

LANDSCAPE ARCHITECT CONTACT INFORMATION:
WENK ASSOCIATES
ATTN: TYREL R. STURGEON

VICINITY MAP
SCALE: N.T.S.

VICINITY MAP
SCALE: N.T.S.

| EXISTING | | PROPOSED |
|----------|---|----------|
| | PROPERTY LINE | |
| | FLOWLINE | |
| | BACK OF CURB | |
| | EASEMENT | |
| | SETBACK LINE | |
| | PARKING STALL COUNT PER ROW OVERHEAD POWER | |
| | GRASS LANDSCAPING | |
| | CONCRETE SIDEWALK/VALLEY PAN | |
| | ASPHALT PAVEMENT | |
| | BUILDING | |
| | FENCE | |

NOTES:

1. **PAVEMENT SHALL EITHER BE CONCRETE OR ASPHALT. MATERIAL TO BE DETERMINED AT TIME OF CONSTRUCTION.**
2. **LIGHTING NOTE:** IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
3. **TRASH ENCLOSURE NOTE:** TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
4. **SCREENING NOTE:** ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
5. **SIGNAGE NOTE:** APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS, HOWEVER, THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY OF COMMERCE CITY'S SIGN CODE.
6. **FENCING NOTE:** APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY OF COMMERCE CITY'S FENCING REQUIREMENTS.
7. **DOWNSPOUT NOTE:** NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, DRIVE PAVES, OR PEDESTRIAN ROUTES.
8. **AMERICANS WITH DISABILITIES NOTE:** THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
9. **CONSTRUCTION NOTE:** THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
10. **UNDERGROUND UTILITY NOTE:** ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.
11. **SPILL CURB IS ALL SPILL CURB UNLESS OTHERWISE NOTED. SEE SHEET C3.0 FOR CURB DETAIL.**
12. **SURROUNDING SIDEWALKS SHALL BE REPAIRED AND REPLACED AS NECESSARY.**
13. **FENCING WILL BE INSTALLED ALONG THE FULL LENGTH OF THE PROPERTY LINE DIVIDING THE SITE FROM THE I-2 LOT TO THE EAST.**

ASSUMED 100.0' ON THE CONCRETE FINISHED FLOOR
AT THE EASTERLY END OF THE BRICK BUILDING AS
SHOWN AND DESCRIBED HEREON. WITH ALL OTHER
ELEVATION INFORMATION SHOWN HEREON RELATED
THERE TO.

ASSUMED BEARING OF NORTH 00°15'10" WEST LINE OF
THE SOUTHEAST QUATER OF SECTION 7.

PARCEL IDENTIFICATION NUMBER:
182307400059

CITY STAFF CERTIFICATE

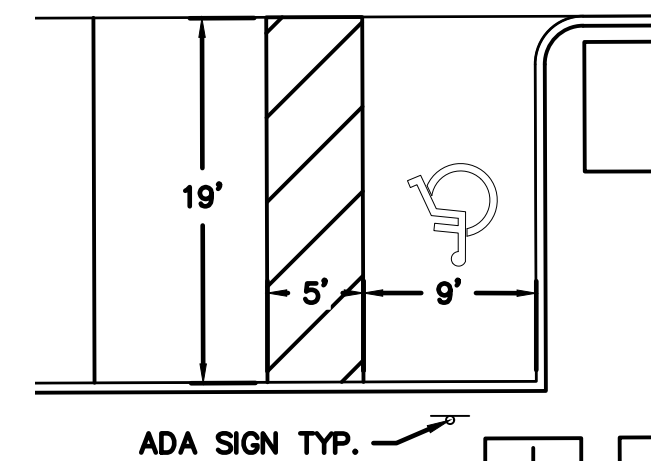
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS ____ DAY OF _____, A.D. ____.

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE _____

| Sheet List Table | |
|------------------|---------------------------|
| Sheet Number | Sheet Title |
| C1.0 | SITE PLAN |
| C2.0 | UTILITY PLAN |
| C3.0 | GRADING AND DRAINAGE PLAN |
| L1.0 | LANDSCAPE PLAN |
| L2.0 | LANDSCAPE NOTES & TABLES |
| A1.0 | EXTERIOR ELEVATIONS |
| A2.0 | SITE ELEMENTS ELEVATIONS |
| E1.0 | SITE PHOTOMETRIC PLAN |
| E1.1 | PHOTOMETRIC DETAILS |

| EASEMENT TABLE | |
|----------------|--|
| ① | 10' UTILITY EASEMENT |
| ② | 24' CROSS ACCESS EMERGENCY ACCESS EASEMENT |
| ③ | DRAINAGE EASEMENT |

| PROJECT SUMMARY TABLE | | |
|-------------------------------|-------------------------------|---------------------------|
| ADDRESS | 5846 DAHLIA STREET | 5850 DAHLIA STREET |
| LOT NAME | LOT B | LOT A |
| PARCEL IDENTIFICATION NUMBER | 182307400059 | |
| SITE AREA | 0.29 ACRES (12,571 SF) | 0.94 ACRES (40,855 SF) |
| BUILDING AREA TOTAL | 4,080 SF | 9,540 SF |
| 1ST FLOOR | 3,480 SF | 9,540 SF |
| 2ND FLOOR | 600 SF | — |
| LANDSCAPED AREA | 0.06 ACRES (2,813 SF) | 0.21 ACRES (9,342 SF) |
| FLOOR AREA RATIO | 0.32 | 0.23 |
| PARKING SPACES REQUIRED | 13 | 22 |
| PARKING SPACES PROVIDED | 13 | 22 |
| ALLOWABLE OCCUPANCY | BUSINESS (B) & MERCANTILE (M) | — |
| TYPE OF BUILDING CONSTRUCTION | TYPE V—B | — |
| ZONING | CURRENT I—2, PROPOSED C—3 | CURRENT I—2, PROPOSED I—1 |
| ESTIMATED NUMBER OF EMPLOYEES | 8 | 8 |
| NUMBER OF FIXED SEATS | 8 | 8 |



TYPICAL ADA STALL LAYOUT
SCALE: 1'=10'

DWG: F:\2016\1001-1500\016-1205\40-Design\AutoCAD\Preliminary Plans\Sheets\LDVP\C_SIT_161205.dwg
 DATE: Dec 22, 2016 1:26pm XREFS: C_XBASE_161205 C_PBASE_161205 C_TBULK_161205 C_PPAT_161205
 USER: chill C_LGND_161205

KEYNOTES:

- 11 - 12'x60' LOADING ZONE
- 12 - 5'x6' BIKE RACKS 2 BIKES PER RACK
- 13 - ADA RAMP
- 14 - TRASH ENCLOSURE
- 15 - HEADER CURB
- 16 - VERTICAL SPILL CURB
- 17 - MAIN PUBLIC ENTRANCE, SEE SHEET A1.0
- 18 - TRANSFORMER PAD
- 19 - CROSS WALK STRIPING
- 20 - CURB CUT
- 21 - CONCRETE VALLEY PAN
- 22 - CHASE DRAIN
- 23 - HAND RAIL
- 24 - POND EMERGENCY SPILLWAY
- 25 - PROPOSED FENCE
- 26 - WQCV & DETENTION POND

WOLSSON®
ASSOCIATES

NOTE
THIS DOCUMENT HAS BEEN
RELEASED BY OLSSON
ASSOCIATES ONLY FOR REVIEW
BY REGULATORY AGENCIES AND
OTHER PROFESSIONALS, AND IS
SUBJECT TO CHANGE. THIS
DOCUMENT IS NOT TO BE USED
FOR CONSTRUCTION.

OLSSON ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



Know what's **below.**
Call before you dig.

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

[illegible]

REVISIONS

2016

DAHLIA
 DEVELOPMENT PLANS
 SITE PLAN

CITY OF COMMERCE CITY, CO

| | |
|--------------|------------------|
| drawn by: | CH |
| checked by: | CH |
| approved by: | MM |
| QA/QC by: | CH |
| project no.: | 016-1205 |
| drawing no.: | C_SIT_161205.dwg |
| date: | 12/22/2016 |

SHEET
C1.0

LANDSCAPE ARCHITECT CONTACT INFORMATION:
WENK ASSOCIATES
ATTN: TYREL R. STURGEON

| EXISTING | | PROPOSED |
|----------|-------------------|----------|
| | PROPERTY LINE | |
| | FLOWLINE | |
| | BACK OF CURB | |
| | EASEMENT | |
| | SETBACK LINE | |
| | WATER LINE | |
| | WATER METER | |
| | WATER VALVE | |
| | SANITARY SEWER | |
| | SANITARY CLEANOUT | |
| | GAS LINE | |
| | OVERHEAD POWER | |
| | UNDERGROUND POWER | |
| | STORM SEWER | |
| | STORM MANHOLE | |
| | GRATE INLET | |

NOTE
THIS DOCUMENT HAS BEEN
RELEASED BY OLSSON
ASSOCIATES ONLY FOR REVIEW
BY REGULATORY AGENCIES AND
OTHER PROFESSIONALS, AND IS
SUBJECT TO CHANGE. THIS
DOCUMENT IS NOT TO BE USED
FOR CONSTRUCTION.

