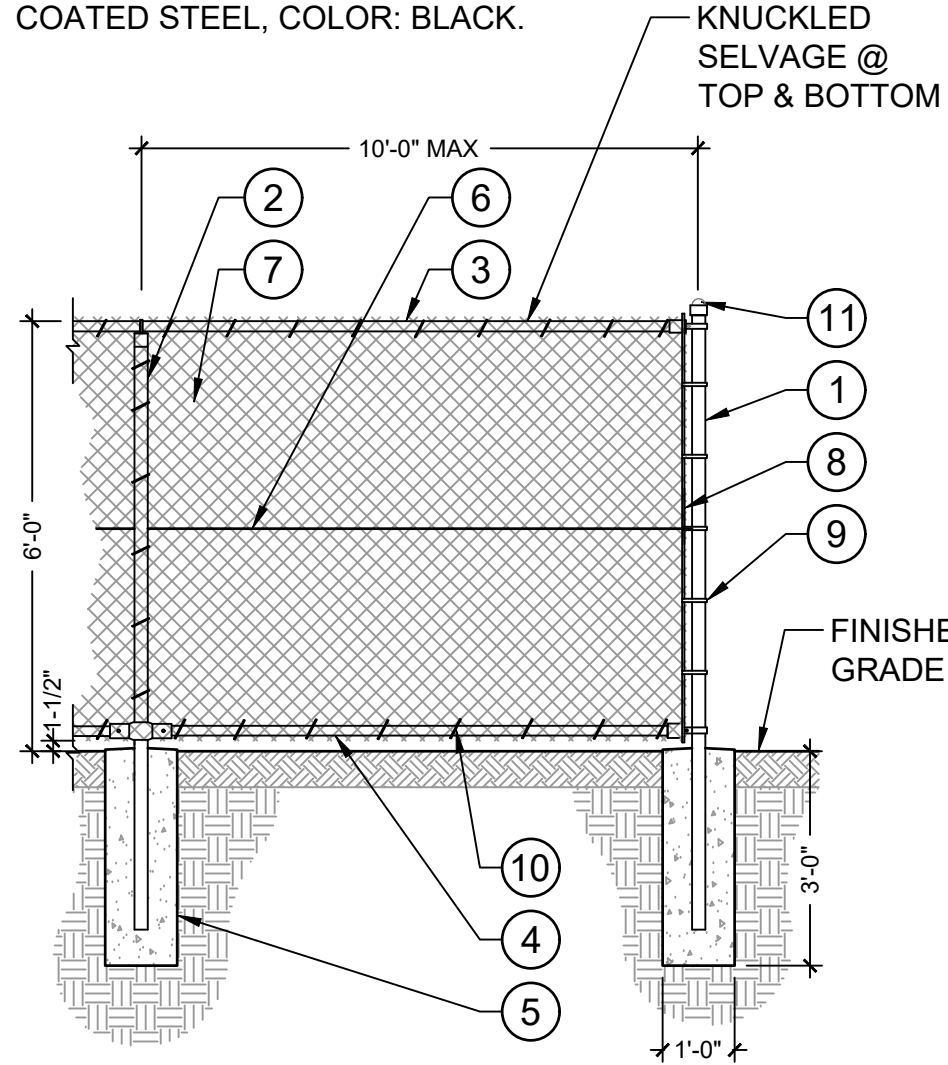


7 METAL PIPE HANDRAIL AT STAIRS
NTS
P-CI-COM-52



10 PRODUCE SHARE BOX
3/4" = 1'-0"
P-CI-COM-12

NOTE:
ALL FENCING PARTS TO BE VINYL
COATED STEEL, COLOR: BLACK.



