

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	EXISTING EASEMENT BOUNDARY LINE
	PROPOSED EASEMENT BOUNDARY LINE
	SECTION LINE
	SAWCUT LINE
	EXISTING FENCE
	PROPOSED ICCANSI A117.1 ROUTE
	PROPOSED CONCRETE
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING TRAFFIC LIGHT POLE
	EXISTING ELECTRICAL CABINET
	EXISTING ELECTRICAL BOX
	EXISTING SIGN
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING WATER LINE MANHOLE
	EXISTING DRAINAGE STRUCTURE
	EXISTING STORM SEWER INLET
	PROPOSED SITE LIGHTING
	PROPOSED FIRE HYDRANT
	PROPOSED MANHOLE COVER
	PROPOSED INLET
	PROPOSED SIGN
	PARKING COUNCIL

- ① PROPOSED BRAKES PLUS BUILDING
- ② PROPOSED FIRE HYDRANT (BY OTHERS)
- ③ PROPOSED TRASH ENCLOSURE W/CONCRETE PAD
(SEE TRASH ENCLOSURE DETAILS)
- ④ PROPOSED CONCRETE SIDEWALK (SIZE AS NOTED)
- ⑤ PROPOSED ADA HANDICAP RAMP
- ⑥ PROPOSED 1.5' VERTICAL CURB (SEE SITE DETAILS)
- ⑦ PROPOSED ADA PARKING SPACE (9'x19') WITH 9' FT WIDE PAINTED
ACCESS AISLE WITH 4" DIAGONAL STRIPES AT 7 O.C. AND SIGNATURE
- ⑧ PROPOSED PARKING SPACES (9'x19')
- ⑨ PROPOSED PATIO
- ⑩ PROPOSED WATER METER
- ⑪ PROPOSED STORM INLET
- ⑫ PROPOSED ASPHALT PAVING
- ⑬ BUILDING SETBACK BOUNDARY
- ⑭ PROPOSED STOP SIGN (SEE SITE DETAILS)
- ⑮ PROPOSED SITE LIGHT (SEE PHOTOMETRIC PLAN)
- ⑯ PROPOSED 8' CROSS PAN
- ⑰ FUTURE DEVELOPMENT (BY OTHERS)
- ⑱ 10' UTILITY EASEMENT PER PLAT
- ⑲ DRAINAGE AND UTILITY EASEMENT PER PLAT
- ⑳ PROPOSED LANDSCAPE AREA
- ㉑ PROPOSED CURB (BY OTHERS)
- ㉒ PROPOSED SANITARY (BY OTHERS)
- ㉓ PROPOSED WATER (BY OTHERS)
- ㉔ PROPOSED IRRIGATION (BY OTHERS)
- ㉕ PROPOSED SIGHT DISTANCE TRIANGLE

NOTE: ALL INTERNAL ROADWAYS TO BE INSTALLED PRIOR TO OR WITH THE LOT 4 DEVELOPMENT. REFER TO SECOND CREEK VILLAGE - PHASE 1 INFRASTRUCTURE AND LOTS 3A & 3B CONSTRUCTION DRAWINGS

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF
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REUNION BRAKES PLUS INC.

COMMERCE CITY, CO

[illegible]

Project No:	BPI000002
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Checked By:	JEP
Date:	11.29.18

SITE PLAN (PUD)

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REUNION BRAKES PLUS INC.

COMMERCE CITY, CO

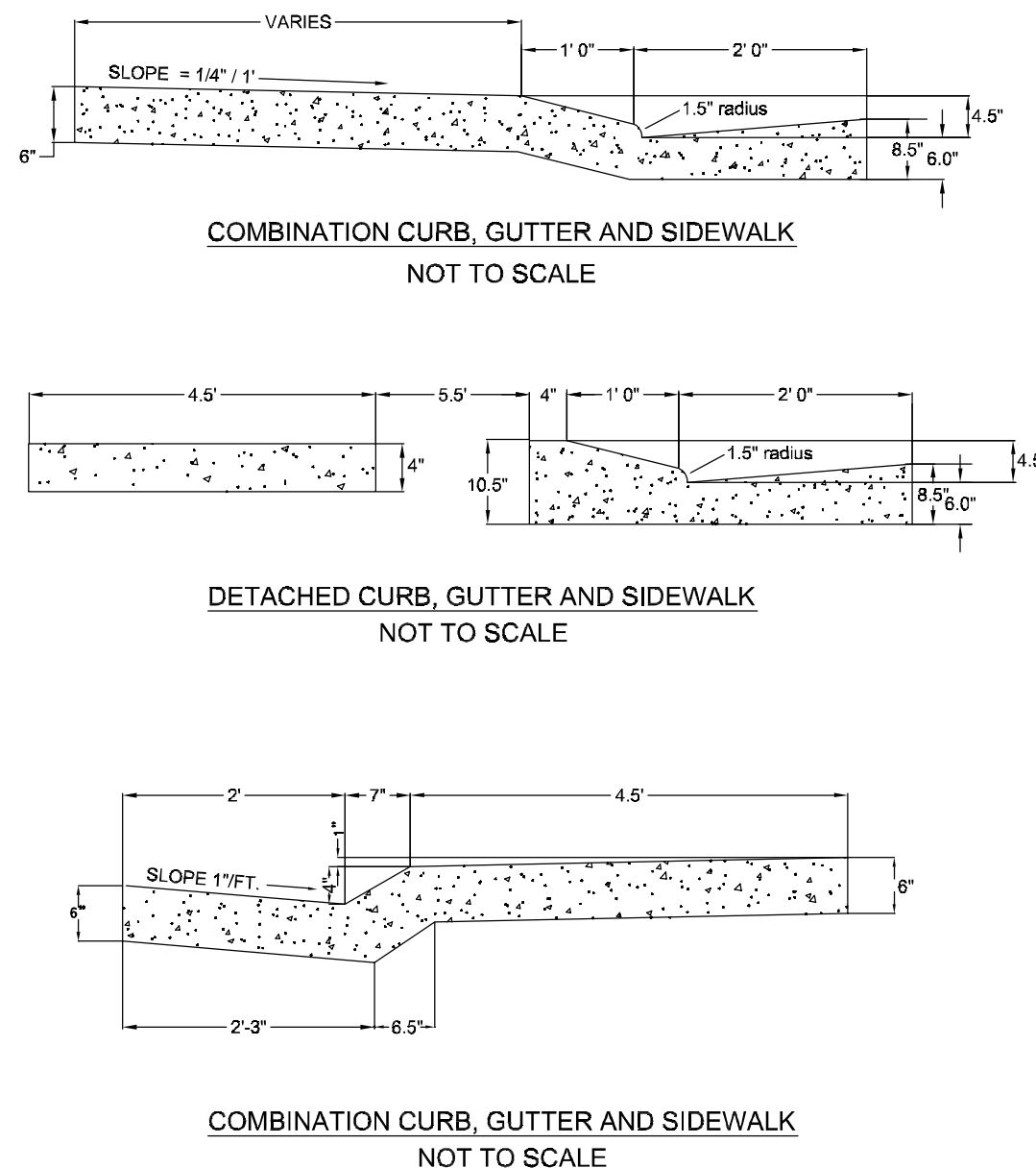
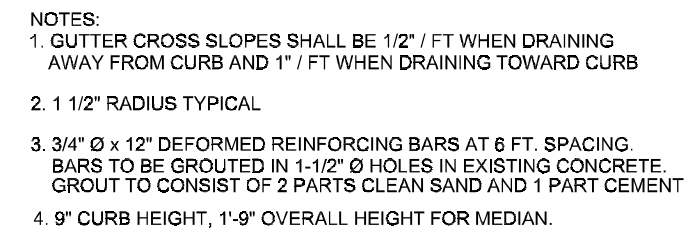
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SITE DETAILS (PUD)

SITE DETAILS (PUD)

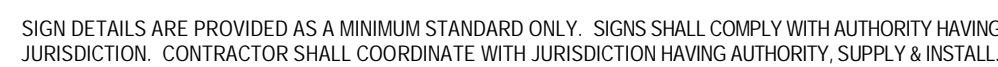
3



DETAIL NO.
308-07



DETAIL NO.
308-06



NOT TO SCALE



LANE STRIPING DETAILS



STOP SIGN DETAIL

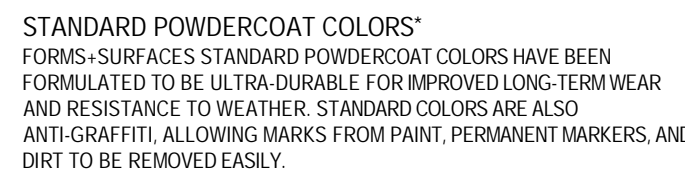


1. **CONTRACTION JOINTS SHALL BE SPACED SO AS TO FORM A NEAR SQUARE PANEL AS POSSIBLE. NO SINGLE PANEL SHALL EXCEED 8' ON ANY SIDE. CONTRACTION JOINTS SHALL BE 3/4" DEEP.**
2. **EXPANSION JOINTS OF 1/2" MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS:**
P.C.S AND P.T'S OF CURVES
GRADE BREAKS
AT DRIVEWAYS
AT OTHER LOCATIONS AS SPECIFIED BY ENGINEER
3. **NO SIDEWALK SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER**
4. **CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS**

NOT TO SCALE



NOT TO SCALE

NOMINAL DIMENSIONS

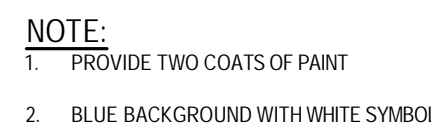
ALUMINUM TEXTURE

SLATE TEXTURE

* PLEASE SEE THE POWDERCOAT PRODUCT DATA SHEET FOR ADDITIONAL POWDERCOAT OPTIONS.