OLSSON ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



Know what's below.
Call before you dig
CALL 811 SEVENTY-TWO HOURS
PRIOR TO DIGGING, GRADING OR
EXCAVATING FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

1. ALL CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY SHALL CONFORM TO THE CITY OF COMMERCE CITY CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.
2. ALL OVER LOT GRADING IN THE RIGHT-OF-WAY OR EASEMENT SHALL BE COMPLETED PRIOR TO INSTALLING POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION LINES.
3. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR DIAL 811 FOR UTILITY LOCATES 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. MAINTAIN A MINIMUM OF TEN (10) FEET HORIZONTAL CLEAR DISTANCE SEPARATION BETWEEN POTABLE WATER MAINS/SERVICES AND SANITARY SEWER. OR NON-POTABLE IRRIGATION MAINS/SERVICES. POTABLE WATER MAINS/SERVICES ARE TO BE LOCATED 18-INCHES MINIMUM ABOVE THE SANITARY SEWER OR NON-POTABLE IRRIGATION MAINS/SERVICES. IF FIELD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS AND THE SANITARY SEWER OR NON-POTABLE MAINS/SERVICES CANNOT BE LOCATED BELOW THE WATER MAIN OR SERVICE, A CLEAR VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BELOW CANNOT BE MAINTAINED, OR A MINIMUM THE (10) FOOT HORIZONTAL SEPARATION CANNOT BE ACHIEVED, THE CITY SHALL BE CONTACTED IMMEDIATELY TO REVIEW THE SITUATION.
5. IN ALL INSTANCES WHERE A WATER LINE LOWERING, POTABLE OR NON-POTABLE, IS REQUIRED DUE TO UNFORESEEN FIELD CONDITIONS, A DETAILED DRAWING SHALL BE PROVIDED TO THE CITY FOR ACCEPTANCE PRIOR TO PERFORMING THE WORK.
6. WHERE POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION LINES ARE LOCATED IN COMMON UTILITY EASEMENT AREAS, THERE SHALL BE NO OTHER UTILITIES LOCATED HORIZONTALLY WITHIN TEN (10) FEET OF EITHER LINE EXCEPT AT APPROVED CROSSINGS.
7. CONTRACTOR SHALL NOTIFY THE CITY ONE (1) WEEK PRIOR TO COMMENCING WORK AFTER CITY ACCEPTED CONSTRUCTION DRAWINGS HAVE BEEN DISTRIBUTED AND A PRECONSTRUCTION MEETING HAS BEEN HELD WITH THE CITY.
8. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO BE CROSSED BY POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION LINES AT LEAST 24 HOURS PRIOR TO CROSSING TO ENSURE 18" MINIMUM CLEARANCE FOR OPEN CUT CROSSINGS AND 36" MINIMUM CLEARANCE FOR BORED CROSSINGS. HORIZONTAL AND VERTICAL LOCATION OF CROSSED EXISTING UTILITIES SHALL BE RECORDED ON THE AS-CONSTRUCTED RECORD DRAWINGS.
9. SHOULD ANY VARIATIONS BEFORE OR DURING CONSTRUCTION TO THE POTABLE WATER DISTRIBUTION, SANITARY SEWER COLLECTION, OR NON-POTABLE IRRIGATION SYSTEM DESIGNS BE CONSIDERED, NOTICE MUST FIRST BE GIVEN TO THE CITY TO DETERMINE IF IT NEEDS ACCEPTANCE BY THE CITY. IF SO, A NEW PLAN SHALL BE DRAWN AND SUBMITTED TO THE CITY FOR ACCEPTANCE BY THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
10. THE FINAL CONSTRUCTION PLANS ARE VALID FOR CONSTRUCTION ONE (1) YEAR FROM THE DATE OF CITY SIGNATURE ACCEPTANCE.
11. VERIFICATION SURVEY -- TOP OF PIPE ELEVATIONS AT ALL POTABLE AND NON-POTABLE WATER LINE VALVES, AND SANITARY SEWER MANHOLE INVERTS SHALL BE SURVEYED AND PROVIDED TO THE CITY BY THE DESIGN ENGINEER FOR ACCEPTANCE PRIOR TO PAVING CONSTRUCTION. THE VERIFICATION SURVEY SHALL ALSO PROVIDE SEWER PIPE SLOPES AND LENGTH AND PROPOSED FINISHED GROUND ELEVATIONS AT ALL VALVE BOXES AND MANHOLE RIM ELEVATIONS.
12. ALL UTILITY CONDUIT CROSSINGS OF POTABLE WATER, SANITARY SEWER AND NON-POTABLE IRRIGATION LINES SHALL BE ENCASED IN HIGH DENSITY POLYETHYLENE (HDPE) PIPE, WITH A MINIMUM STANDARD DIMENSION RATIO (SDR) 11 ACROSS THE ENTIRE EASEMENT OR RIGHT-OF-WAY WIDTH. THE ENCASEMENT JOINT SHALL BE BUTT FUSED. FLEXIBLE JOINTS ARE NOT ALLOWED.
13. PRIOR TO EXCAVATION AND CONSTRUCTION OVER AND NEAR THE EXISTING WATER AND SEWER MAINS, PLEASE CONTACT THE WATER AND SEWER DEPARTMENT RIGHT-OF-WAY STAFF, TO COMPLETE THE APPLICABLE DOCUMENTATION TO WORK WITHIN THE RIGHT-OF-WAY OR EASEMENTS.
14. COORDINATE UTILITIES AT BUILDING WITH PLUMBING PLANS.
15. UNDERGROUND UTILITY NOTE; ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.

ASSUMED 100.0' ON THE CONCRETE FINISHED FLOOR
AT THE EASTERLY END OF THE BRICK BUILDING AS
SHOWN AND DESCRIBED HEREON. WITH ALL OTHER
ELEVATION INFORMATION SHOWN HEREON RELATED
THERE TO.

ASSUMED BEARING OF NORTH 00°15'10" WEST LINE OF
THE SOUTHEAST QUATER OF SECTION 7.

PARCEL IDENTIFICATION NUMBER:
182307400059

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS ____ DAY OF _____, A.D. ____.

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE _____

drawn by: CH
checked by: CH
approved by: MM
QA/QC by: CH
project no.: 016-1205
drawing no.: C_UTL_161205.dwg
date: 12/22/2016

SHEET
C2.0

REVIEWS

2016

CITY OF COMMERCE CITY CO

DWG: F:\2016\1001-1500\016-1205\40-Design\AutoCAD\Preliminary Plans\Sheets\LDVP\C_UTL_161205.dwg USER: chill
Dec 22, 2016 1:27pm XREFS: C_XBASE_161205 C_PBASE_161205 C_TBLK_161205 C_LGND_161205 C_PUTIL_161205
DATE:

LANDSCAPE ARCHITECT CONTACT INFORMATION:
WENK ASSOCIATES
ATTN: TYREL R. STURGEON

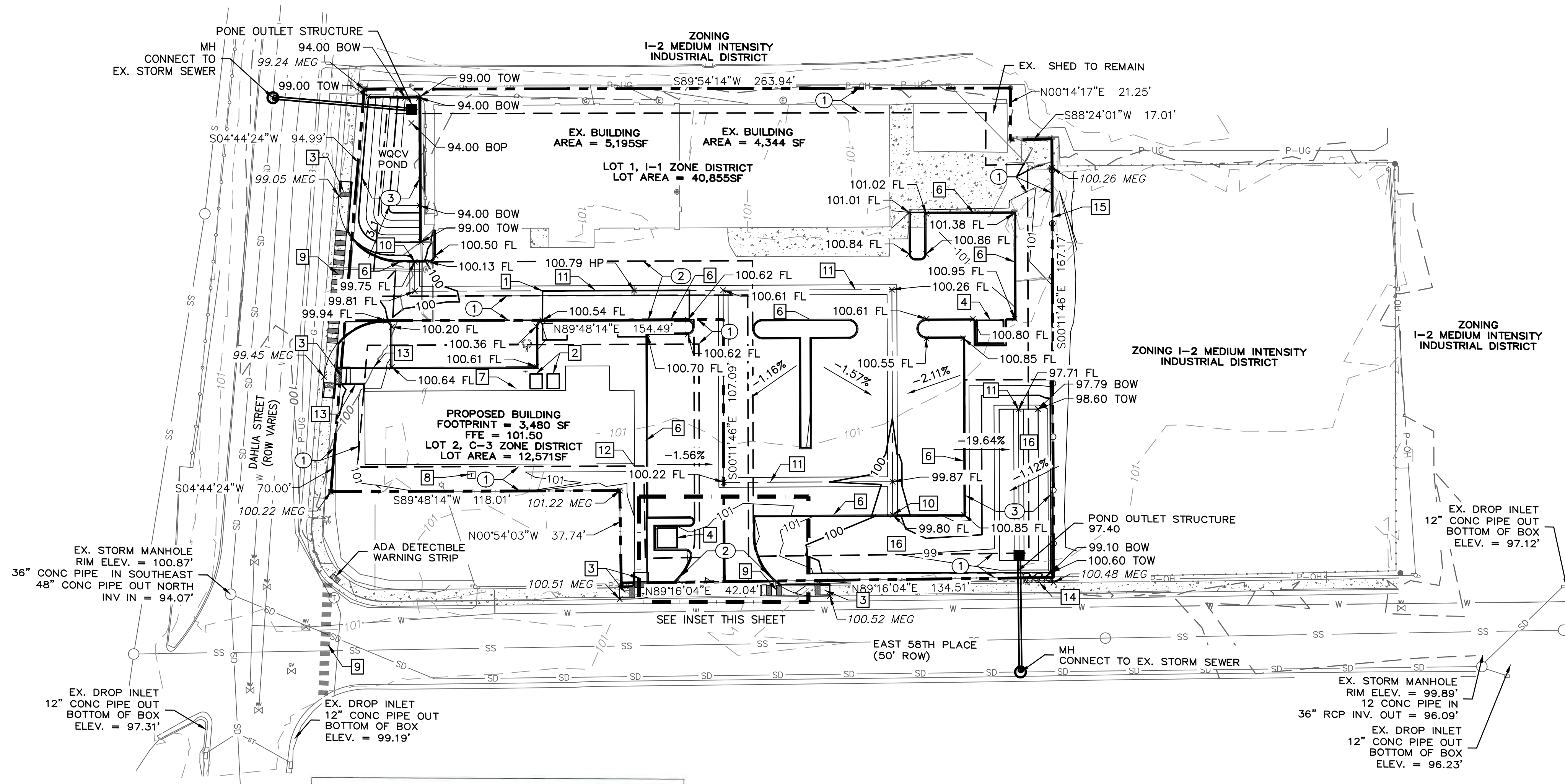
| EXISTING | PROPOSED |
|----------|----------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

1. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY COMMENCING.
2. GRADES SHOWN ARE FINISHED GRADES.
3. THE CONTOUR LINES AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. ALL SPOT ELEVATIONS SHOWN ARE TO FLOWLINE UNLESS OTHERWISE INDICATED. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR FINISHING LINE ELEVATIONS.
4. TOP OF CURB AND SIDEWALK ELEVATIONS AT LOCATIONS OTHER THAN THE SIDEWALK AROUND THE BUILDING SHALL BE 0.5' ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
5. NO ASPHALT OR CONCRETE PAVING SHALL BE INSTALLED UNTIL ALL UTILITIES IN OR CROSSING PAVED AREAS HAVE BEEN INSTALLED AND THE BASE COURSE IS APPROVED.
6. NO PAVING SHALL BE INSTALLED UNTIL APPROVAL IS GIVEN AS TO THE TYPE OF PAVING MATERIALS TO BE USED.
7. BASE MATERIAL AND ASPHALT SHALL BE INSTALLED PER GEOTECHNICAL RECOMMENDATIONS AND SPECIFICATIONS.
8. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION AND IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES.
9. OUTFLOW CURB AND GUTTER SHALL BE INSTALLED AS INDICATED. TRANSITION FROM INFLOW CURB AND GUTTER TO OUTFLOW CURB AND GUTTER SHALL BE A 3' MINIMUM.
10. CONTRACTOR SHALL CONDUCT SAMPLING AND TESTING QUALITY CONTROL FOR THE PLANS AND GEOTECHNICAL RECOMMENDATIONS. PRIOR TO BEGINNING ANY CUT OR FILL, CONTRACTOR SHALL STRIP EXISTING GROUND TO REMOVE ALL VEGETATION.
11. TOPSOIL SHALL BE REMOVED WHERE STRUCTURES ARE TO BE BUILT. TOPSOIL SHALL BE STORED CLEAR OF THE CONSTRUCTION AREA. CONTRACTOR SHALL TAKE CARE TO PREVENT THE TOPSOIL FROM BECOMING MIXED WITH SUBSOIL.
12. UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER, COMPLETION OF STRIPPING AND/OR EXCAVATION IN AREAS TO PROVIDE SUPPORT FOR INTERIOR/EXTERIOR SLABS, TO RECEIVE PAVEMENT, AND TO RECEIVE FILL SHALL BE SCARIFIED TO MINIMUM DEPTH OF 8-INCHES AND COMPACTED IN ACCORDANCE WITH QUALITY CONTROL NOTES.
13. DO NOT PLACE FILL OR BACKFILL IF FILL OR BACKFILL MATERIAL IS FROZEN OR IF THE SURFACE UPON WHICH FILL OR BACKFILL IS TO BE PLACED IS FROZEN.
14. BACKFILL AROUND STRUCTURES: CONTRACTOR SHALL PLACE BACKFILL AROUND CONCRETE STRUCTURES ONLY AFTER THE CONCRETE HAS ATTAINED THE SPECIFIED COMPRESSIVE STRENGTH. CONTRACTOR SHALL REMOVE ALL FORM MATERIALS AND TRASH FROM THE EXCAVATION BEFORE PLACING BACKFILL. CONTRACTOR SHALL NOT OPERATE EARTH-MOVING EQUIPMENT WITHIN 5 FEET OF WALLS OF CONCRETE STRUCTURES FOR THE PURPOSE OF DEPOSITING OR COMPACTING BACKFILL MATERIAL. CONTRACTOR SHALL COMPACT BACKFILL ADJACENT TO CONCRETE WALLS WITH HAND-OPERATED TAMPERS OR SIMILAR EQUIPMENT THAT WILL NOT DAMAGE THE STRUCTURE. CONTRACTOR SHALL PLACE FILL IN LIFTS NOT MORE THAN 8 INCHES THICK PRIOR TO COMPACTION AND COMPACT IN ACCORDANCE WITH QUALITY CONTROL NOTES.
15. DRAINAGE: DRAINAGE ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
17. CONTRACTOR TO OBTAIN THE NPDES PERMIT NOTE.

PARCEL IDENTIFICATION NUMBER:
182307400059

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS DAY OF , A.D. ,

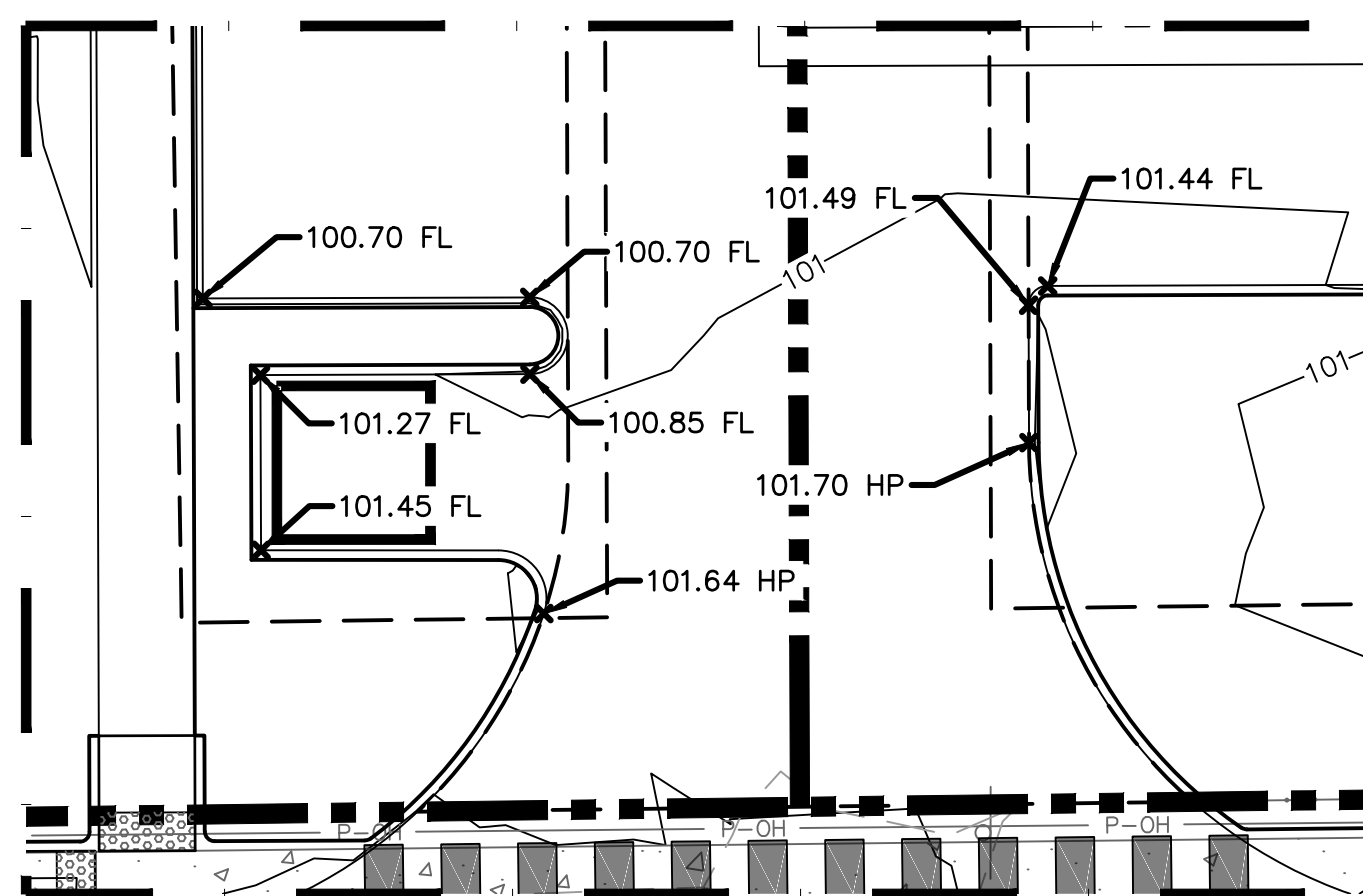
DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE _____



| | |
|---|---|
| ① | 10' UTILITY EASEMENT |
| ② | 24' CROSS ACCESS EMERGENCY ACCESS EASEMENT |
| ③ | DRAINAGE EASEMENT |

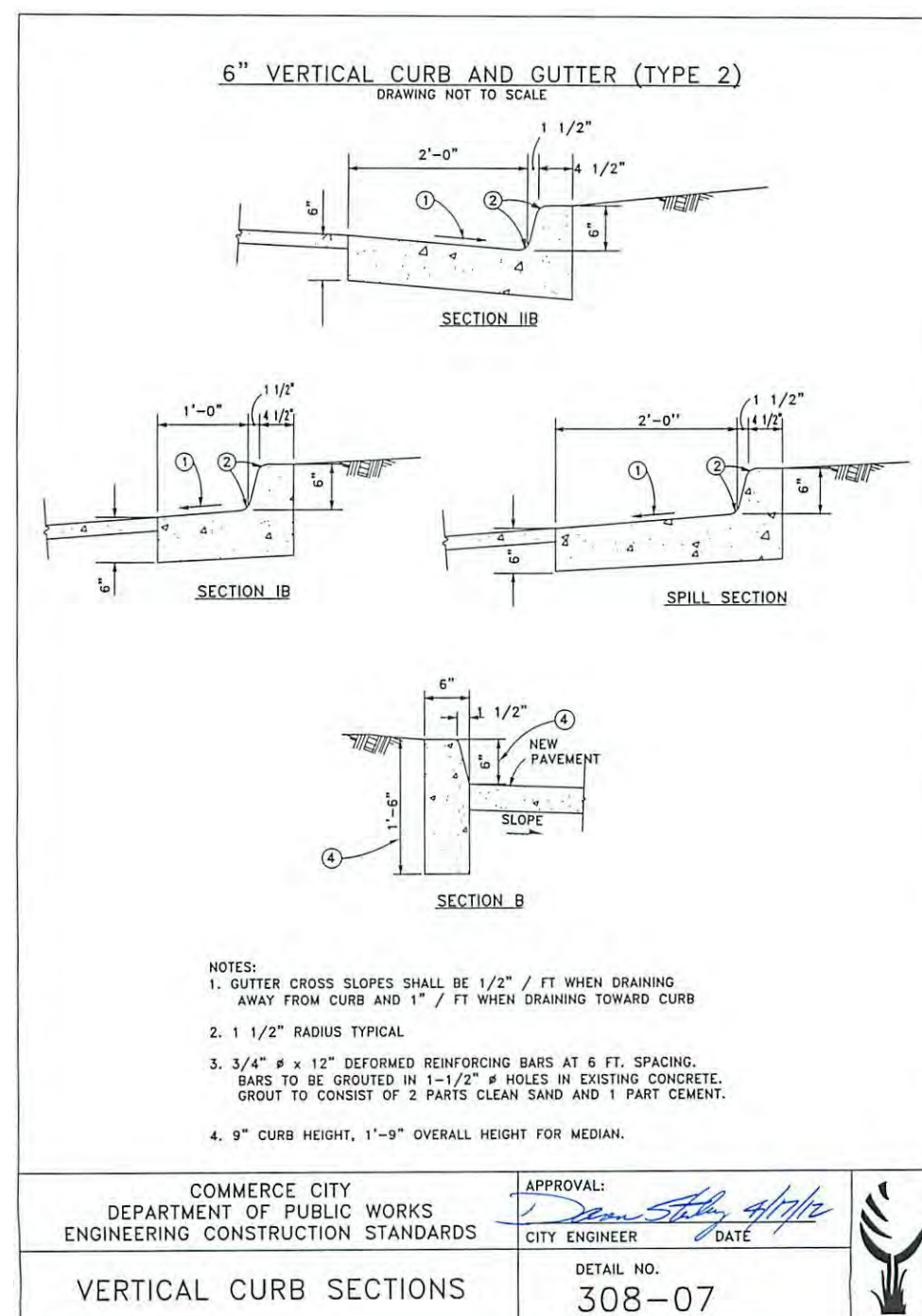
ASSUMED 100.0' ON THE CONCRETE FINISHED FLOOR
AT THE EASTERLY END OF THE BRICK BUILDING AS
SHOWN AND DESCRIBED HEREON. WITH ALL OTHER
ELEVATION INFORMATION SHOWN HEREON RELATED
THERE TO.