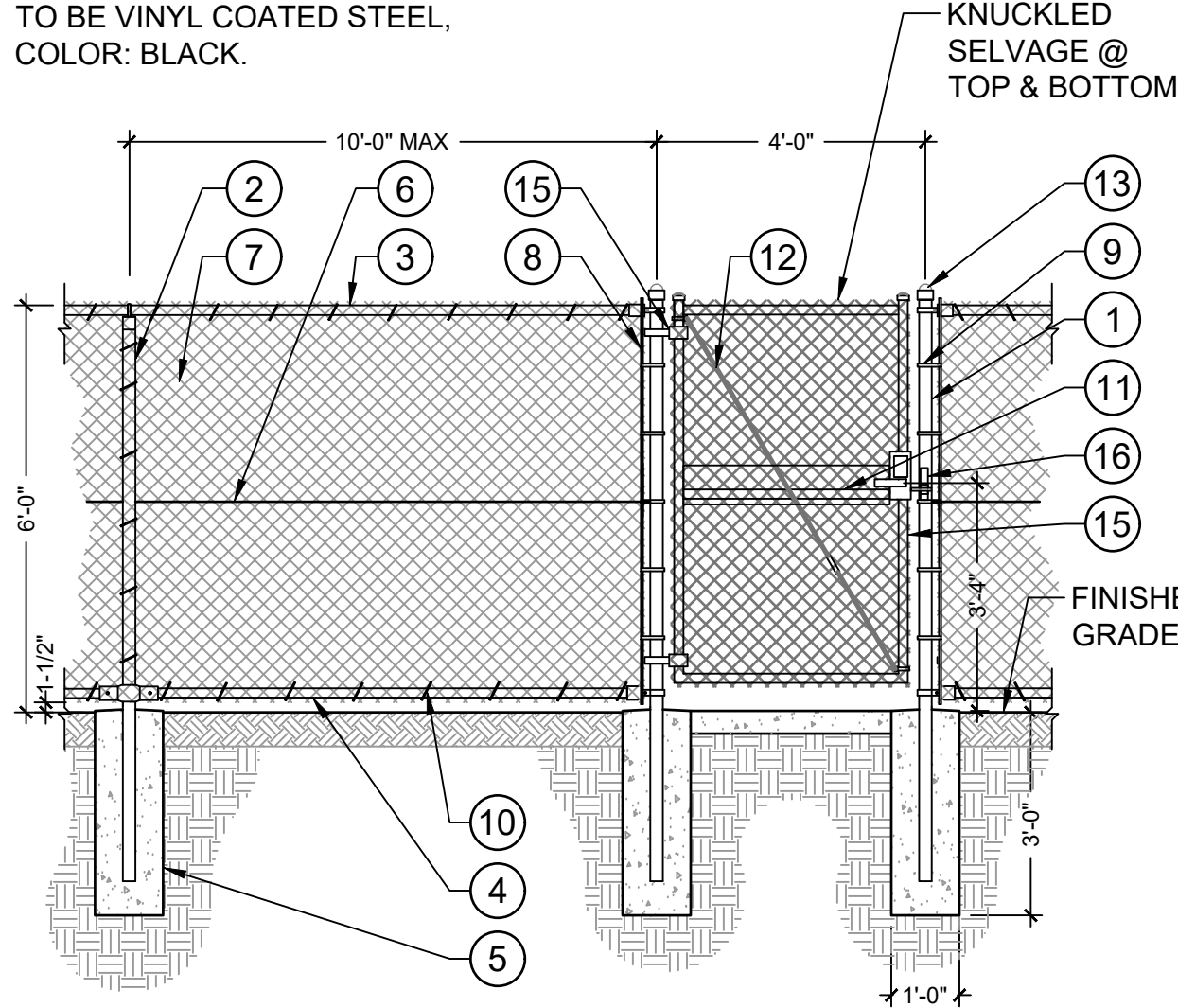
- CORNER POST, 2.875" O.D.
- LINE POST, 2.375" O.D.
- TOP RAIL, 1.875" O.D.
- BOTTOM RAIL, 1.875" O.D.
- CONCRETE FOOTING
- TENSION WIRE, 7 GA
- CHAINLINK FABRIC, 9GA 2" MESH
- TENSION BAR, 7GA
- TENSION BAR BANDS, 12" O.C.
- WIRE TIES ALONG TOP AND BOTTOM RAILS, 9GA @ 12" O.C.
- BALL CAP

1 CHAINLINK FENCE

3/8" = 1'-0"

P-CI-COM-64

NOTE:
ALL FENCING AND GATE PARTS
TO BE VINYL COATED STEEL,
COLOR: BLACK.



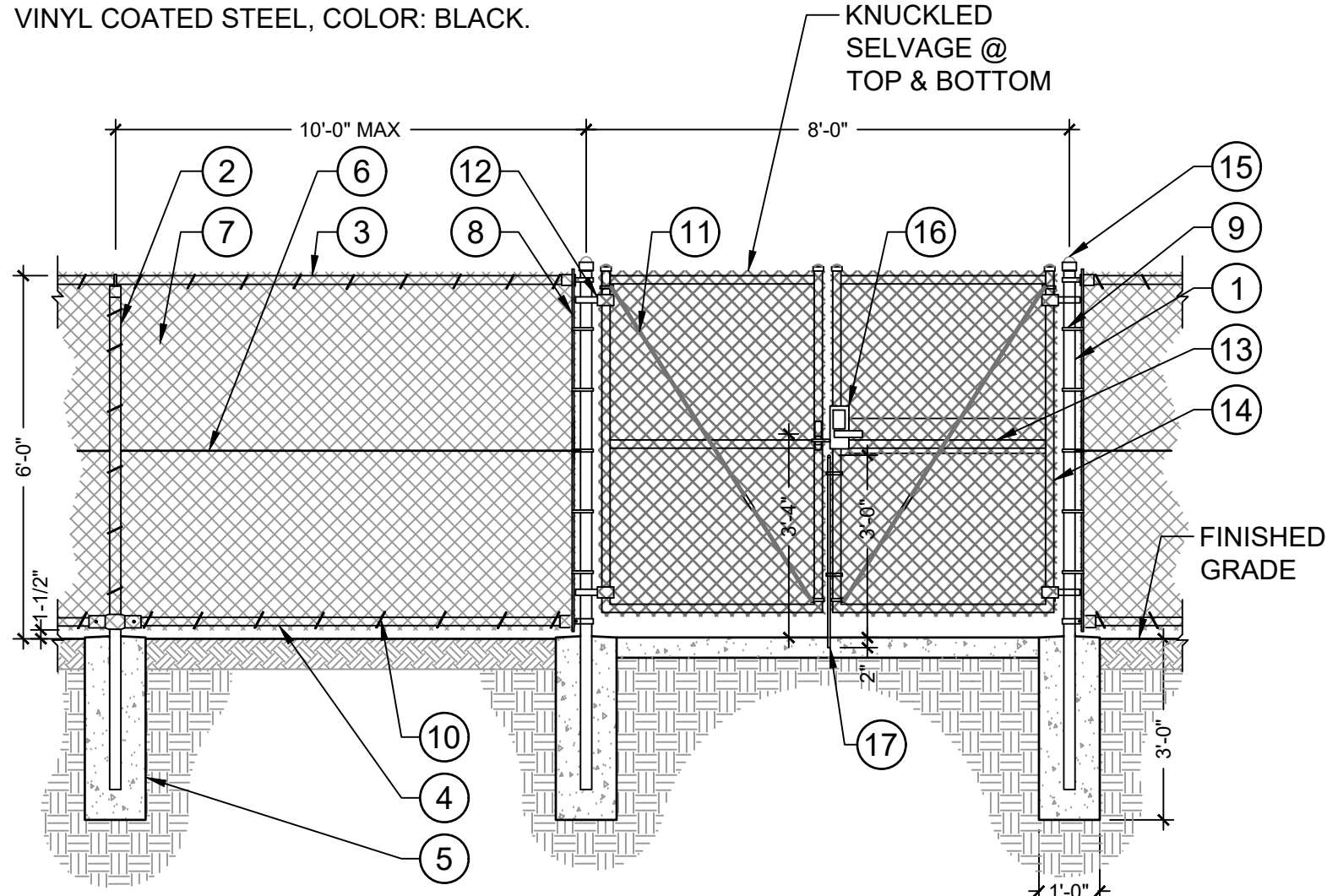
- TERMINAL POST, 2.875" O.D.
- LINE POST, 2.375" O.D.
- TOP RAIL, 1.875" O.D.
- BOTTOM RAIL, 1.875" O.D.
- CONCRETE FOOTING
- TENSION WIRE, 7GA
- CHAINLINK FABRIC, 9GA 2" MESH
- TENSION BAR, 7GA
- TENSION BAR BANDS, 12" O.C.
- WIRE TIES ALONG TOP AND BOTTOM RAILS, 9GA @ 12" O.C.
- 3/8" STEEL TENSION ROD WITH TIGHTENER
- HINGE, GATE TO SWING OUT
- INTERMEDIATE RAIL
- BALL CAP
- 1-5/8" PIPE FRAME
- KEY CODE LOCKING MECHANISM WITH PANIC EXIT BAR ON INSIDE OF GATE