BICYCLE RACK DETAIL

NOT TO SCALE



HANDICAPPED SYMBOL

NOT TO SCALE



NOT TO SCALE



NOTE:
VERIFY BASE TEMPLATE
SPECIFIED SITE LIGHT
SEE PHOTOMETRIC
DRAWINGS.

LIGHT POLE BASE

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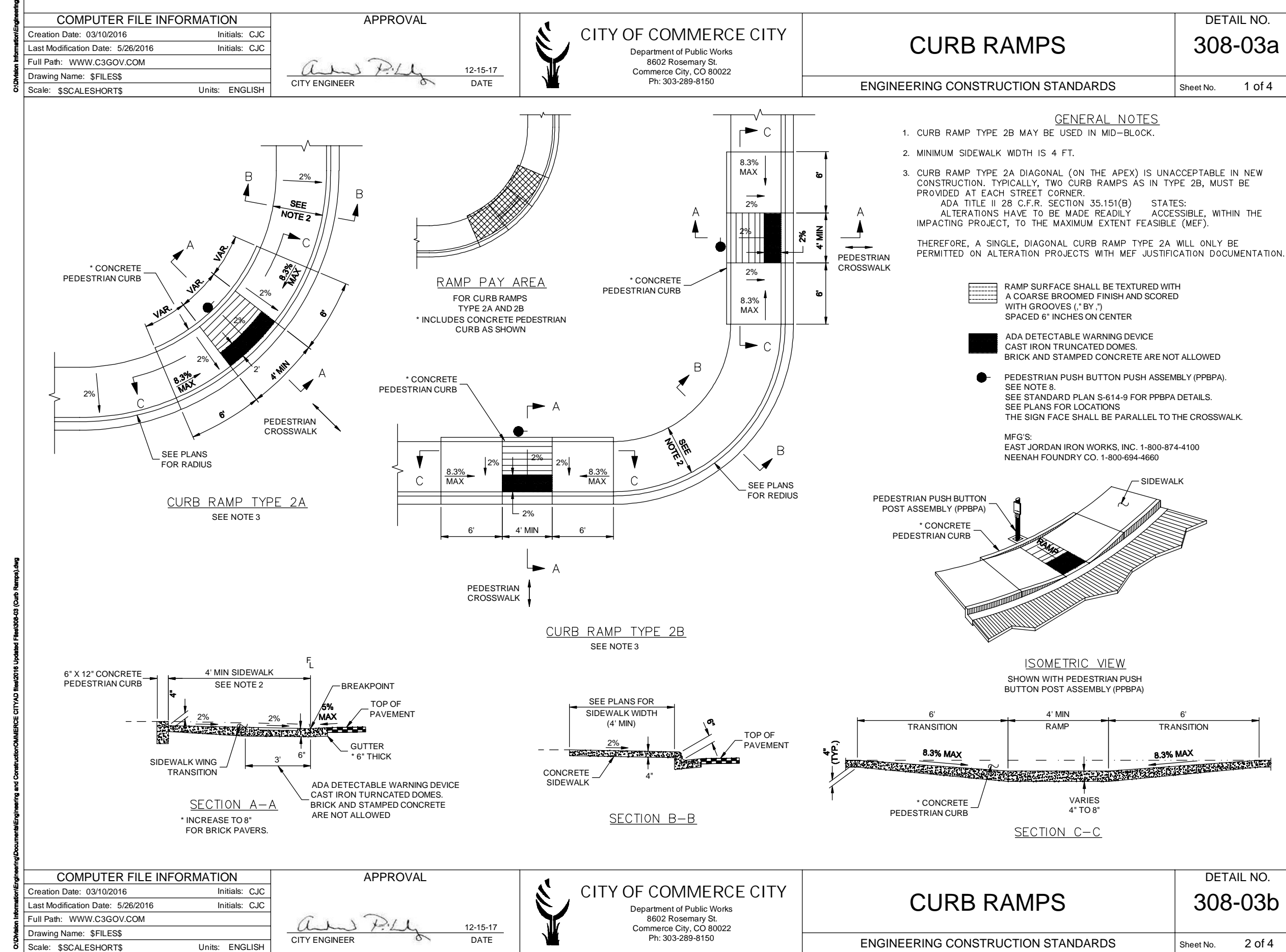
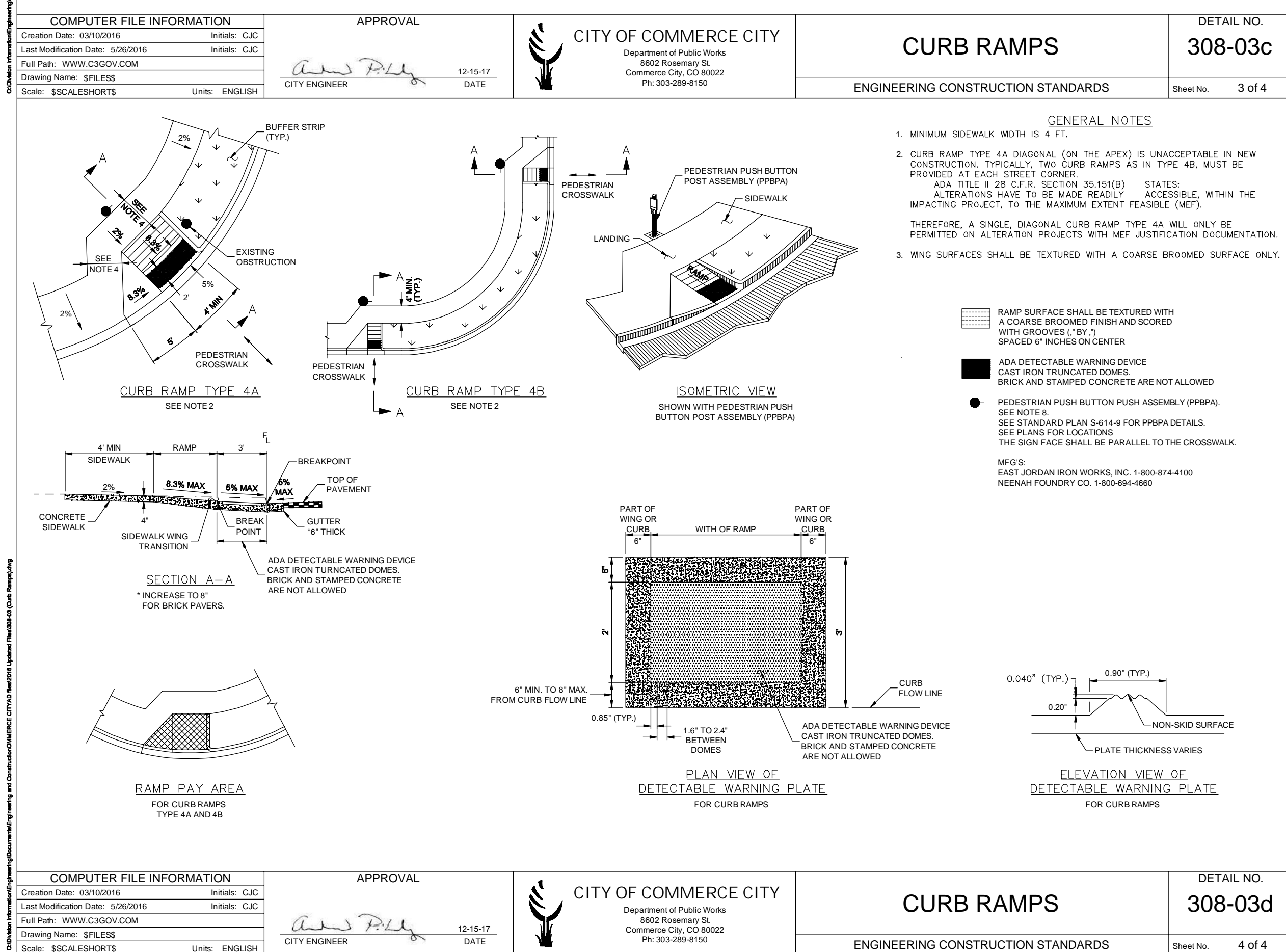
REUNION BRAKES PLUS INC.