ASSUMED BEARING OF NORTH 00°15'10" WEST LINE OF
THE SOUTHEAST QUATER OF SECTION 7.



SOUTH ACCESS DRIVE
SCALE: 1'=10'

- 11 - 12'x60' LOADING ZONE
- 12 - 5'x6' BIKE RACKS 2 BIKES PER RACK
- 13 - ADA RAMP
- 14 - TRASH ENCLOSURE
- 15 - HEADER CURB
- 16 - VERTICAL SPILL CURB
- 17 - MAIN PUBLIC ENTRANCE, SEE SHEET A1.0
- 18 - TRANSFORMER PAD
- 19 - CROSS WALK STRIPING
- 20 - CURB CUT
- 21 - CONCRETE VALLEY PAN
- 22 - CHASE DRAIN
- 23 - HAND RAIL
- 24 - POND EMERGENCY SPILLWAY
- 25 - PROPOSED FENCE
- 26 - WQCV & DETENTION POND



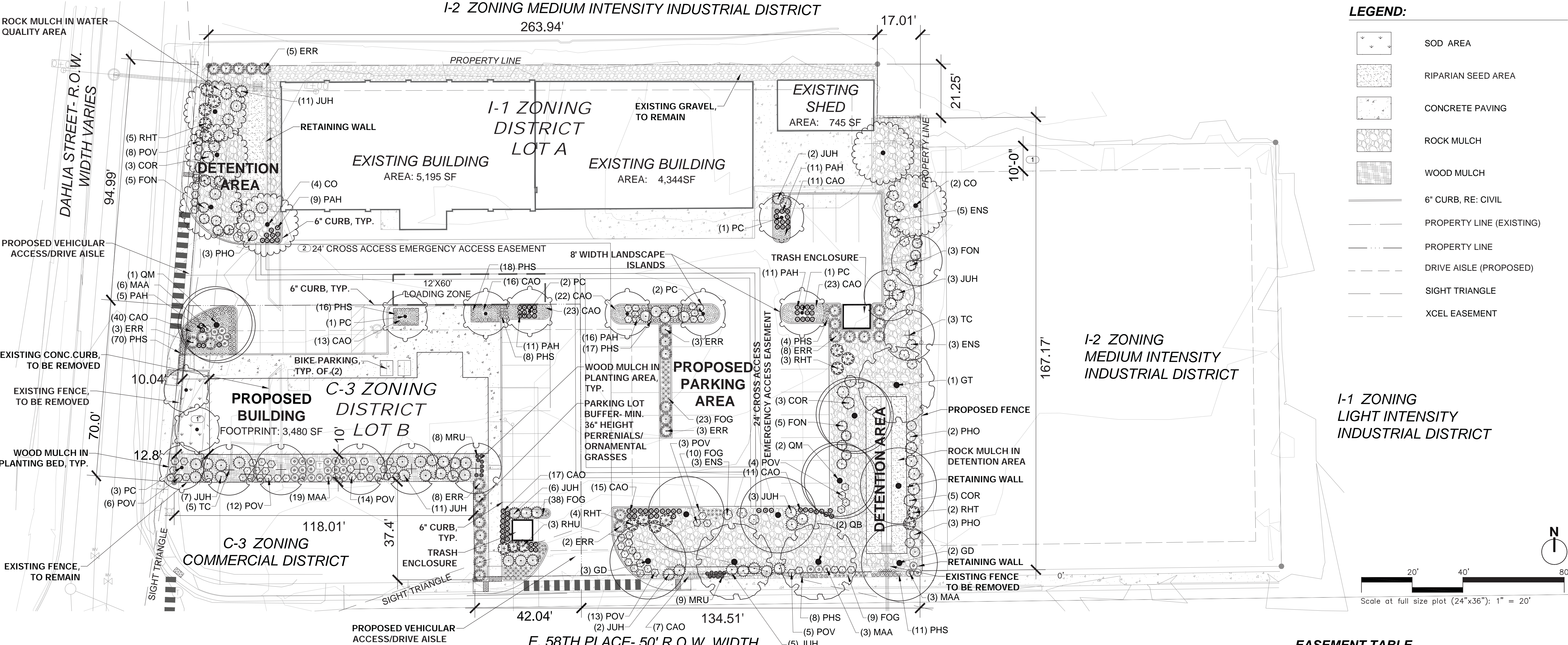
5846 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



ASSOCIATES
PLANNERS &
LANDSCAPE
ARCHITECTS
303.628.0003

MASTER LANDSCAPE PLAN



PLANT SCHEDULE

| SYMB. | QTY | ABBREV. | BOTANICAL NAME | COMMON NAME | MIN. SIZE | MIN. SPACING | NOTES |
|--|-----|---------|-------------------------------|----------------------------|-----------|--------------|-------|
| ORNAMENTAL TREES | | | | | | | |
| 10 | PC | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| DECIDUOUS SHADE TREES | | | | | | | |
| 2 | KP | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 5 | GD | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 5 | GT | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 3 | QM | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 8 | TC | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| SHRUBS | | | | | | | |
| 11 | COR | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 11 | ENS | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 13 | FON | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 31 | MAA | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 8 | PHO | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 17 | RHT | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| BLUEGRASS SOD MIX | | | | | | | |
| COLORADO GROWN KENTUCKY BLUEGRASS SOD BLEND. BLEND SHALL CONTAIN A MINIMUM OF 3 IMPROVED VARIETIES, OF WHICH AT LEAST ONE VARIETY IS AN AGGRESSIVE TYPE. | | | | | | | |

| SYMB. | QTY | ABBREV. | BOTANICAL NAME | COMMON NAME | MIN. SIZE | MIN. SPACING | NOTES |
|--------------------|-----|---------|-------------------------------|----------------------------|-----------|--------------|-------|
| ORNAMENTAL GRASSES | | | | | | | |
| 155 | CAO | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 32 | ERR | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 81 | FOG | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 17 | MRU | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 91 | PAH | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| GROUNDCOVERS | | | | | | | |
| 55 | JUH | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 148 | PHS | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| 17 | POV | MAA | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT OREGON GRAPE HOLLY | 5 GAL. | 3' O.C. | CONT. |
| RIPARIAN SEED MIX | | | | | | | |
| COMMON NAME | | | | | | | |
| SCIENTIFIC NAME | | | | | | | |
| LB/AC (PLS) | | | | | | | |
| 24.55 | | | | | | | |

EASEMENT TABLE

| | |
|---|---|
| 1 | 10' UTILITY EASMENT |
| 2 | 24' CROSS ACCESS EMERGENCY VEHICLE EASEMENT |
| 3 | DRAINAGE EASEMENT |

PARCEL IDENTIFICATION NUMBER: 182307400059

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

DEPARTMENT OF COMMUNITY DEVELOPMENT

5846 DAHLIA ST
DEVELOPMENT PLANS
LANDSCAPE PLAN

Date: 22 DECEMBER 2016
Revisions:
1. 28 JULY 2016
2. 12 OCTOBER 2016
3. 17 NOVEMBER 2016
4. 16 DECEMBER 2016

PROJECT TEAM:
Master Planner/Architect
ShelterBelt Design
4470 Zuni Street
Denver, CO 80211
(303) 704-2812
contact: Nicole Delmage
Landscape Architect
Wenk Associates
1130 31st St. Ste 101
Denver, CO 80205
(303) 628-0003
contact: Tyrel Sturgeon
tsturgeon@wenkla.com
Civil Engineer
Olson Associates
5285 McWhinney Blvd, Ste 160
Loveland, CO 80538
(970) 461-7733
contact: Mike Maurer