2 4' WIDE PEDESTRIAN GATE

3/8" = 1'-0"

P-CI-COM-65

NOTE:
ALL FENCING AND GATE PARTS TO BE
VINYL COATED STEEL, COLOR: BLACK.

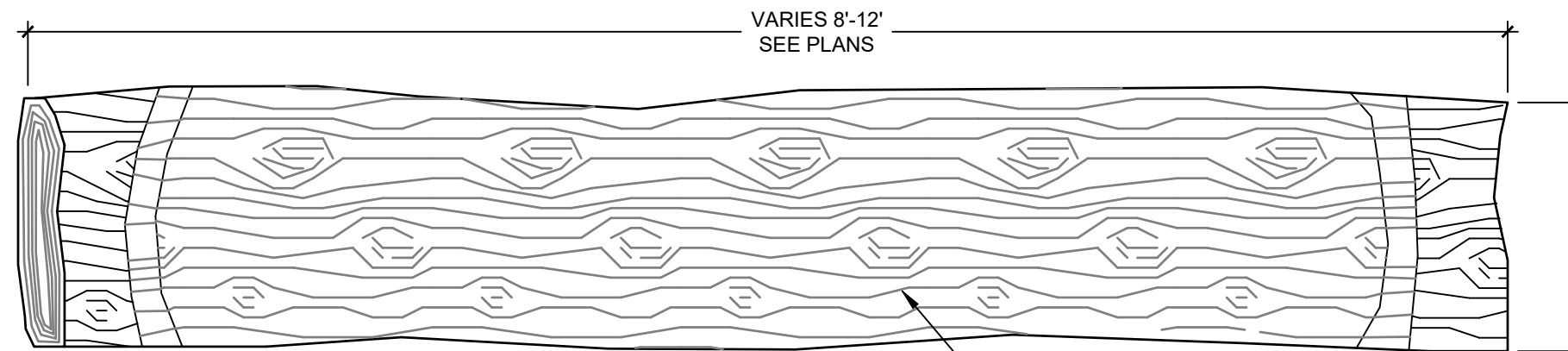


- TERMINAL POST, 2.875" O.D.
- LINE POST, 2.375" O.D.
- TOP RAIL, 1.875" O.D.
- BOTTOM RAIL, 1.875" O.D.
- CONCRETE FOOTING
- TENSION WIRE, 7GA
- CHAINLINK FABRIC, 9GA 2" MESH
- TENSION BAR, 7GA
- TENSION BAR BANDS, 12" O.C.
- WIRE TIES ALONG TOP AND BOTTOM RAILS, 9GA @ 12" O.C.
- 3/8" STEEL TENSION ROD W/ TIGHTENER
- HINGE, GATE TO SWING OUT
- INTERMEDIATE RAIL
- 1-5/8" PIPE FRAME
- BALL CAP
- KEY CODE LOCKING MECHANISM WITH PANIC EXIT BAR ON INSIDE OF GATE
- CANE BOLT AND CONCRETE INSERT

3 8' WIDE DOUBLE GATE

3/8" = 1'-0"