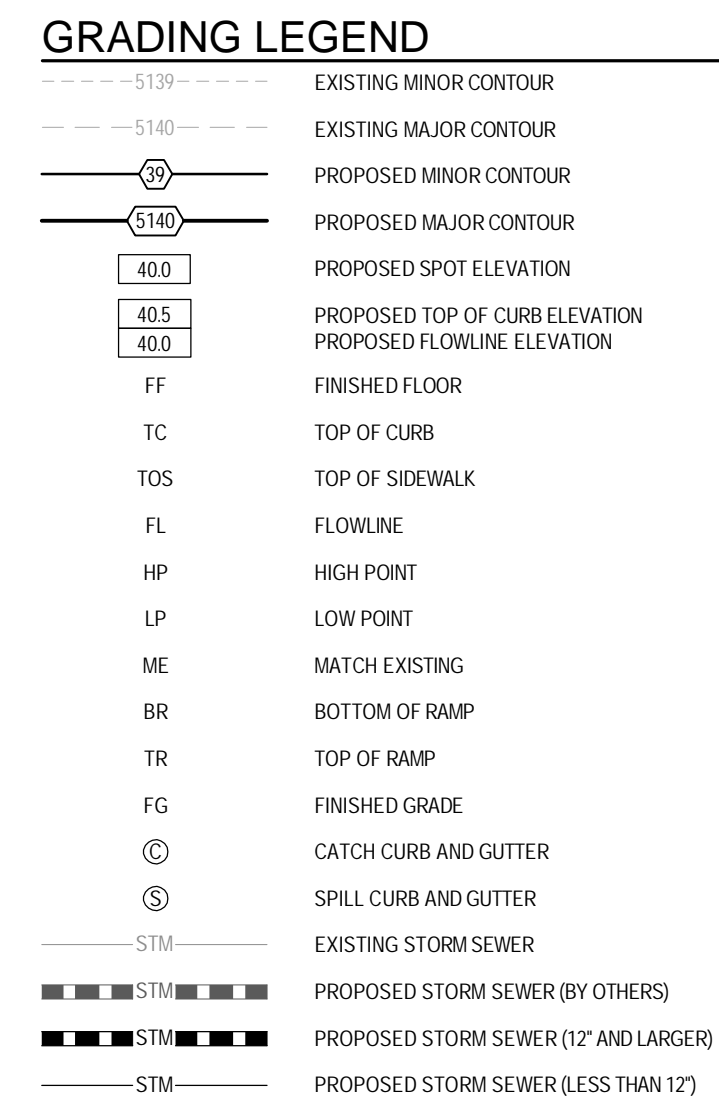
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Project No:	BPI000002
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SITE DETAILS (PUD)





1. ALL ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. ALL ADA ACCESSIBLE PATHS SHALL NOT HAVE A CROSS-SLOPE THAT EXCEEDS 2%.
3. ON-SITE DETENTION AND WATER QUALITY MUST BE INSTALLED WITH THE MAJOR INFRASTRUCTURE PRIOR TO CONSTRUCTION OF LOT 4.
4. ADD 5100 TO ALL SPOT ELEVATIONS UNLESS OTHERWISE NOTED.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

BRAKES PLUS INC.
6911 S. YOSEMITE STREET
CENTENNIAL, CO 80112

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COMMERCE CITY, CO

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Project No: BPI000002

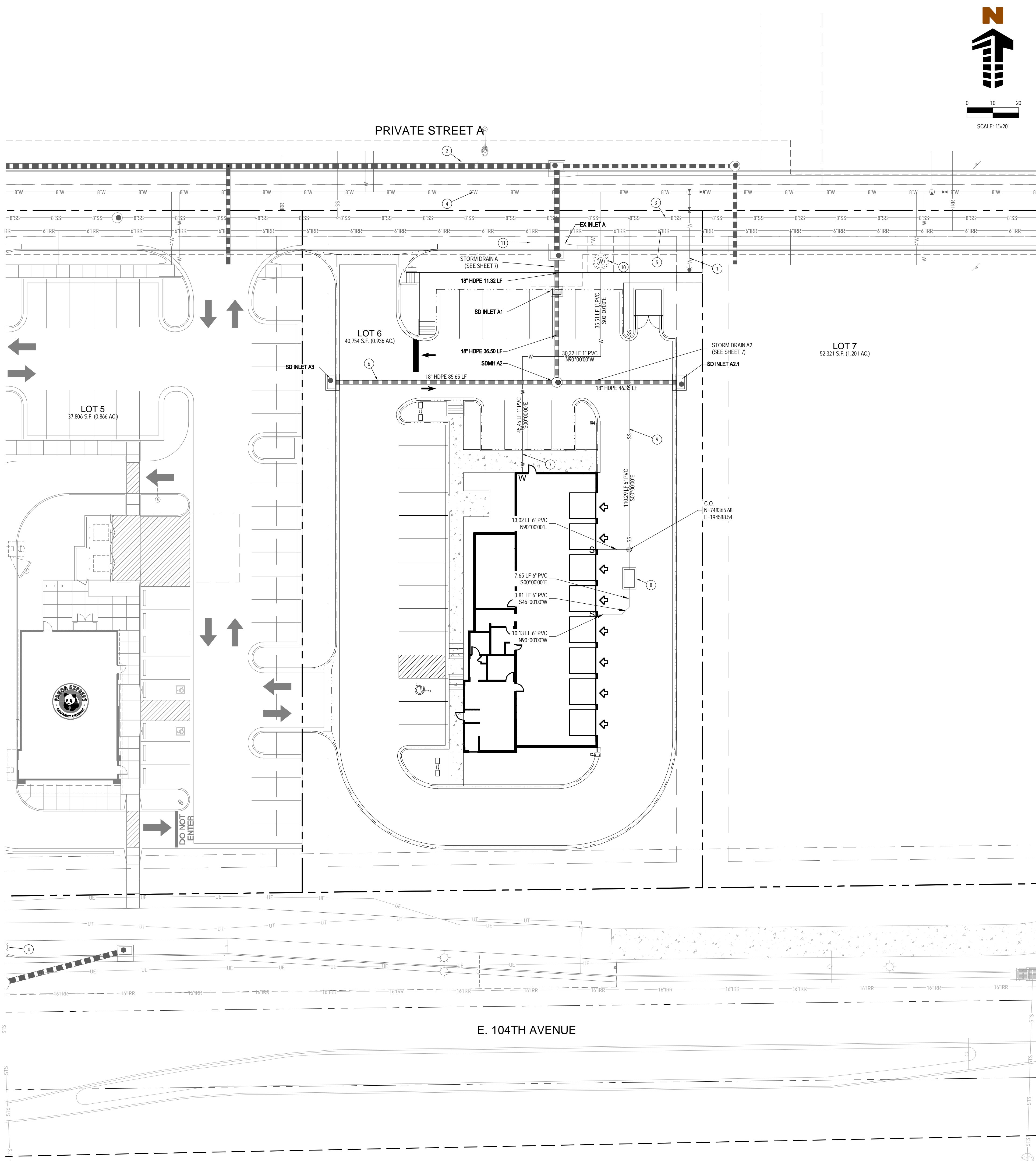
UTILITY PLAN (PUD)

- 1 EXISTING FIRE HYDRANT TO REMAIN
- 2 PROPOSED STORM DRAIN (BY OTHERS)
- 3 PROPOSED SANITARY SEWER (BY OTHERS)
- 4 PROPOSED WATER MAIN (BY OTHERS)
- 5 PROPOSED IRRIGATION LINE (BY OTHERS)
- 6 PROPOSED STORM SEWER (SEE SHEET 7)
- 7 PROPOSED WATER SERVICE
- 8 PROPOSED GREASE INTERCEPTOR (REF TO MEP PLANS)
- 9 PROPOSED SANITARY SEWER SERVICE
- 10 PROPOSED WATER METER
- 11 PROPOSED IRRIGATION SERVICE

-----	PROPERTY BOUNDARY LINE
-----	ADJACENT PROPERTY BOUNDARY LINE
-----	EASEMENT BOUNDARY LINE
=====	SECTION LINE
-----	EXISTING TO REMAIN
-----	EXISTING TO BE REMOVED
-----	SAWCUT LINE
-----W-----	PROPOSED WATER LINE
-----W-----	EXISTING WATER LINE
-----SS-----	PROPOSED SANITARY SEWER
-----SS-----	EXISTING SANITARY SEWER
=====S11=====	PROPOSED STORM SEWER (12" AND LARGER) (BY OTHERS)
=====S11=====	PROPOSED STORM SEWER (12" AND LARGER)
-----S1M-----	PROPOSED STORM SEWER (LESS THAN 12")
-----S1M-----	EXISTING STORM SEWER
-----UG-----	PROPOSED GAS LINE
-----UG-----	EXISTING GAS LINE
-----UE-----	PROPOSED UNDERGROUND ELECTRICAL
-----UE-----	EXISTING UNDERGROUND ELECTRICAL
-----OHE-----	PROPOSED OVERHEAD ELECTRICAL
-----OHE-----	EXISTING OVERHEAD ELECTRICAL
-----UT-----	PROPOSED UNDERGROUND TELEPHONE
-----UT-----	EXISTING UNDERGROUND TELEPHONE
-----FO-----	PROPOSED FIBER OPTIC LINE
-----FO-----	EXISTING FIBER OPTIC LINE
⬆	EXISTING LIGHT POLE
Ⓛ	EXISTING ELECTRICAL BOX
Ⓜ	EXISTING ELECTRICAL METER/RISER
Ⓢ	EXISTING ELECTRICAL MANHOLE
Ⓢ	EXISTING ELECTRICAL CABINET
Ⓢ	EXISTING ELECTRICAL VAULT
Ⓢ	EXISTING WATER VALVE
Ⓢ	PROPOSED WATER VALVE
Ⓢ	EXISTING FIRE HYDRANT
Ⓢ	PROPOSED FIRE HYDRANT
Ⓢ	EXISTING WATER METER
Ⓢ	EXISTING SANITARY SEWER MANHOLE
Ⓢ	EXISTING SANITARY SEWER CLEANOUT
Ⓢ	EXISTING GAS METER
Ⓢ	EXISTING TELEPHONE MANHOLE
Ⓢ	EXISTING TELEPHONE RISER
Ⓢ	EXISTING IRRIGATION BOX
Ⓢ	EXISTING STORM SEWER INLET
Ⓢ	PROPOSED STORM SEWER INLET
Ⓢ	PROPOSED MANHOLE
Ⓢ	PROPOSED WATER METER
Ⓢ	PROPOSED TRANSFORMER