Landscape Plan
Drawing Number:
L1.0

5846 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



ASSOCIATES
PLANNERS &
LANDSCAPE
ARCHITECTS
303.628.0003

5846 DAHLIA ST
DEVELOPMENT PLANS
LANDSCAPE NOTES & TABLES

LANDSCAPE NOTES

1. FINAL CONSTRUCTION DOCUMENTS SHALL CONFORM TO THE REQUIREMENTS OUTLINED WITHIN THIS SUBMITTAL.
2. LANDSCAPE PLANS ARE SCHEMATIC IN NATURE AND SUBJECT TO MODIFICATION TO MEET THE CITY'S REQUIREMENTS, THE DEVELOPER'S PROGRAM, OR OTHER NECESSARY REQUIREMENTS.
3. LOCATION, BUT NOT QUANTITY, OF LANDSCAPE PLANTINGS MAY BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF UNDERGROUND UTILITIES.
4. PLANTINGS SHALL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. TURF AREAS WILL BE SPRAY IRRIGATED. TREES, SHRUBS, LANDSCAPE BEDS AND TREE LAWNS LESS THAN 10' WIDE SHALL BE SUBSURFACE IRRIGATED. THE TAP AND BACKFLOW PREVENTION DEVICE SIZE AND LOCATION SHALL BE SHOWN ON IRRIGATION PLANS. LANDSCAPE AND IRRIGATION SHALL MEET THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT.
5. LANDSCAPE IMPROVEMENTS IN TRACTS SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER.
7. AREAS INTENDED FOR IRRIGATED AND MOWED TURF SHALL NOT EXCEED 4:1 SLOPE. NATIVE GRASSES AND SHRUB BEDS SHALL NOT EXCEED 3:1 SLOPE.
8. 30' SIGHT TRIANGLES ARE SHOWN ON THE PLANS, PER MUNICIPAL CODE. A VISION CLEARANCE AREA SHALL CONTAIN NO PLANTINGS, WALLS, STRUCTURES, OR TEMPORARY OR PERMANENT OBSTRUCTIONS EXCEEDING 2.5' IN HEIGHT, MEASURED FROM THE TOP OF THE CURB OR EXISTING GRADE, UNLESS SUCH STRUCTURE OR OBSTRUCTIONS ARE MORE THAN 80 PERCENT OPEN.
- 9.TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING RE-VEGATION AND LANDSCAPING.
10. SOIL IN AREAS THAT HAVE BEEN COMPACTED OR DISTURBED DURING CONSTRUCTION SHALL BE THOROUGHLY LOOSENEED. ORGANIC SOIL AMENDMENTS HALL BE INCORPORATED INTO THE SOIL AT A RATE OF A MINIMUM OF 5 CUBIC YARDS PER 1,000 SQUARE FEE OF LANDSCAPE AREA, AND TILLED TO A MINIMUM DEPTH OF 6 INCHES.
11. PLANT MATERIALS SHALL BE SELECTED FROM THE CITY'S APPROVED PLAN LIST AND LANDSCAPING SPECIFICATIONS.
12. ALL PLANTS SHALL BE A-GRADE OR NO. 1 GRADE, FREE OF ANY DEFECTS, AND SHALL BE OF NORMAL HEALTH, HEIGHT, LEAF DENSITY, AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
13. THE CALIPER OF DECIDUOUS TREES SHALL BE MEASURED 6" ABOVE THE BASE.
14. EXISTING CONDITIONS: THERE ARE NO EXISTING LANDSCAPE IMPROVEMENTS. THEREFORE, NO LANDSCAPE IS PLANNED TO REMAIN.

15. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER, PERENNIALS AND GROUND COVER 2 1/2 POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000SF OF LANDSCAPE AREA.
16. STREET TREES: THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
17. WEED BARRIER: POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
18. EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL.HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
19. IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN. THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
20. IRRIGATION: ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
21. MAINTENANCE: THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF- WAY
- LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
- THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
22. VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.

LANDSCAPE STATISTICS TABLES:

LOT B:

LANDSCAPE TREATMENT AREA:
TOTAL SQUARE FEET OF LANDSCAPE AREA: 2,836
SQUARE FEET OF SOD AREA : 395
PERCENTAGE OF TOTAL LANDSCAPE AREA IN SOD: 14%
SQUARE FEET OF PLANTED AREA: 2,300 SF
PERCENTAGE OF TOTAL LANDSCAPE AREA IN PLANTINGS: 81%
TOTAL TREES REQUIRED BY LANDSCAPE ORDINANCE: 5
TOTAL TREES PROVIDED IN PLAN: 16
TOTAL SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 9
TOTAL SHRUBS PROVIDED IN PLAN: 78
MULCH TYPES REQUIRED BY LANDSCAPE ORDINANCE: 2
MULCH TYPES PROVIDED IN PLAN: 2

RIGHT-OF-WAY LANDSCAPE AREA:

SQUARE FEET OF LANDSCAPE IN RIGHT OF WAY: 0
STREET TREES REQUIRED BY LANDSCAPE ORDINANCE: 7
STREET TREES PROVIDED IN PLAN: 7

PARKING LOT PERIMETER LANDSCAPE:

PARKING PERIMETER TREES REQUIRED BY LANDSCAPE ORDINANCE: 4
PARKING PERIMETER TREES PROVIDED IN PLAN: 4
PARKING PERIMETER SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 20
PARKING PERIMETER SHRUBS PROVIDED IN PLAN: 23

PARKING LOT INTERIOR LANDSCAPE:

ISLANDS REQUIRED BY LANDSCAPE ORDINANCE: 0
ISLANDS PROVIDED IN PLAN: 0
MEDIANS REQUIRED BY LANDSCAPE ORDINANCE: 0
MEDIANS PROVIDED IN PLAN: 0
INTERIOR PARKING LOT TREES REQUIRED BY LANDSCAPE ORDINANCE: 1
INTERIOR PARKING LOT TREES PROVIDED IN PLAN: 2
INTERIOR PARKING LOT SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 6
INTERIOR PARKING LOT SHRUBS PROVIDED IN PLAN*: 6

LOT A:

LANDSCAPE TREATMENT AREA:
TOTAL SQUARE FEET OF LANDSCAPE AREA: 9,045
SQUARE FEET OF SOD AREA : 0
PERCENTAGE OF TOTAL LANDSCAPE AREA IN SOD: 0
SQUARE FEET OF PLANTED AREA: 6,785
PERCENTAGE OF TOTAL LANDSCAPE AREA IN PLANTINGS: 75%
TOTAL TREES REQUIRED BY LANDSCAPE ORDINANCE: 15
TOTAL TREES PROVIDED IN PLAN: 18
TOTAL SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 30
TOTAL SHRUBS PROVIDED IN PLAN: 142
MULCH TYPES REQUIRED BY LANDSCAPE ORDINANCE: 2
MULCH TYPES PROVIDED IN PLAN: 2

DETENTION/RETENTION LANDSCAPE:

DETENTION/RETENTION TREES REQUIRED BY LANDSCAPE ORDINANCE: 12
DETENTION/RETENTION TREES PROVIDED IN PLAN: 12
DETENTION/RETENTION SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 117
DETENTION/RETENTION SHRUBS PROVIDED IN PLAN: 129

RIGHT-OF-WAY LANDSCAPE AREA:

SQUARE FEET OF LANDSCAPE IN RIGHT OF WAY: 0
STREET TREES REQUIRED BY LANDSCAPE ORDINANCE: 5
STREET TREES PROVIDED IN PLAN: 7

PARKING LOT PERIMETER LANDSCAPE:

PARKING PERIMETER TREES REQUIRED BY LANDSCAPE ORDINANCE: 14
PARKING PERIMETER TREES PROVIDED IN PLAN: 14
PARKING PERIMETER SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 70
PARKING PERIMETER SHRUBS PROVIDED IN PLAN: 102

PARKING LOT INTERIOR LANDSCAPE:

ISLANDS REQUIRED BY LANDSCAPE ORDINANCE: 3
ISLANDS PROVIDED IN PLAN: 3
MEDIANS REQUIRED BY LANDSCAPE ORDINANCE: 0
MEDIANS PROVIDED IN PLAN: 0
INTERIOR PARKING LOT TREES REQUIRED BY LANDSCAPE ORDINANCE: 4
INTERIOR PARKING LOT TREES PROVIDED IN PLAN: 4
INTERIOR PARKING LOT SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 18
INTERIOR PARKING LOT SHRUBS PROVIDED IN PLAN*: 23

*DOES NOT INCLUDE PERENNIALS & ORNAMENTAL GRASSES

PARCEL IDENTIFICATION NUMBER: 182307400059

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF

THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

DEPARTMENT OF COMMUNITY DEVELOPMENT

Date: 22 DECEMBER 2016
Revisions:
1. 28 JULY 2016
2. 12 OCTOBER 2016
3. 17 NOVEMBER 2016
4. 16 DECEMBER 2016

PROJECT TEAM:

Master Planner/Architect
ShelterBelt Design
4470 Zuni Street
Denver, CO 80211
(303) 704-2812
contact: Nicole Delmage

Landscape Architect
Wenk Associates
1130 31st St. Ste 101
Denver, CO 80205
(303) 628-0003
contact: Tyrel Sturgeon
tsturgeon@wenkla.com

Civil Engineer
Olsson Associates
5285 McWhinney Blvd, Ste160
Loveland, CO 80538
(970) 461-7733
contact: Mike Maurer

Landscape Notes & Tables

Drawing Number:

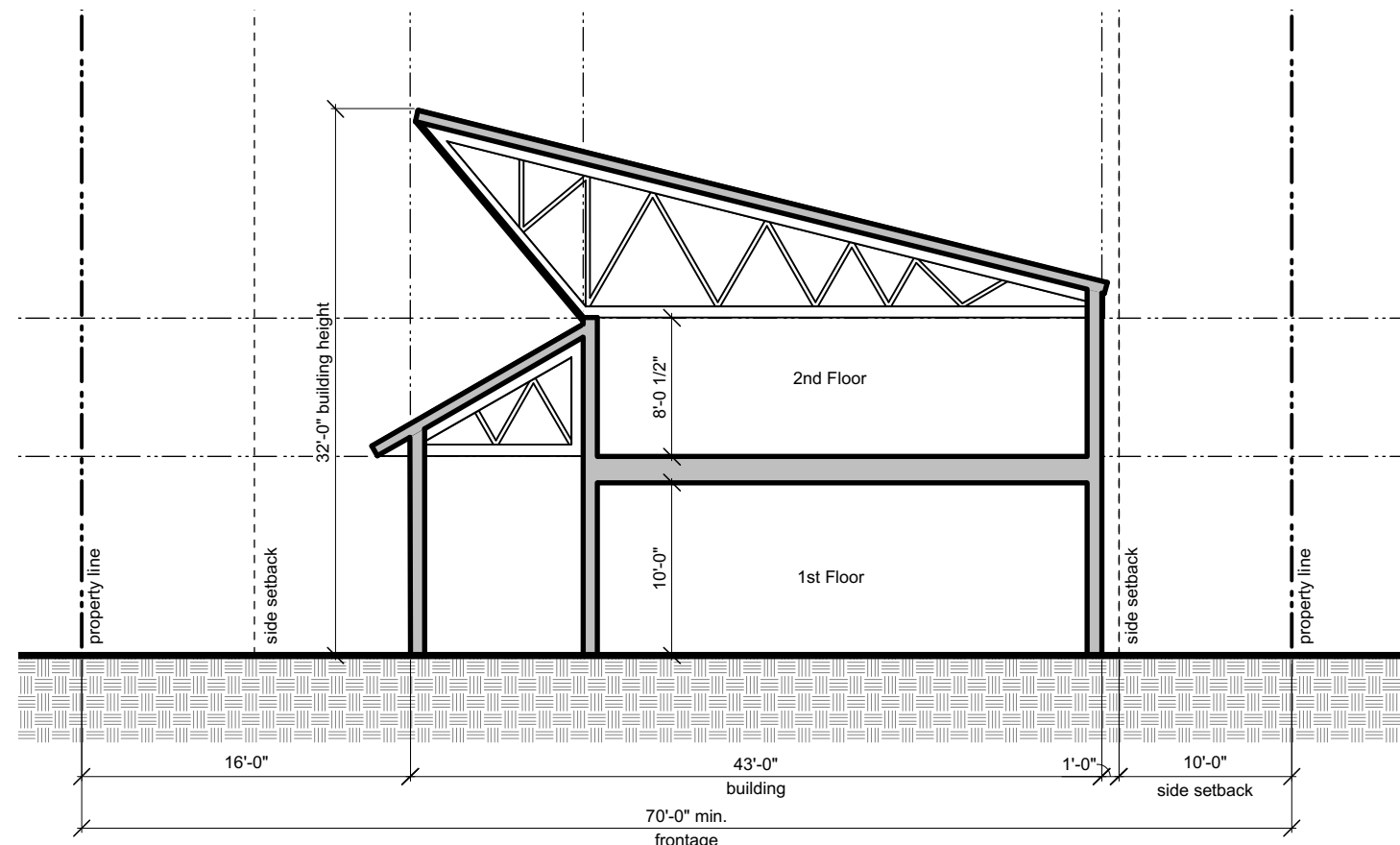
L2.0

5846 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE
SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF
THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

File:
NOTICE: DUTY OF COOPERATION
Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect from all consequences arising out of such changes.

Development Plan
Date: 16 December 2016
Revisions:



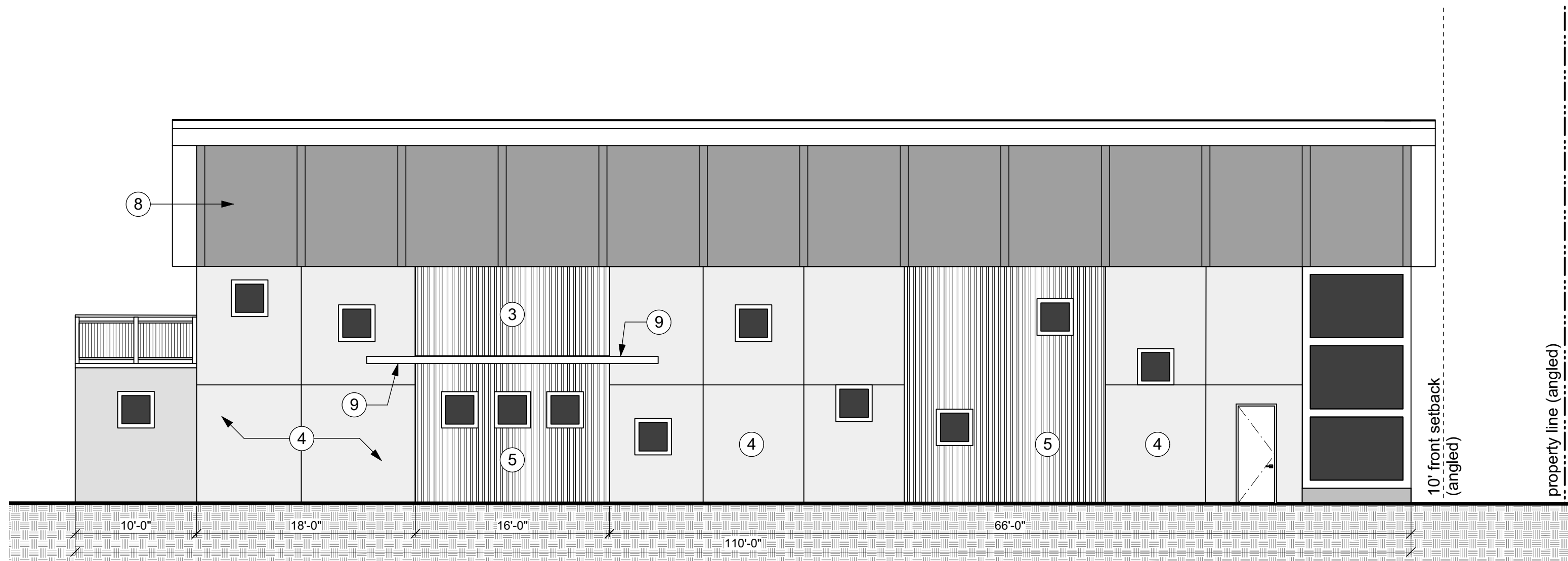
5 Building Section (West Exterior Elevation)
3/32" = 1'-0"

PARCEL IDENTIFICATION NUMBER: 182307400059

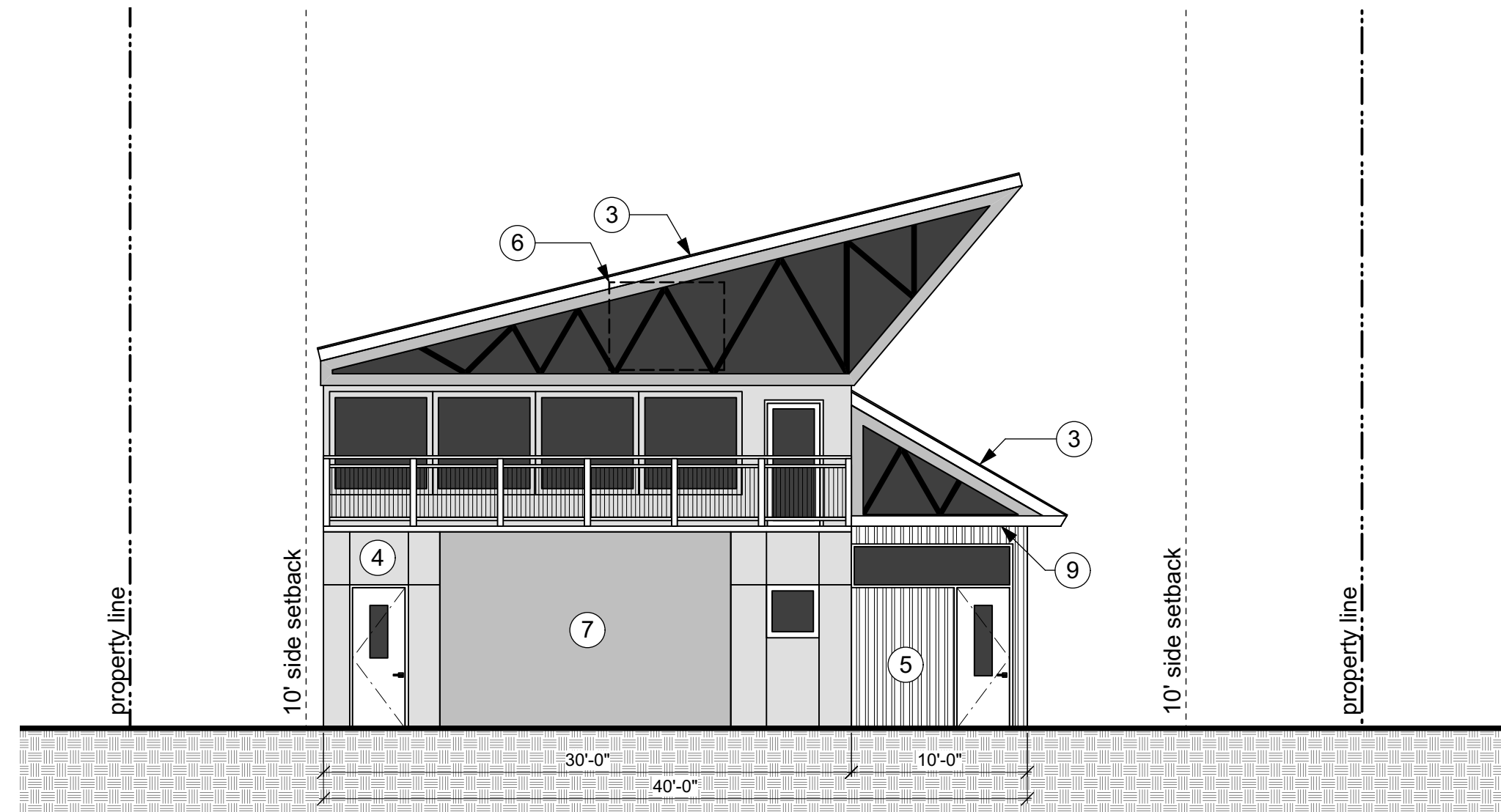
CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