P-CI-COM-66

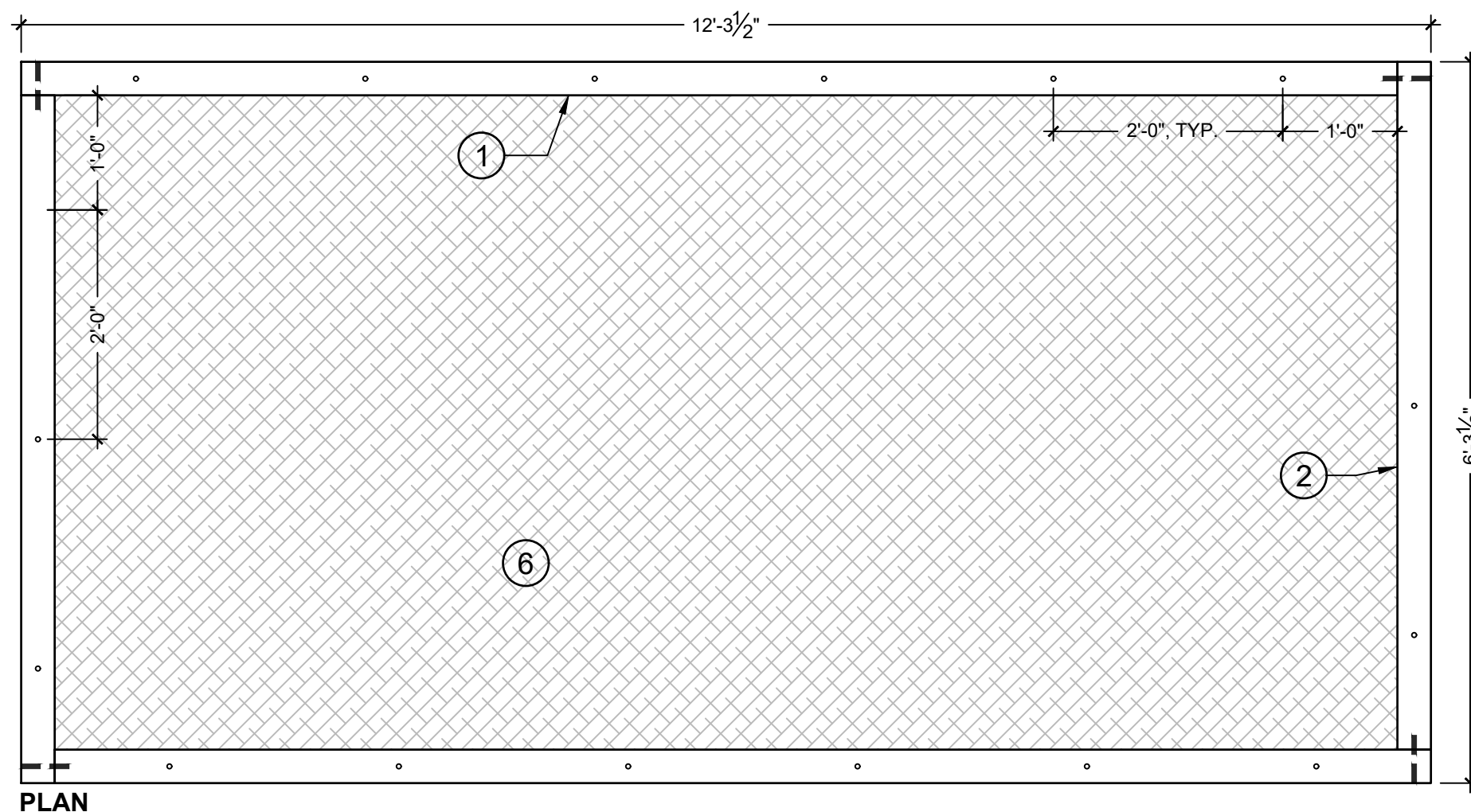


- COTTONWOOD LOG, 2' DIA, MIN. REMOVE BARK; PRESERVE NATURAL/IRREGULAR SHAPE
- SAWCUT FLAT SEATING AREA, SAND SMOOTH; FINISHED SEAT HEIGHT TO BE 18" ABOVE ADJACENT GRADE
- PLANE OR CUT BOTTOM AS NEEDED TO PREVENT TIPPING
- ADJACENT GRAVEL PAVING
- DRAINAGE ROCK
- COMPACTED SUBGRADE

5 LOG BENCH

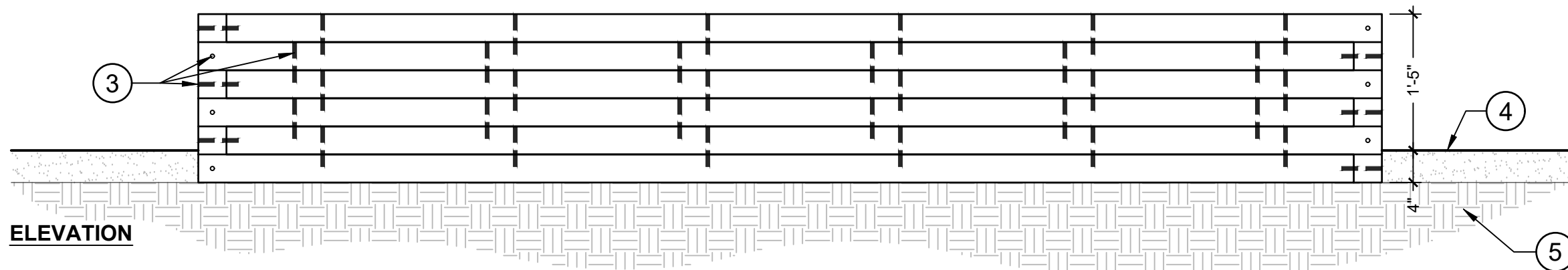
3/4" = 1'-0"

P-CI-COM-71



- 4X4 GRADE B OR BETTER CEDAR, 12' LENGTH
- 4X4 GRADE B OR BETTER CEDAR, 6' LENGTH
- 5" LENGTH HEAVY-DUTY WOOD NAIL
- ADJACENT GRAVEL OR WOOD CHIP PAVING, RE: PLAN
- COMPACTED SUBGRADE
- FILL GARDEN BOX WITH A MIX OF 2/3 STOCKPILED NATIVE TOPSOIL SOIL AND 1/3 ORGANIC COMPOST. ENSURE TOPSOIL AND COMPOST IS THOROUGHLY MIXED. SETTLE DEPTH OF SOIL TO BE 1" BELOW TOP OF PLANTER