1. ALL WORKSHIPMAN AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR CITY, COUNTY, STATE AND REGULATORY AGENCIES, CURRENT EDITION.
2. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY AND REGULATORY AGENCY 48 WORKING HOURS PRIOR TO BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS, ONE COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES.
4. DISTANCES FOR UTILITY LINES ARE THE HORIZONTAL DISTANCES BETWEEN CENTER-OF-FITTING/CLEANOUT TO CENTER OF FITTING/CLEANOUT. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING DIMENSIONS.
5. PROVIDE A MINIMUM OF 4.5 FEET OF COVER OVER POTABLE WATER LINES.
6. PROVIDE A MINIMUM OF 5.5 FEET OF COVER OVER NON-POTABLE WATER LINES.
7. MAINTAIN 18 INCH MINIMUM VERTICAL CLEARANCE BETWEEN SEWER AND WATER LINES.
8. MAINTAIN 10 FOOT MINIMUM HORIZONTAL DISTANCE BETWEEN SEWER AND POTABLE WATER LINES.
9. CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY CONFLICTS TO THE ENGINEER.
10. REFER TO BUILDING PLANS FOR EXACT LOCATION OF ALL UTILITY SUBS.
11. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE RESTORATION (E.G. LANDSCAPE, ASPHALT, CONCRETE, ETC.).
12. ALL TRENCH EXCAVATION SHALL BE PROPERLY SLOPED, SHORED, OR OTHERWISE SUPPORTED IN A MANNER REQUIRED BY OSHA OR AS REQUIRED BY STATE OR LOCAL LAWS.
13. VERIFY CONICAL MANHOLE ORIENTATION DOES NOT INTERFERE WITH CURB LINE.
14. BACKFLOW PREVENTER SHALL BE LOCATED INSIDE BUILDING.

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF
COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____

DEPARTMENT OF COMMUNITY
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COMMERCE CITY, CO

STORM DRAIN A PLAN AND

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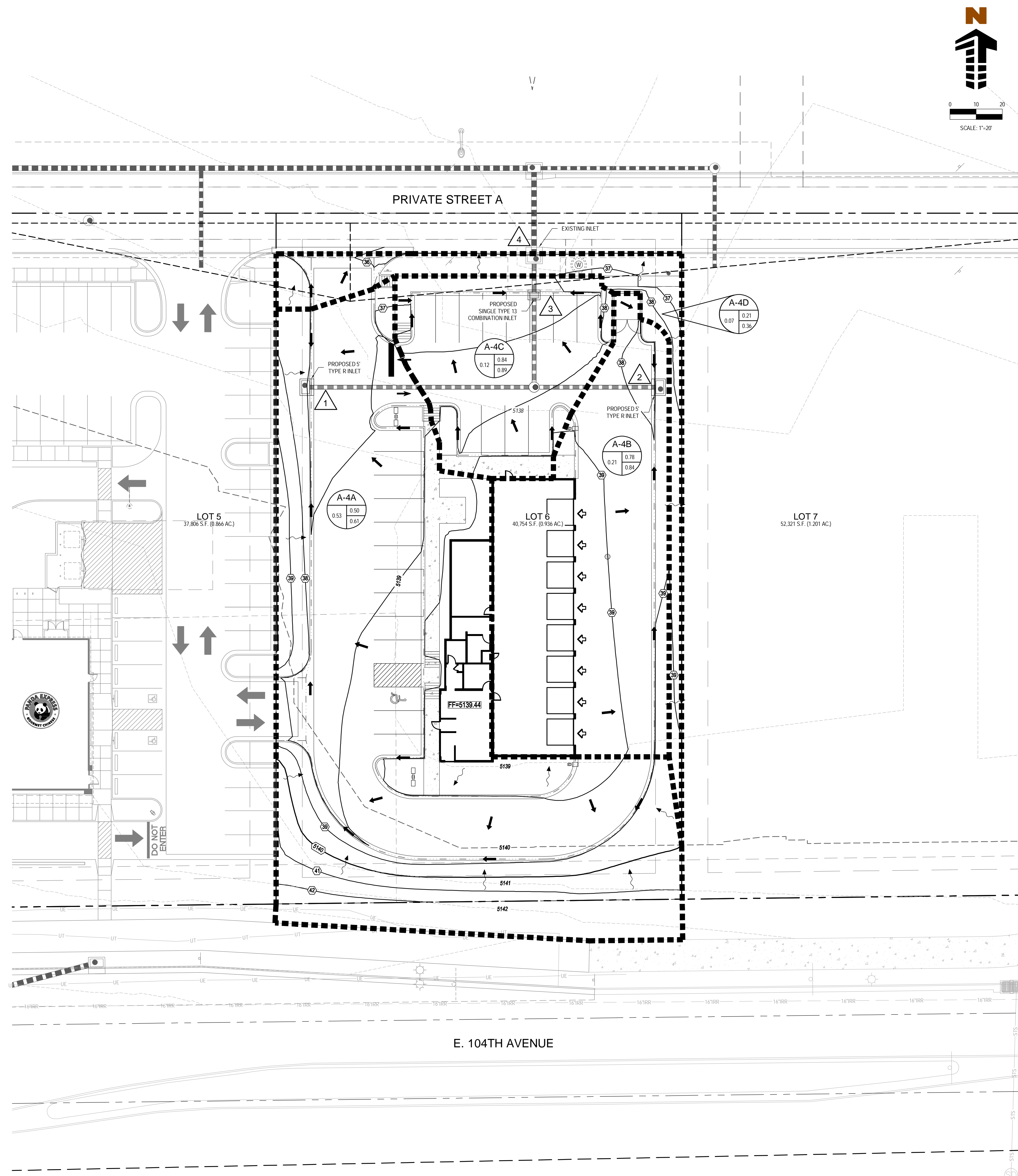
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COMMERCE CITY, CO

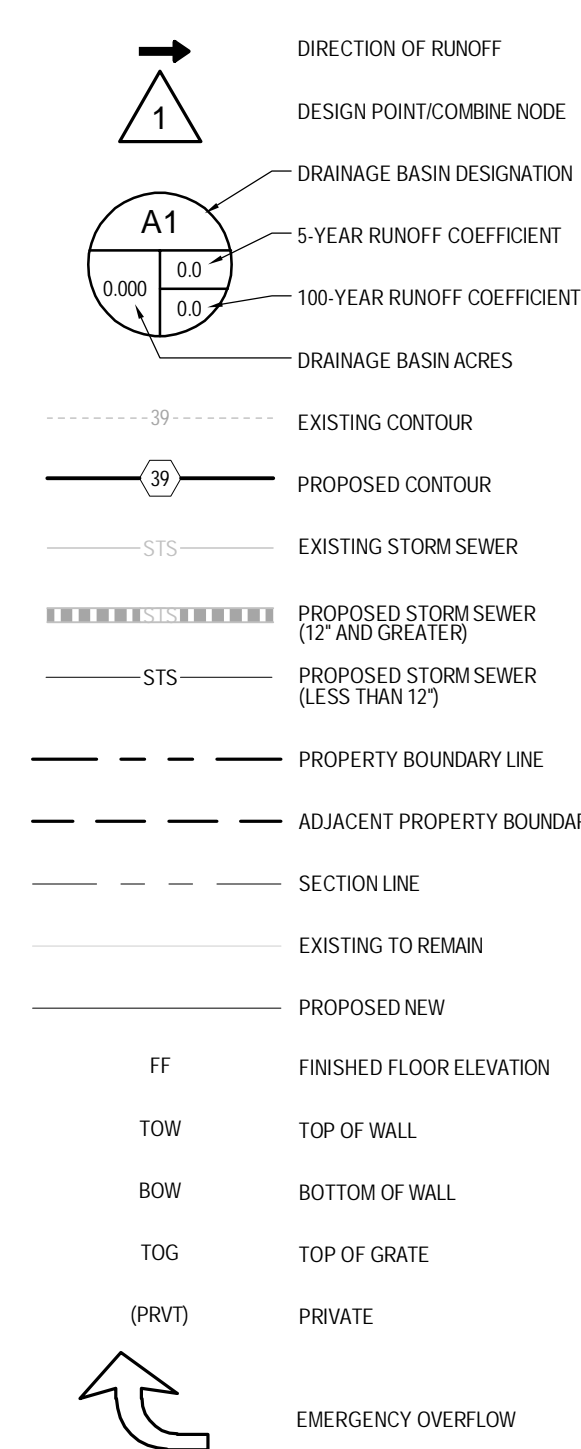
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Project No:	BPI000002
Drawn By:	NEW
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Date:	11.29.18

DRAINAGE PLAN (PUD)



■ ■ ■ ■ ■ ■ ■ ■ DEVELOPED BASIN BOUNDARIES



NOTE:

1. ALL ONSITE PROPOSED STORM SEWER SYSTEMS ARE PRIVATE UNLESS NOTED OTHERWISE.



VICINITY MAP

SCALE: 1"=2500'