PLAN

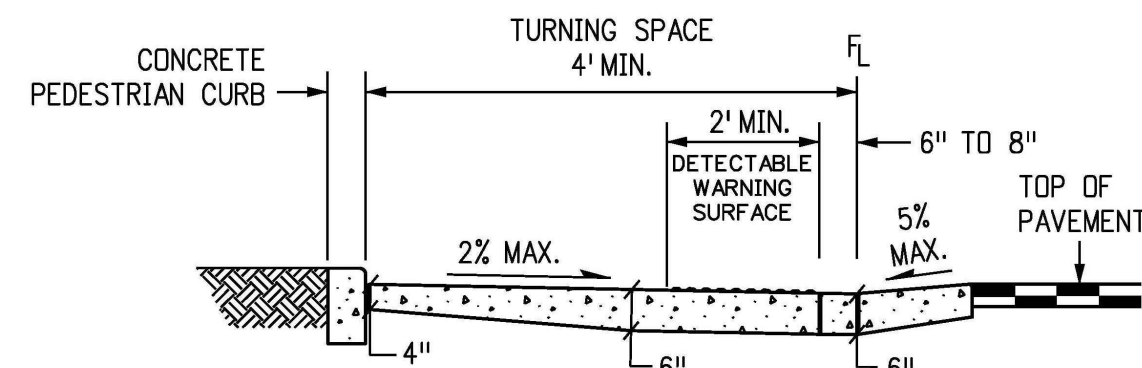
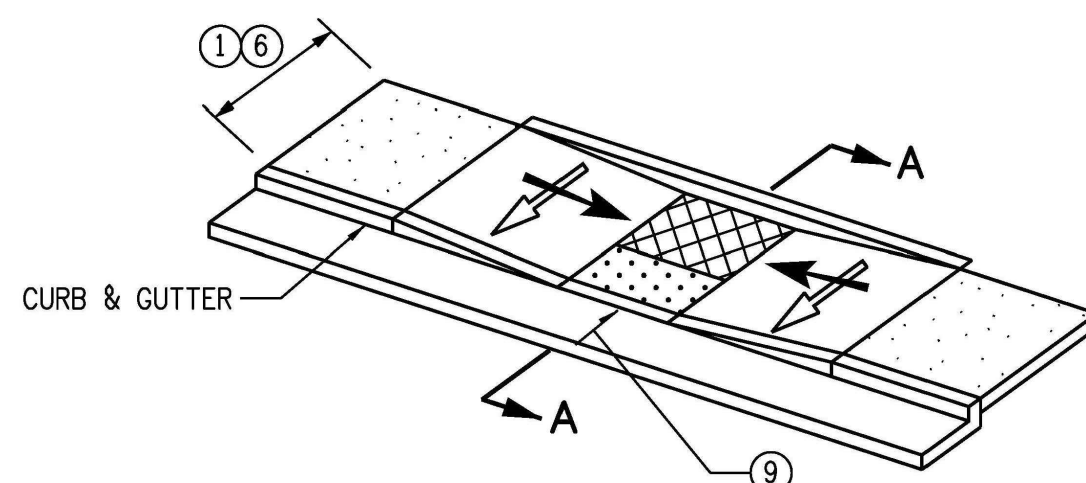


ELEVATION

4 RAISED PLANTER BED

3/4" = 1'-0"

P-CI-COM-08



SECTION A-A

PARALLEL RAMP NOTES

- RAMP WIDTH - PROVIDE A RAMP WIDTH EQUAL TO THE ADJOINING SIDEWALK, PROVIDE 4 FT. WIDTH MINIMUM. RAMPS SERVICING SHARED USE PATHS SHALL MATCH THE WIDTH OF THE PATH.
- RAMP RUNNING SLOPE - 8.3% MAX.
- RAMP CROSS SLOPE - 2.0% MAX.
- TURNING SPACE RUNNING SLOPE - 2.0% MAX. TURNING SPACE RUNNING SLOPE IS MEASURED PERPENDICULAR TO THE BACK OF CURB.
- TURNING SPACE CROSS SLOPE - 2.0% TYPICAL, AT CROSSINGS WITHOUT YIELD OR STOP CONTROL, OR WITH A SIGNAL WHERE VEHICLES CAN PROCEED THROUGH THE INTERSECTION WITHOUT SLOWING OR STOPPING, THE CROSS SLOPE OF THE TURNING SPACE MAY EQUAL THE HIGHWAY GRADE. AT MIDBLOCK PEDESTRIAN STREET CROSSINGS THE TURNING SPACE CROSS SLOPE MAY EQUAL THE HIGHWAY GRADE. TURNING SPACE CROSS SLOPE IS MEASURED IN THE DIRECTION OF THE RAMP RUN.
- TURNING SPACE DIMENSIONS - PROVIDE A TURNING SPACE AT THE BOTTOM OF PARALLEL RAMPS WITH A WIDTH EQUAL TO THE WIDTH OF THE CURB RAMP. PROVIDE 4 FT. MINIMUM, MEASURED IN THE DIRECTION OF THE RAMP RUN. IF THE TURNING SPACE IS CONSTRAINED ON TWO SIDES, PROVIDE 5 FT. MEASURED IN THE DIRECTION OF PEDESTRIAN STREET CROSSING. THE TURNING SPACE MAY CONTAIN THE DETECTABLE WARNING SURFACE.
- RAMP ALIGNMENT - RAMPS SHALL BE ALIGNED SO THE TURNING SPACE IS FULLY CONTAINED WITHIN THE CROSSWALK OR STREET CROSSING THEY SERVE. PROVIDE ONE RAMP FOR EACH STREET CROSSING DIRECTION. IN ALTERATIONS, WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT PROVIDING ONE CURB RAMP FOR EACH CROSSING DIRECTION, A SINGLE DIAGONAL CURB RAMP (ON THE APEX OF A CORNER) SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS. DIAGONAL RAMPS ARE NOT ACCEPTABLE IN NEW CONSTRUCTION, OR FULL-DEPTH RECONSTRUCTION.
- RAMP LENGTH - PARALLEL RAMP LENGTH IS DEPENDENT UPON THE RAMP SLOPE AND THE CHANGE OF ELEVATION FROM THE TURNING SPACE TO THE SIDEWALK. WHERE TERRAIN IS SLOPING A RAMP IS NOT REQUIRED TO CHASE GRADE MORE THAN 15 FT. REGARDLESS OF THE RESULTING RAMP SLOPE.
- GUTTER COUNTER SLOPE - 5.0% MAX.

6 CDOT STANDARD TYPE 2 PARALLEL CURB RAMP (TYPICAL)

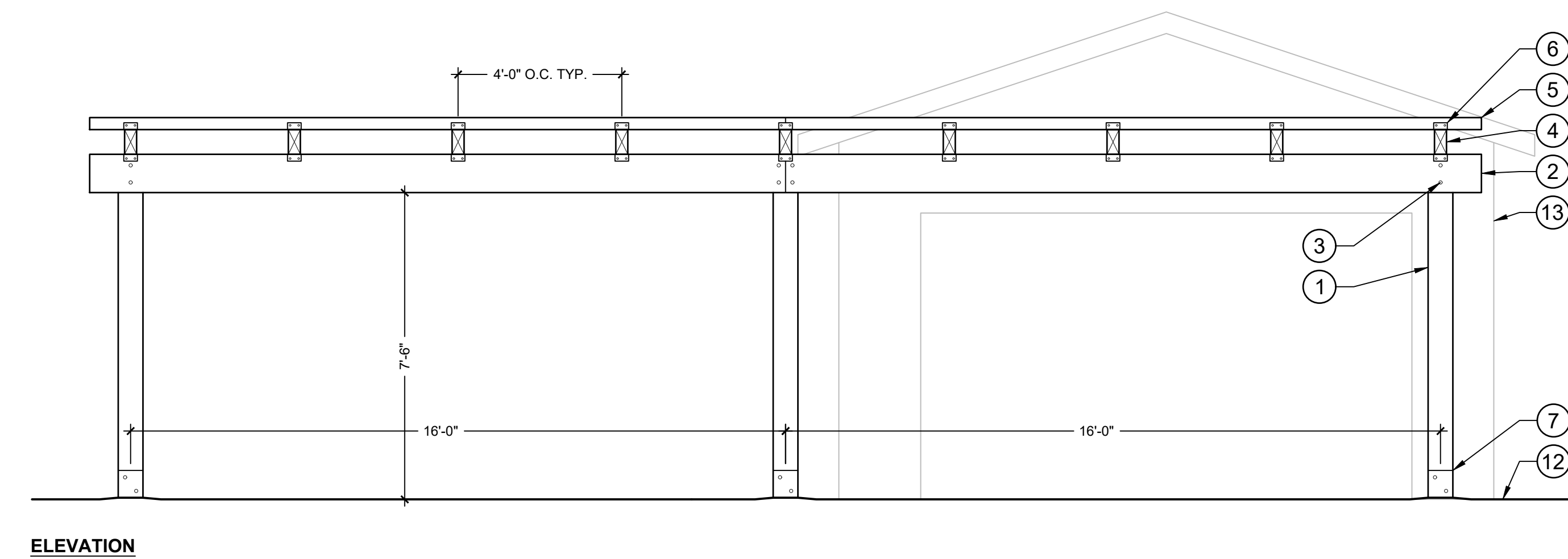
1" = 1"

P-CI-COM-06

REVISIONS	DATE	BY
INITIAL STAKEHOLDER REVIEW	3/17/2026	JB
90% CONSTRUCTION DOCUMENTS	7/15/2026	JB

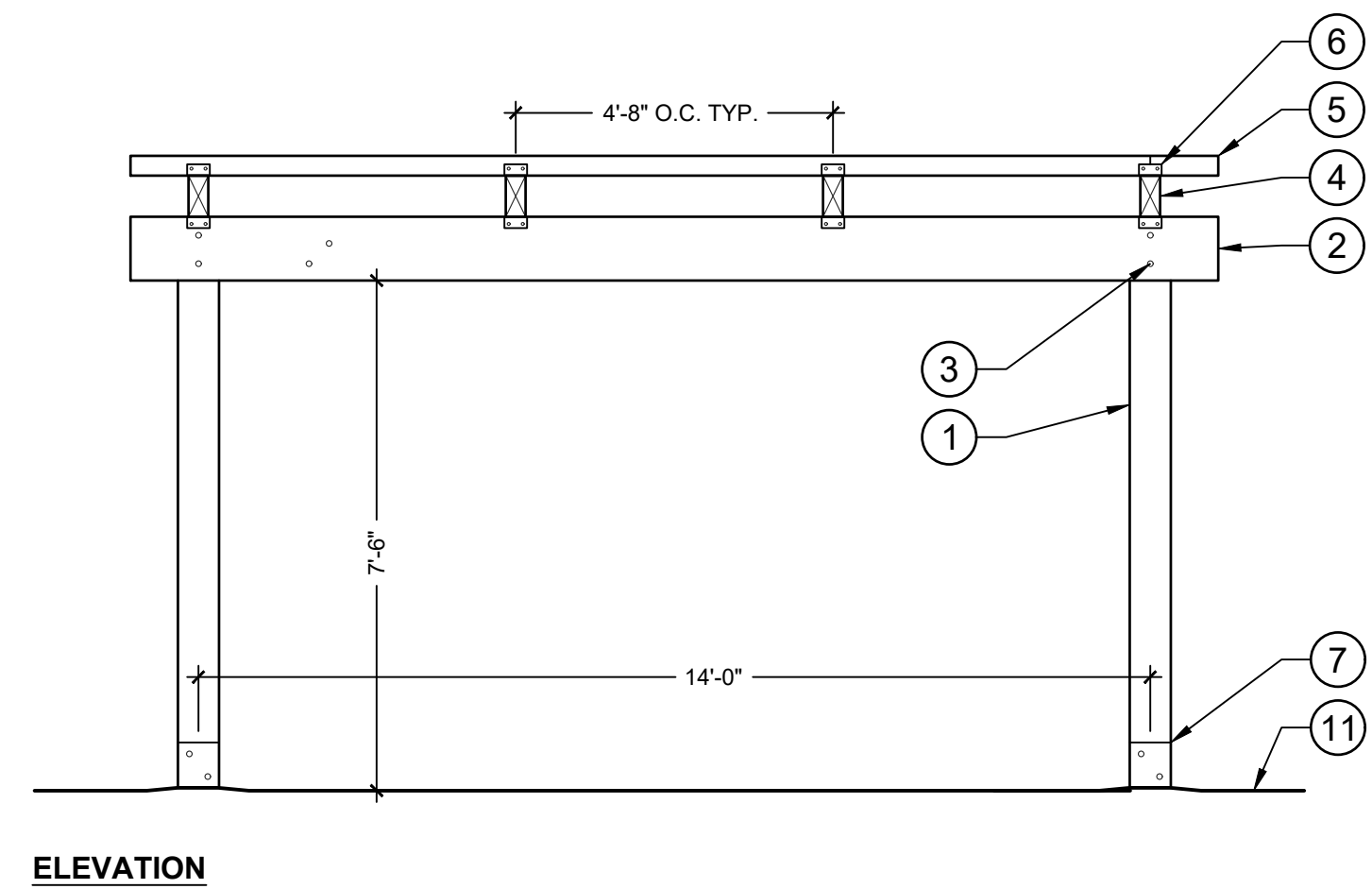
SCJ ALLIANCE CONSULTING SERVICES	BISON RIDGE COMMUNITY GARDEN 11230 POTOMAC ST COMMERCE CITY, CO
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DESIGNER: ####
DRAWN BY: ####
APPROVED BY: ####
DATE: MARCH, 2026
JOB NO: 24-000531
DRAWING FILE NO: 24-000531_BISON-RIDGE_LA
DRAWING NO: L2.1
SHEET NO: 10 OF 14