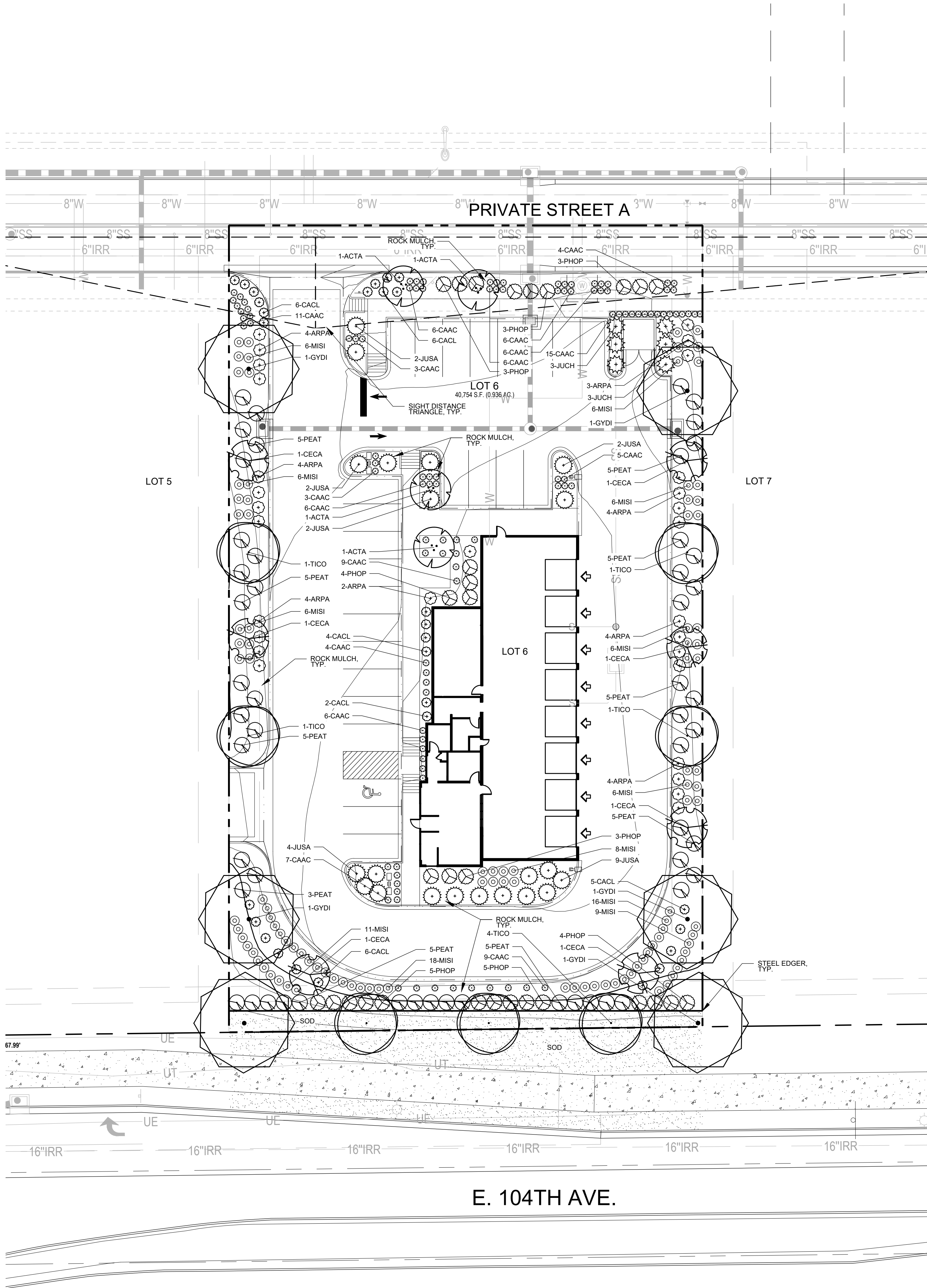
FLOW SUMMARY			
DESIGN POINT	CONTRIBUTING AREA (ACRES)	RUNOFF 5YR (CFS)	PEAK 100YR (CFS)
1	0.53	1.14	2.60
2	0.21	0.74	1.52
3	0.12	0.48	0.97
4	0.07	0.07	0.22

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF
COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____

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COMMERCE CITY LANDSCAPE STATISTICS SUMMARY TABLE

LANDSCAPE TREATMENT AREA	
SQUARE FOOTAGE OF THE LANDSCAPE AREA (NOT INCLUDING RIGHT OF WAY)	10,900 SF
SQUARE FOOTAGE OF THE LANDSCAPE AREA COVERED IN SOD (NOT INCLUDING ROW)	950 SF
SQUARE FOOTAGE OF THE LANDSCAPE AREA COVERED IN LIVING PLANT MATERIAL (NOT INCLUDING ROW)	7,420 SF
PERCENTAGE OF LANDSCAPE AREA COVERED IN LIVING PLANT MATERIAL	69%
THE NUMBER OF TREES REQUIRED BY THE LANDSCAPE ORDINANCE	18
THE NUMBER OF TREES PROVIDED IN THE LANDSCAPE PLAN	19
THE NUMBER OF SHRUBS REQUIRED BY THE LANDSCAPE ORDINANCE	36
THE NUMBER OF SHRUBS PROVIDED IN THE LANDSCAPE PLAN	165
THE NUMBER OF MULCH TYPES REQUIRED BY THE LANDSCAPE ORDINANCE	2
THE NUMBER OF TYPES OF MULCH PROVIDED IN THE LANDSCAPE PLAN	2

RIGHT-OF-WAY LANDSCAPE AREA

THE SQUARE FOOTAGE OF LANDSCAPE AREA WITHIN THE RIGHT-OF-WAY	1,908 SF/155 LF
THE NUMBER OF STREET TREES REQUIRED BY THE LANDSCAPE ORDINANCE	5
THE NUMBER OF STREET TREES PROVIDED IN THE LANDSCAPE PLAN	5
NOTE: STREET TREES MOVED ON PROPERTY DUE TO UTILITIES IN THE ROW	

PARKING LOT PERIMETER LANDSCAPE AREA

2,035 SF

PARKING LOT INTERIOR LANDSCAPE AREA

1,376 SF

TOTAL LANDSCAPE AREA (INCLUDING ROW)

12,808 SF

CODE SECTION	PERIMETER LANDSCAPING	TOTAL LINEAR FEET	REQUIRED TREES (1/30 LF)	PROPOSED TREES	REQUIRED SHRUBS (5/30 LF)	PROPOSED SHRUBS
SEC. 217540	PRIVATE STREET A 1 TREE AND 5 SHRUBS FOR EVERY 30-FOOT LINEAR FEET	154 LF	5	2	25	47

NOTE: STREET TREES ARE SHORT DUE TO UTILITY CONFLICTS ON THE NORTH SIDE OF PROPERTY

PLANTING LEGEND

LEGEND		BOTANIC NAME		COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE	WATER USE (V,L,L,M,H)	AREA PER PLANT	TOTAL AREA ON SITE
QTY	ABBREV.								
DECIDUOUS TREES									
6	GYDI	GYMNOCLADUS DIOICUS		KENTUCKY COFFEETREE	2.5" CAL. B&B	60'X50'	L	N/A	N/A
7	TICO	TILIA CORDATA		LITTLELEAF LINDEN	2.5" CAL. B&B	40'X30'	M	N/A	N/A
ORNAMENTAL TREES									
4	ACTA	ACER TATARICUM 'HOT WINGS'		HOT WINGS MAPLE	1.5" CAL. B&B	25'X20'	M	N/A	N/A
7	CECA	CERCIS CANADENSIS		EASTERN REDBUD	1.5" CAL. B&B	20'X15'	M	N/A	N/A
UPRIGHT JUNIPERS									
6	JUCH	JUNIPERUS CHINENSIS 'BLUE POINT'		BLUE POINT JUNIPER	#5 CONT. 3" HEIGHT	12'X6'	VL	28 SF	168 SF
DECIDUOUS SHRUBS									
29	CACL	CARYOPTERIS X CLANDONENSIS		BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	12 SF	348 SF
53	PEAT	PEROVSKIA ATRIPLICIFOLIA		RUSSIAN SAGE	#5 CONT. 18-24"	4'X4'	VL	12 SF	660 SF
30	PHOP	PHYSOCARPUS OPULIFOLIUS 'JEFAM'		AMBER JUBILEE NINEBARK	#5 CONT. 18-24"	6'X4'	L/M	12 SF	360 SF
EVERGREEN SHRUBS									
29	ARPA	ARCTOSTAPHYLOS 'PANCHITO'		PANCHITO MANZANITA	#5 CONT. 18-24"	2'X4'	VL	12 SF	396 SF
21	JUSA	JUNIPERUS SABINA 'BUFFALO'		BUFFALO JUNIPER	#5 CONT. 18-24"	12'X6'	VL	28 SF	588 SF
ORNAMENTAL GRASSES									
106	CAAC	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'		FEATHER REED GRASS	#3 CONT.	5'X2'	L	12 SF	1,272 SF
104	MISI	MISCANTHUS SINENSIS 'MORNING LIGHT'		MORNING LIGHT MAIDEN GRASS	#3 CONT.	4'X3'	L	7 SF	770 SF
MISCELLANEOUS									
2,858 SF		FESCUE SOD		RTF (RHIZOMATOUS TALL FESCUE)	SOD		M	N/A	2,858 SF
10,155 SF		ROCK COBBLE MULCH		1.5-2" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH		N/A	N/A	N/A
		WOOD MULCH (AS NEEDED)		DARK BROWN SHREDDED HARDWOOD MULCH	MULCH		N/A	N/A	N/A
160 LF		STEEL EDGING		ROLL-TOP BLACK STEEL EDGING. SEE LANDSCAPE NOTES	EDGING		N/A	N/A	N/A
								TOTAL	7,420 SF

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS. SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____

DEPARTMENT OF COMMUNITY
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BRAKES PLUS INC.
6911 S. YOSEMITE STREET
CENTENNIAL, CO 80112

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REUNION BRAKES PLUS INC.

COMMERCE CITY, CO

#	Date	Issue / Description	Int.
1	11-29-18	1ST PLANNING SUBMITTAL	EDN
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Project No:	BPI000002
Drawn By:	EDN
Checked By:	DTT
Date:	11.29.18

LANDSCAPE PLAN

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL, BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS, MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEDDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH ARE NOT WORKING PROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOVING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID SEVERE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BE EXTENDED AND OWNER ACCEPTS THE EXTENSION.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING AND LANDSCAPE. THE MINIMUM DRAINAGE SPECIFIED IN THE PERMITS SHALL BE REPORTED. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE LANDSCAPE ARCHITECT AND THE LANDSCAPE CONTRACTOR, THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

A. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION
MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR PERENNIAL TREES AND 6-POUT HERTZ FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS 5 GALLON CONTAINER; ORNAMENTAL GRASSES 1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2.25 POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING OR EVERGREEN TREES SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000 SF OF LANDSCAPE AREA.

B. STREET TREES
THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.

C. WEED BARRIER
POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.

D. EDGING
PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS ROLL-OVER TOP OR A PROTECTIVE CAP.

E. IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN
THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.

F. IRRIGATION
ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.

G. MAINTENANCE
THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.

LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST BE REPLACED AT A SHRUB MUST BE REPLACED A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.

THE APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

H. VEHICLE PARKING NOTE
NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.

I. LIGHT LINE CONSIDERATIONS
WITH THE SIGHT DISTANCE TRIANGLE, NO SHRUBS, GROUNDCOVER, BouldERS, BERMS, FENCES, WALLS, OR OTHER PLANT MATERIALS CONSTITUTING VISUAL OBSTRUCTIONS SHALL EXCEED A HEIGHT OF 36 INCHES FROM THE GUTTER FLOWLINE. TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLES, AT SUFFICIENT MATURITY, SHALL BE TRIMMED TO A HEIGHT OF 8 FEET ABOVE THE GUTTER FLOWLINE. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES.

J. NATIVE GRASS NOTE
ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED SHALL BE SEEDDED WITH NATIVE GRASSES.

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINUS CHANGES TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PLUMBING WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBTSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTICES ON THE PLANS (AS APPLICABLE).
6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED UP PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
11. LANDSCAPE CONSTRUCTION PRACTICES, WORKSMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION

13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL BE TESTED BY THE LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE TEST QUOTE. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TAKEN BY AN ESTABLISHED TEST LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE TEST QUOTE. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.

THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.

16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST QUANT AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-4 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLAGE AFTER CROSS-SPRINKLING. GROUND COVER OR PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 6 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD. ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.

18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.

19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.

20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.

21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

22. ALL TREES PLANTED ADJACENT TO PUBLIC/AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.

23. RTF TALL FESCUE HAS BEEN APPROVED IN MANY JURISDICTIONS AS A LOW-MODERATE RHYZOME PLANT MATERIAL. INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

24. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.

25. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: BLACK.

26. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.

27. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.

28. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E. MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING

29. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.

30. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.

31. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.

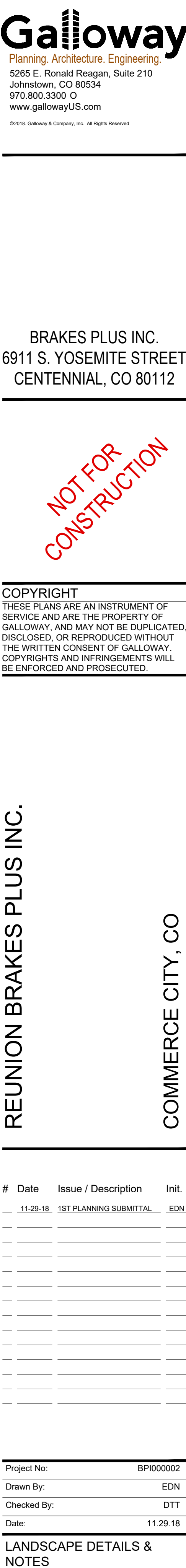
32. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

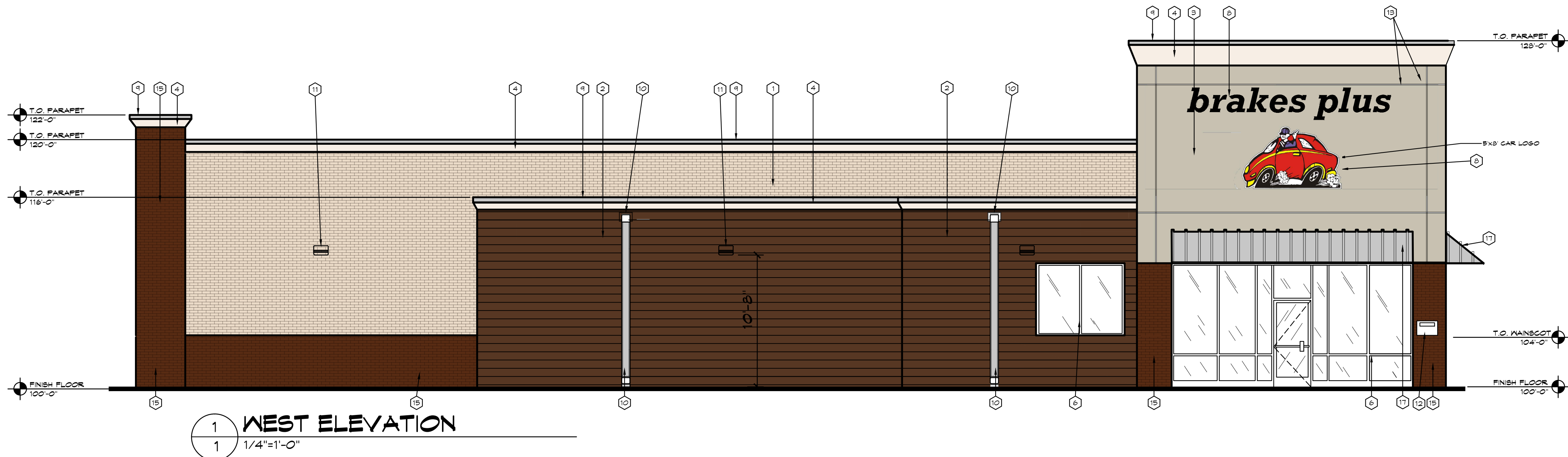
33. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.

34. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #C7-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