$\frac{3}{8}'' = 1'-0''$

- NOTES:**
- ALL LUMBER TO BE GRADE B OR BETTER CEDAR OR PINE.
 - FINISH WITH CLEAR OIL-BASED EXTERIOR WOOD SEALANT.
 - ALL VISIBLE HARDWARE TO BE BLACK.



② $3/8" = 1'-0"$

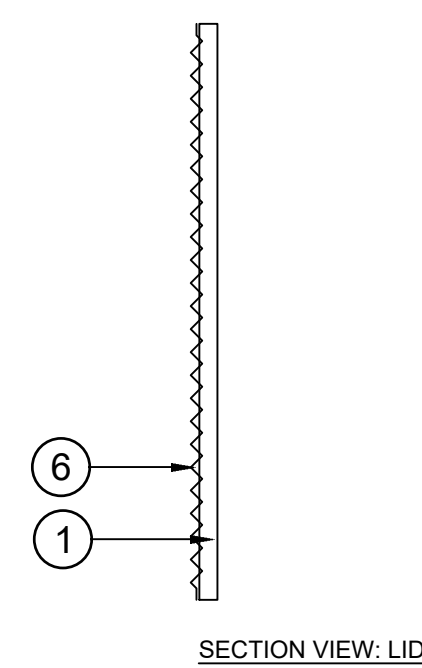


- NOTES:**
- ALL LUMBER TO BE GRADE B OR BETTER CEDAR OR PINE.
 - FINISH WITH CLEAR OIL-BASED EXTERIOR WOOD SEALANT.
 - ALL VISIBLE HARDWARE TO BE BLACK.

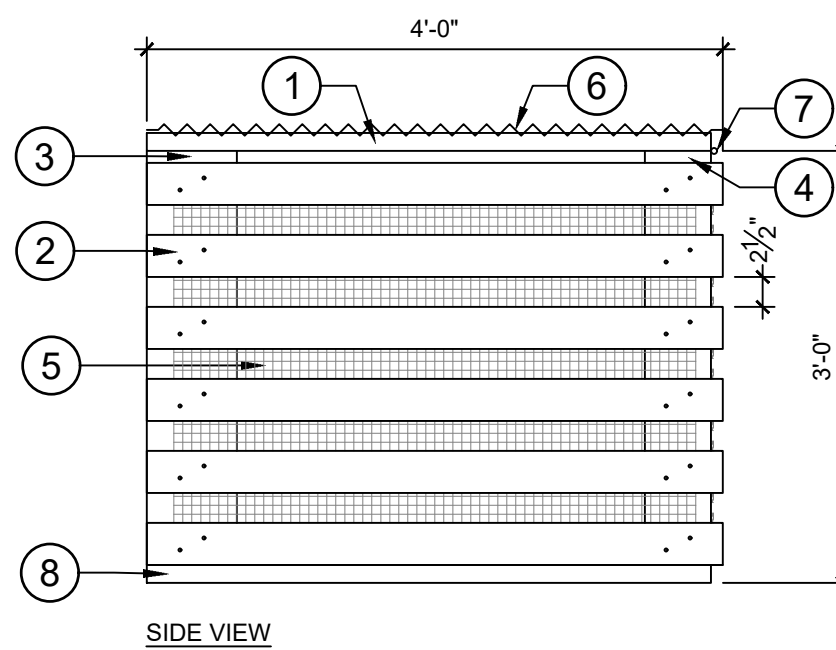
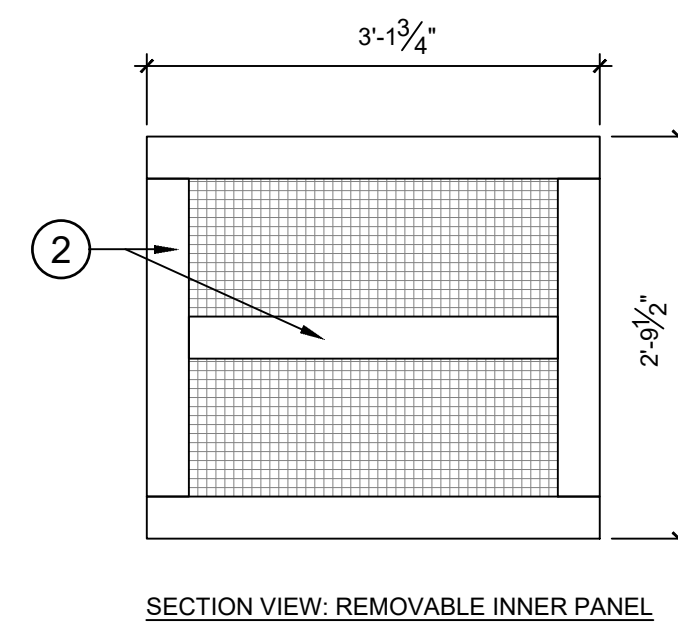