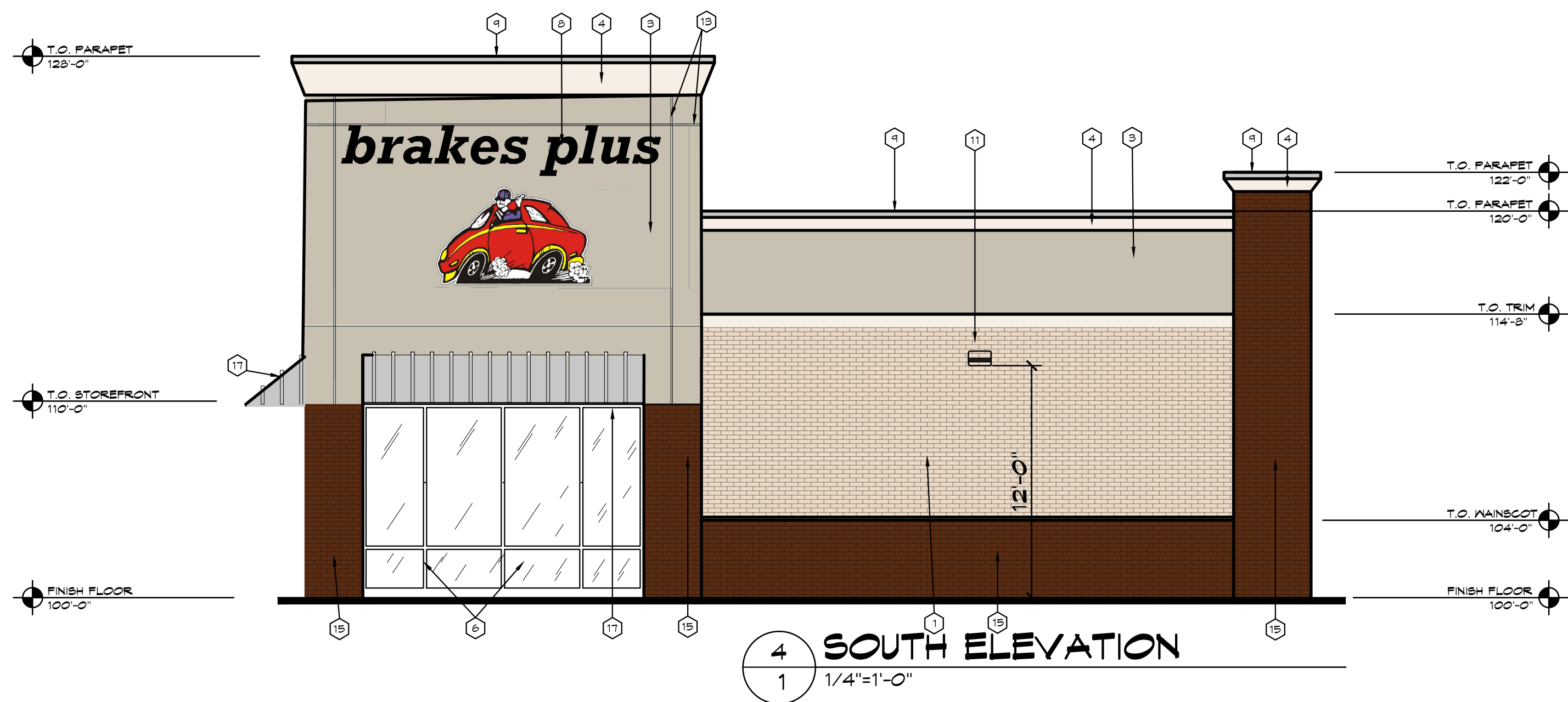
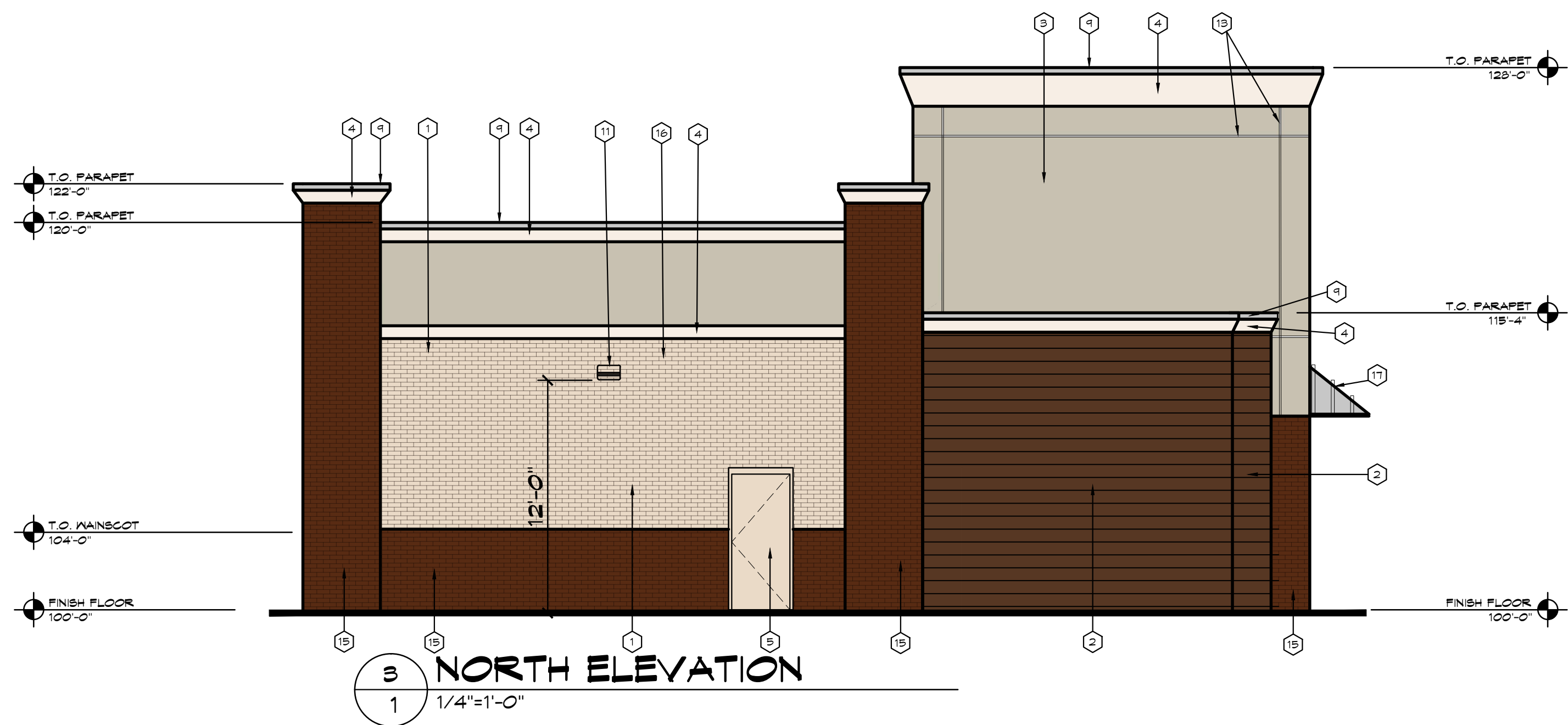
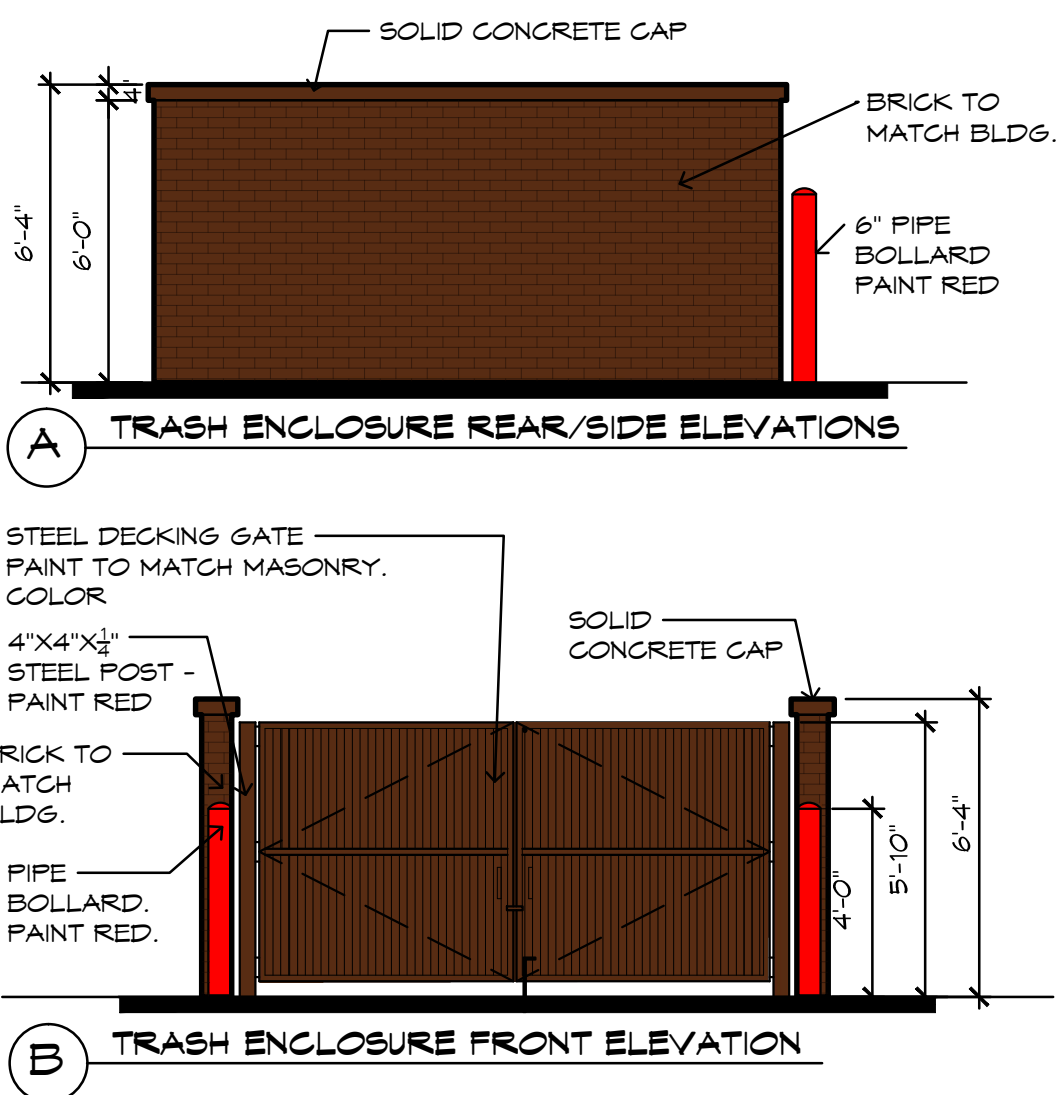
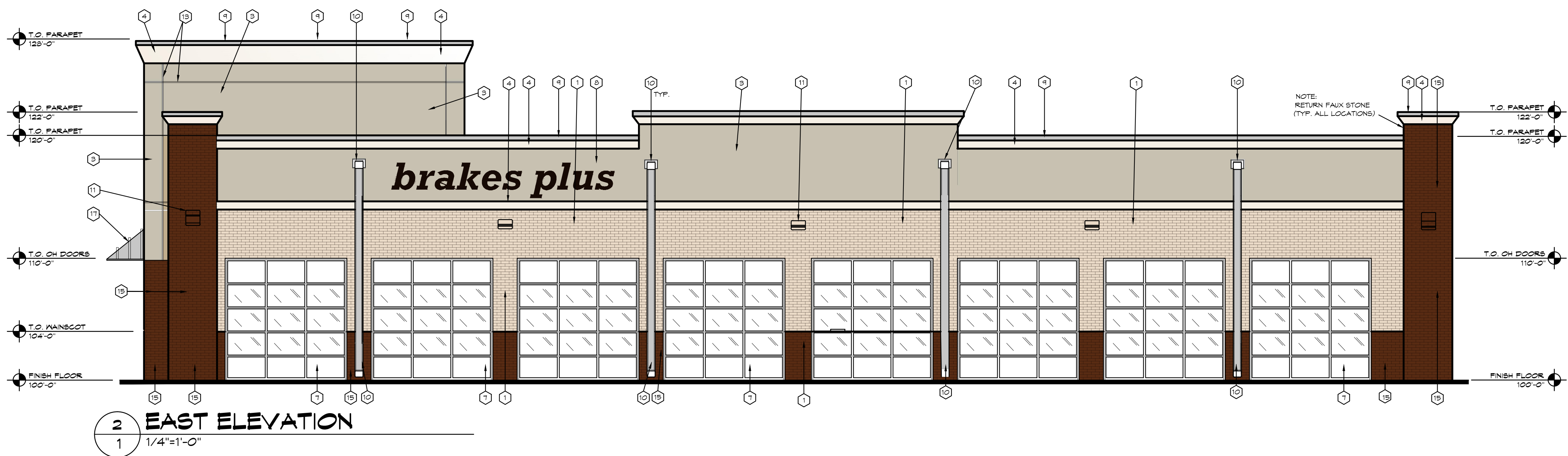
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF
COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____

DEPARTMENT OF COMMUNITY
DEVELOPMENT SIGNATURE _____





- KEYNOTES**
1. FACE BRICK - INTERSTATE BRICK - ALMOND
 2. FIBER CEMENT PANEL - NICHHA VINTAGE BARK
 3. STUCCO - INTEGRAL COLOR TO MATCH ANEA GRAY
 4. STUCCO - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #6105 DIVINE WHITE
 5. MTL. MAN DOOR. PAINT TO MATCH MASONRY
 6. ALUMINUM/GLASS STOREFRONT CLEAR ANODIZED ALUMINUM
 7. ALUMINUM SECTIONAL OVERHEAD DOORS CLEAR ANODIZED ALUMINUM
 8. INTERNALLY-ILLUMINATED "BRAKES PLUS" SIGNAGE
 9. PRE-FINISHED METAL CAP FLASHING PREFINISHED TO MATCH STOREFRONT GLAZING SYSTEM
 10. DOWNSPOUT AND OVERFLOW SCUPPER PAINT TO MATCH STOREFRONT GLAZING SYSTEM
 11. DECORATIVE LIGHT FIXTURE
 12. KEY DROP BOX
 13. 1 1/2" X 3/4" REVEAL
 14. NOT USED
 15. FACE BRICK - INTERSTATE BRICK - IRONSTONE
 16. NOT USED
 17. METAL AWNING - BERRIDGE "ZINC-COTE"



BRAKES PLUS

REUNION
COMMERCE CITY, COLORADO

ARCHITECT OF RECORD

REVISION
DATE
COMMENTS

11.26.18
SUBMITTAL TO PLANNING

ARC CODEV JOB #:
CLIENT JOB #:
DRAWN BY: CJC
CHECKED BY: NLH
DATE OF ISSUE: 11.19.18

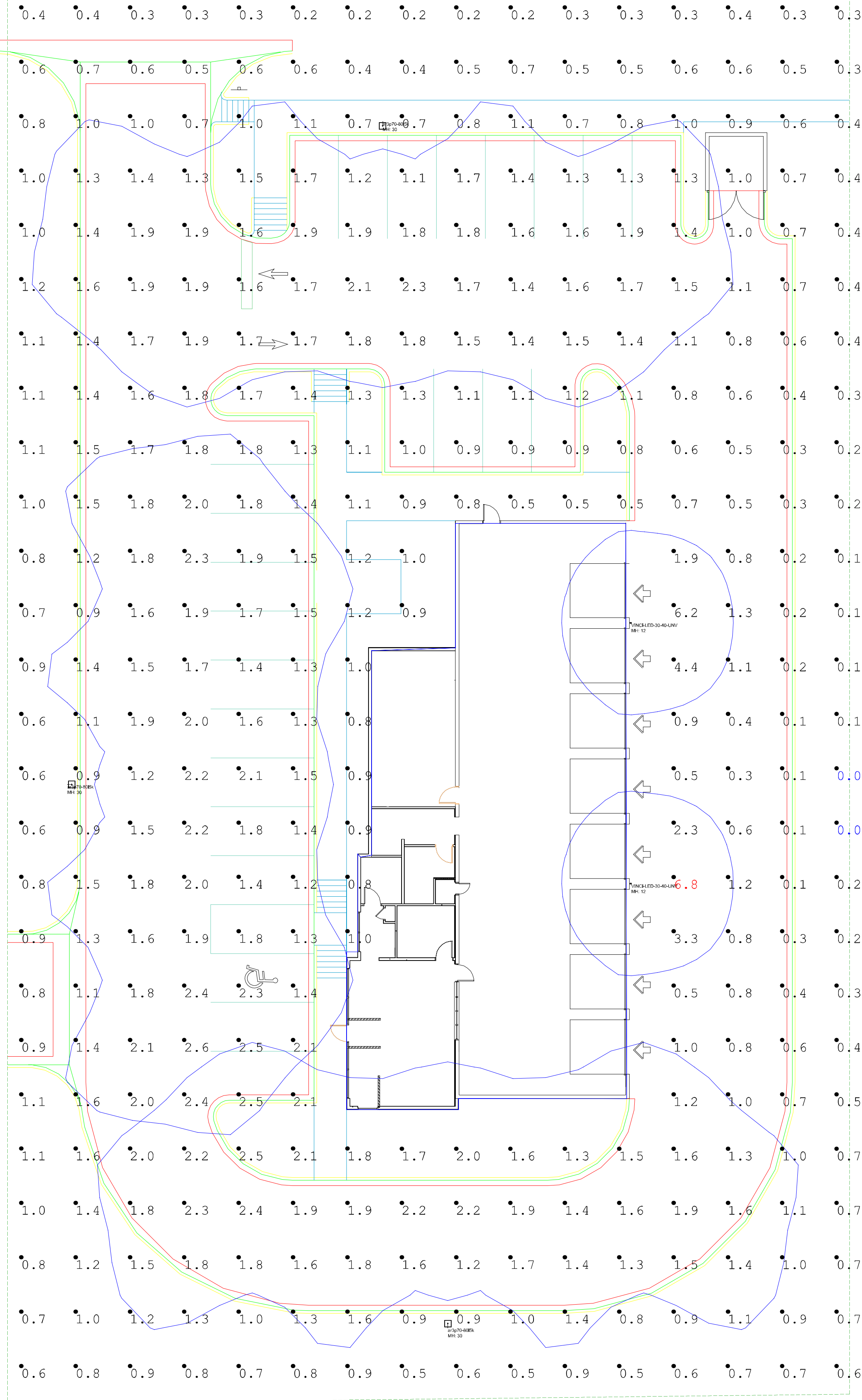


5265 S Rio Grande St.
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SHEET

1

EXTERIOR ELEVATIONS



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VINCI-LED

Wall/Area/Flood Lighting

Job Information

Type:	
Catalog #:	
Project:	
Comments:	
Prepared by:	



Applications

- Wall/Surface
- Post/Bollard
- Low Level
- Flood Lighting
- Inverted
- Site Lighting

Description

The Vinci-LED is an architectural style luminaire providing maximum light output using energy-efficient LEDs. With sturdy die-cast aluminum construction, this low-profile fixture includes a universal back box, stainless steel hardware and a sealed, gasketed optical compartment which makes Vinci-LED secure from outside contaminants. Designed for floodlight, pathway illumination, wall/surface applications, inverted mount for canopy lighting, post and bollard and site lighting. Common applications include school and institution, warehouse, apartment and condominium complexes, loading docks and more.

VINCI-LED					
Series	Wattage/Lumen	Color Temp.	Voltage	Finish	Option
Wall/Area/Flood Lighting	10 10W/1200lm	30 3000K	UNV 120-277V	BZ Bronze	PC Photocell (120-277V)
	20 20W/2400lm	40 4000K		WH White	HK Heavy Duty Adjustable
	30 30W/3600lm	50 5000K			YM Yoke Mount
	60 60W/7200lm				BF Slip Base
	80 80W/9600lm				PM Pole Mount

AR

The Archetype® Large PicoEmitter LED

kl_areled_spec.pdf

JOB _____ TYPE _____

NOTES _____ APPROVALS _____

FEATURES

- PicoEmitter® technology
- Full uplight cutoff
- Available in 5800m 3000K, 4000K and 5000K standard CCT
- Type 1, 2, 3, 4, 5, R, L standard distributions
- 0-10V dimming drivers standard
- IP66 certified

Certifications

SPECIFICATIONS

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Ground @ 0'	Illuminance	Fc	1.18	6.8	0.0	N.A.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
[-]	3	ar3p70-80L5k	SINGLE	N.A.	0.950	AR3P70-80L5K
[+]	2	VINCI-LED-30-40-UNV	SINGLE	N.A.	0.950	VINCI-LED-30-40-UNV

Drawn By: R. Maccarone

Date: 2/25/2019

Product Specification:

Scale: None

Project Name:

Brakes Plus

Comments

Pole Height Changed from 25' to 30'

Drive Connection added to Plan

Spec Sheet Images added to Plan

Revisions

#	Date	Comments
1	1/14	Pole Height Changed from 25' to 30'
2	2/13	Drive Connection added to Plan
3	2/22	Spec Sheet Images added to Plan