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DESIGNER:	####
DRAWN BY:	####
APPROVED BY:	####
DATE:	MARCH, 2026
JOB NO:	24-000531
DRAWING FILE NO:	24-000531_BISON-RIDGE_LA
DRAWING NO:	L2.2
SHEET NO:	11 OF 14



- NOTES:
1. ADD AN ADDITIONAL CROSS MEMBER IF NEEDED TO PREVENT MESH FROM SAGGING.
 2. ENSURE ALL RAW EDGES OF METAL MESH ARE ENCLOSED BETWEEN LUMBER AND NOT EXPOSED.



P-CI-COM-13



P-CI-COM-15

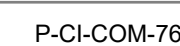


- 
- SCJ ALLIANCE**
CONSULTING SERVICES
- 5353 MANHATTAN CIRCLE, SUITE 202, BOULDER, CO 80303
P: 303.482.3180
SCJALLIANCE.COM

BISON RIDGE COMMUNITY GARDEN
11230 POTOMAC ST
COMMERCE CITY, CO

PROJECT NAME:

SHEET NO:



Jul 15, 2026 4:37:08pm - User: jana.blondello
N:\PROJECTS\1487 COMMERCIAL CITY\24-000531_X_BISON-RIDGE_PLANTING



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
TREES			
	4	GINKGO BILOBA MAIDENHAIR TREE	2" CAL
	3	GYMNOCLADUS DIOICUS 'ESPRESSO-JFS' ESPRESSO™ KENTUCKY COFFEETREE	2" CAL
	3	MALLUS X 'PRAIRIFIRE' PRAIRIFIRE CRABAPPLE	1.5" CAL
	4	QUERCUS MACROCARPA BURR OAK	2" CAL
FRUIT TREES			
	2	MALLUS X DOMESTICA 'HARALSON' HARALSON APPLE	2" CAL
	2	MALLUS X DOMESTICA 'HONEYCRISP' HONEYCRISP APPLE	2" CAL
	2	PRUNUS AMERICANA AMERICAN PLUM	1.5" CAL
	3	PRUNUS CERASUS 'MONTMORENCY' MONTMORENCY CHERRY	1.5" CAL
	3	PYRUS COMMUNIS 'BARTLETT' BARTLETT EUROPEAN PEAR	2" CAL
SHRUBS			
	33	FALLUGIA PARADOXA CANYON PLUME	5 GAL
	45	JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP CREEPING JUNIPER	5 GAL
	40	POTENTILLA FRUTICOSA 'FARGO' DAKOTA SUNSPOT® BUSH CINQUEFOIL	5 GAL
	49	RHUS TRILOBATA 'AUTUMN AMBER' AUTUMN AMBER SUMAC	5 GAL
	22	SYMPHORICARPOS ALBUS COMMON SNOWBERRY	5 GAL
	15	VIBURNUM DENTATUM 'RALPH SENIOR' AUTUMN JAZZ ARROWWOOD VIBURNUM	5 GAL
ORNAMENTAL GRASS			
	91	BOUTELOUA CURTIPENDULA SIDE OATS GRAMA	1 GAL
	266	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	1 GAL
	18	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' STANDING OVATION LITTLE BLUESTEM	1 GAL
	78	SORGHASTRUM NUTANS INDIAN GRASS	1 GAL
PERENNIAL			
	12	ACHILLEA MILLEFOLIUM 'APPLEBLOSSOM' APPLE BLOSSOM COMMON YARROW	1 GAL
	9	ARTEMISIA ABROTANUM 'LEPRECHAUN' LEPRECHAUN SOUTHERNWOOD	1 GAL
	25	CLEOMEELLA SERRULATA ROCKY MOUNTAIN BEE PLANT	1 GAL
	28	PENSTEMON PSEUDOSPECTABILIS DESERT BEARDTONGUE	1 GAL
	50	RUDBECKIA HIRTA BLACK-EYED SUSAN	1 GAL
	9	SALVIA NEMOROSA 'CARDONNA' CARDONNA MEADOW SAGE	1 GAL
VINES			
	21	HUMULUS LUPULUS NEOMEXICANUS COMMON HOP	2 GAL
	3	LONICERA SEMPERVIRENS 'MAGNIFICA' MAGNIFICA TRUMPET HONEYSUCKLE	2 GAL
SYMBOL			
GROUND COVERS			
	38	VERONICA X 'REAVIS' CRYSTAL RIVER CREEPING SPEEDWELL	4" POT, 18" O.C.

REVISIONS

DATE	BY	JB	JB
3/17/2026	INITIAL STAKEHOLDER REVIEW		
7/15/2026	90% CONSTRUCTION DOCUMENTS		

SCJ ALLIANCE
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PLANTING PLAN & SCHEDULE

BISON RIDGE COMMUNITY GARDEN
11230 POTOMAC ST
COMMERCE CITY, CO

SHEET TITLE

SEAL:

DESIGNER:

JB

DRAWN BY:

AW

APPROVED BY:

ML

DATE:

MARCH, 2026

JOB NO:

24-000531

DRAWING FILE NO:

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