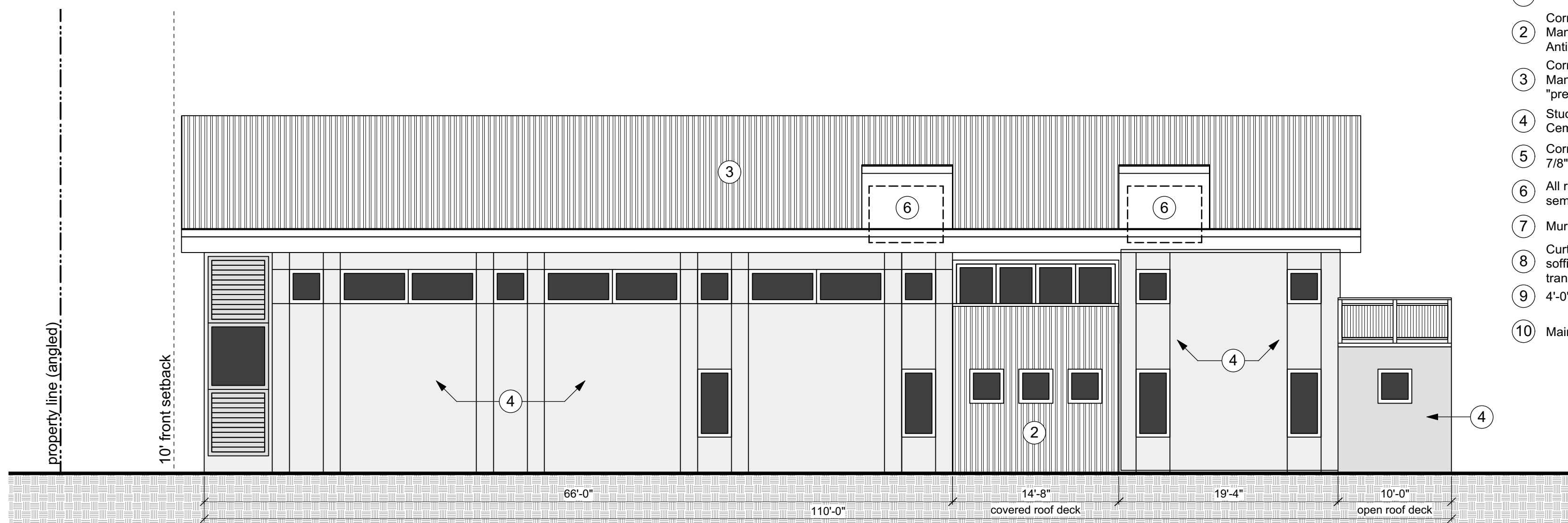
DEPARTMENT OF COMMUNITY DEVELOPMENT



4 North Exterior Elevation
1/8" = 1'-0"



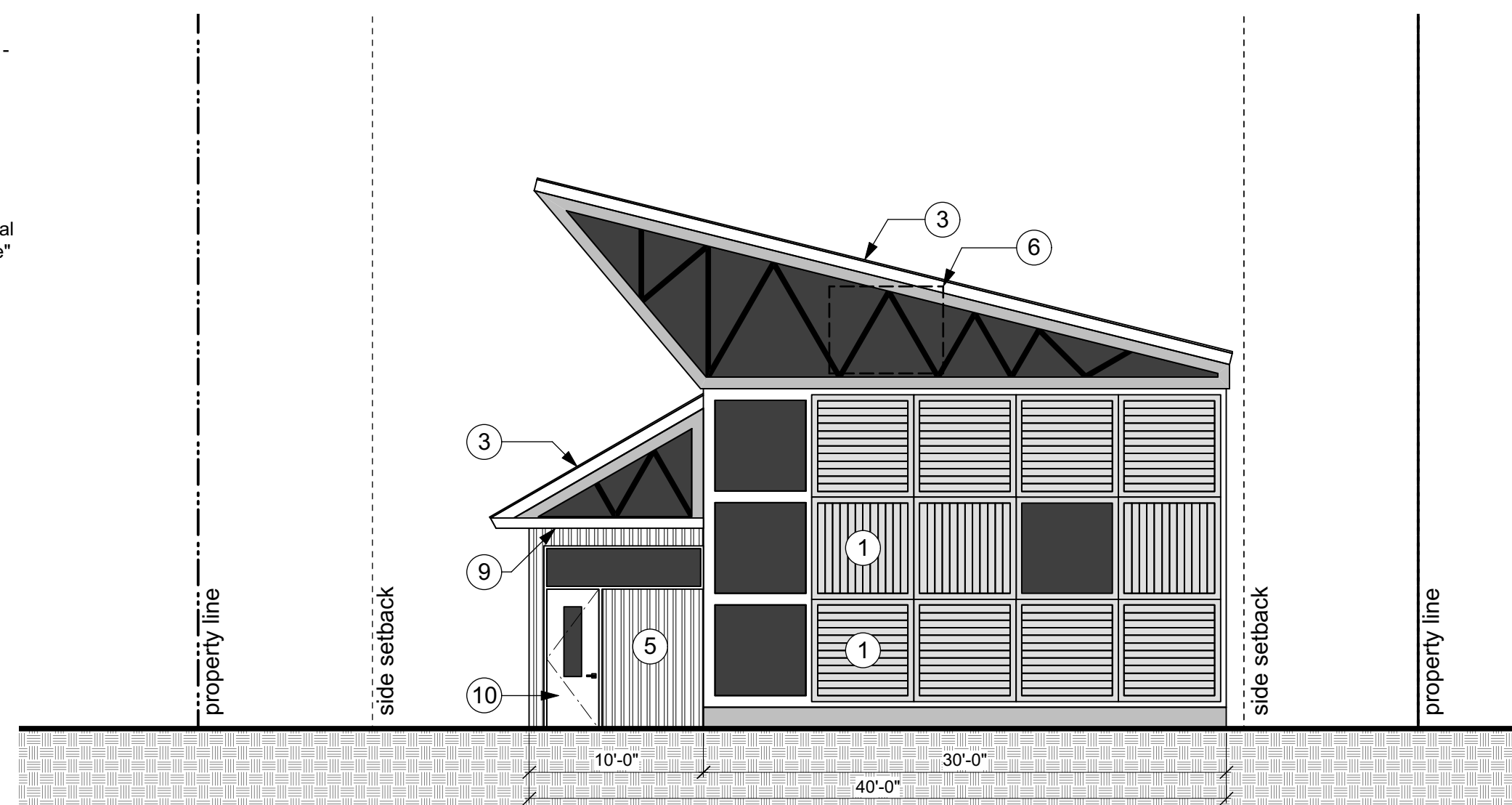
3 East Exterior Elevation
1/8" = 1'-0"



2 South Exterior Elevation
1/8" = 1'-0"

Exterior Materials Key:

- 1 Sun Shading - Thermory Wood
- 2 Corrugated Metal Siding - Berridge Manufacturing Company "Kyner 500 - Antique Copper-Cote"
- 3 Corrugated Metal Roofing - Berridge Manufacturing Company - "preweathered galvalume"
- 4 Stucco Siding - La Habra Cementitious Stucco - Custom Color
- 5 Corrugated Metal Siding - Recla Metal 7/8" corrugated metal siding "Vintage"
- 6 All rooftop equipment shall be semi-recessed between roof trusses
- 7 Mural wall
- 8 Curtainwall system at north facing soffit with mix of opaque metal and translucent polycarbonate panels
- 9 4'-0" Deep Metal Entry Canopy
- 10 Main Entry Door



1 West Exterior Elevation
1/8" = 1'-0"

5846 Dahlia Street
Commerce City, CO

ShelterBelt Design • 4420 Zuni Street, Denver CO 80211 • (303) 704-2812

PROJECT TEAM:

Master Planner/Architect
ShelterBelt Design
4470 Zuni Street
Denver, CO 80211
(303) 704-2812
contact: Nicole Delmage

Landscape Architect
Wenk Associates
1130 31st St, Ste 101
Denver, CO 80205
(303) 628-0003
contact: Tyrel Sturgeon
tsturgeon@wenkla.com

Civil Engineer
Olsson Associates
5285 McWhinney Blvd, Ste160
Loveland, CO 80538
(970) 461-7733
contact: Mike Maurer

Exterior Elevations

Drawing Number:

A1.0

5846 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE
SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF
THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

File:

NOTICE: DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect from all consequences arising out of such changes.

Development Plan

Date: 16 December 2016

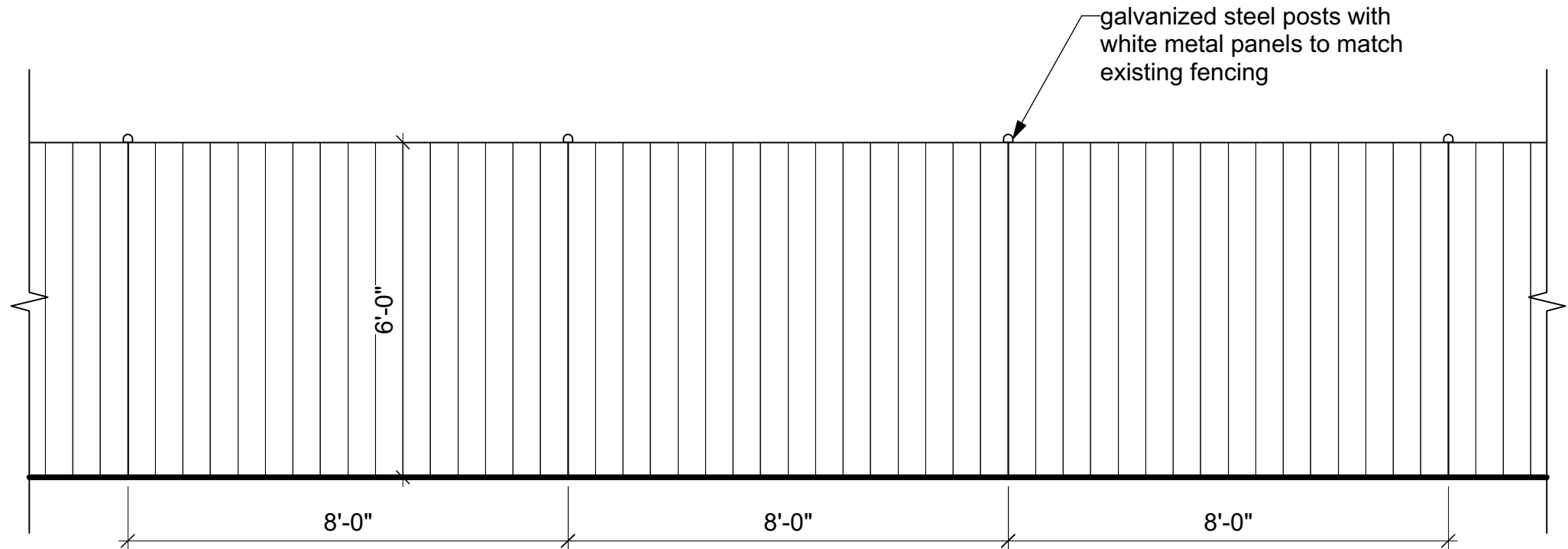
Revisions:

PARCEL IDENTIFICATION NUMBER: 182307400059

CITY STAFF CERTIFICATE

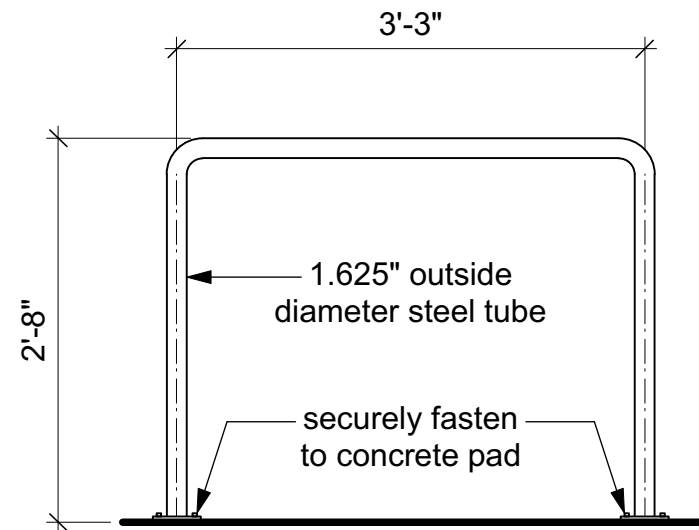
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____DAY OF _____, 2016.

DEPARTMENT OF COMMUNITY DEVELOPMENT



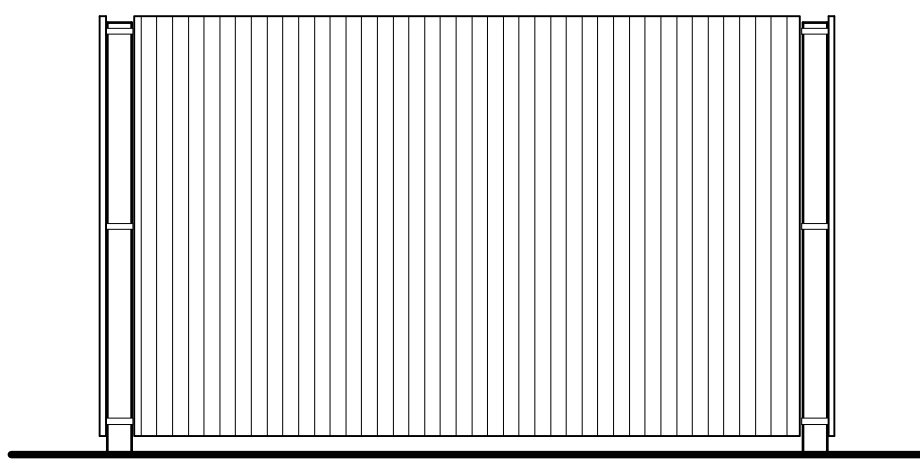
3 Fencing Elevation, Typical

3/8" = 1'-0"

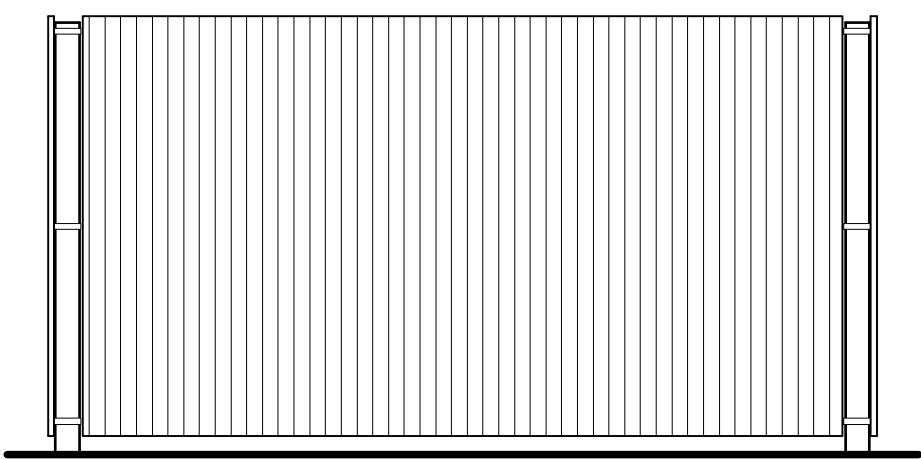


2 Bike Rack Elevation, Typical

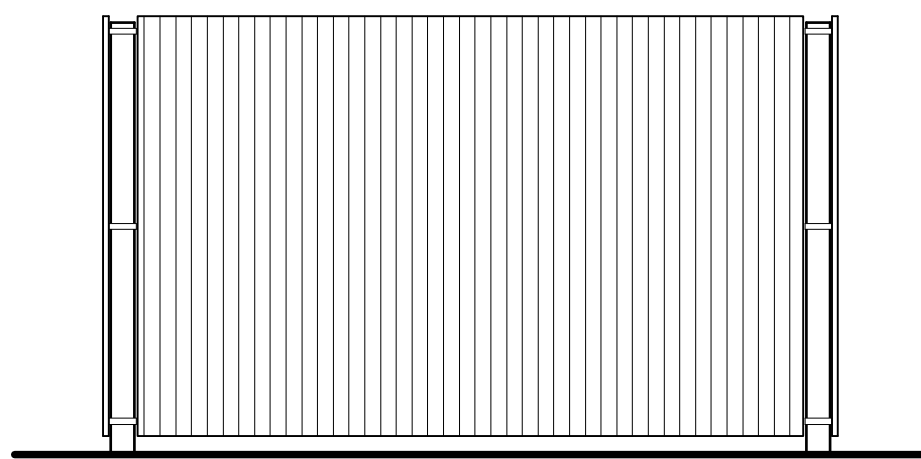
3/4" = 1'-0"



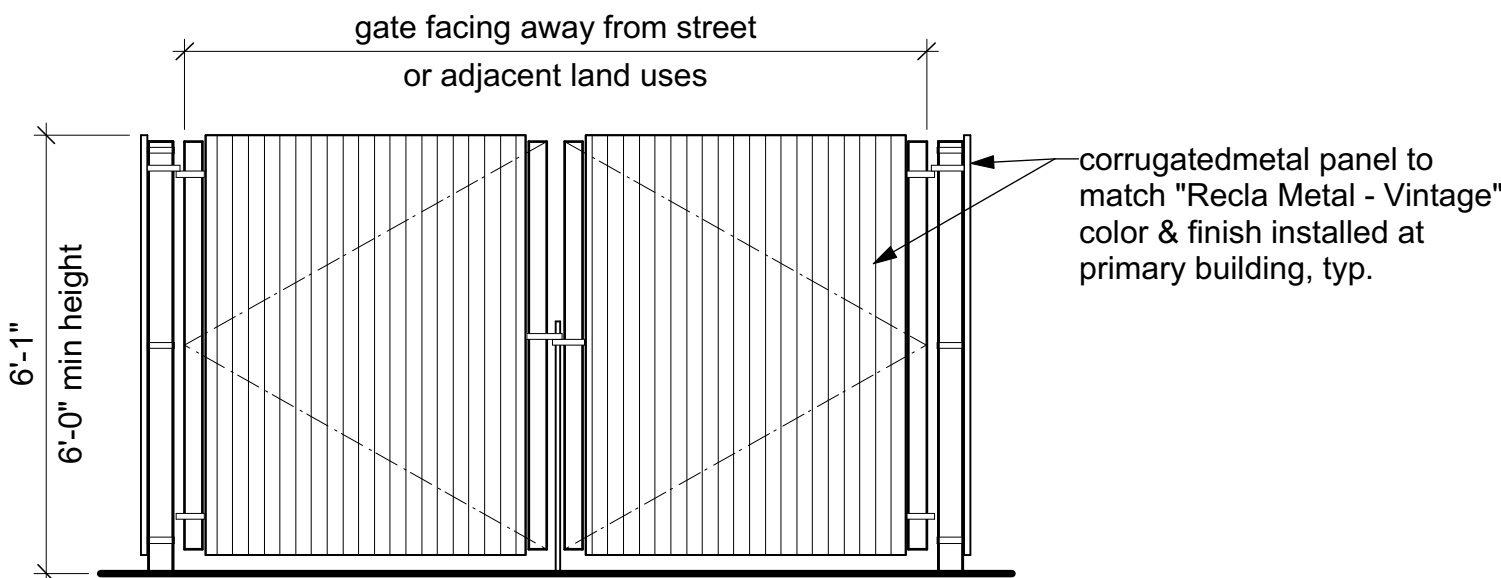
SIDE / LEFT ELEVATION



REAR ELEVATION



SIDE / RIGHT ELEVATION



FRONT / GATE ELEVATION

1 Trash Enclosure Elevations, Typical

3/8" = 1'-0"

PROJECT TEAM:

Master Planner/Architect
ShelterBelt Design
4470 Zuni Street
Denver, CO 80211
(303) 704-2812
contact: Nicole Delmage

Landscape Architect
Wenk Associates
1130 31st St, Ste 101
Denver, CO 80205
(303) 628-0003
contact: Tyrel Sturgeon
tsturgeon@wenkla.com

Civil Engineer
Olsson Associates
5285 McWhinney Blvd, Ste160
Loveland, CO 80538
(970) 461-7733
contact: Mike Maurer

Site Elements Elevations

Drawing Number:

A2.0

5846 Dahlia Street
Commerce City, CO

ShelterBelt Design • 4420 Zuni Street, Denver CO 80211 • (303) 704-2812

5850 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

| LIGHTING FIXTURE SCHEDULE | | | | | | | | | | | |
|---------------------------|-------------------------------------|---------------------|--|---------|----------|-----------|-----------|-------------------|-------------|-------|---|
| TYPE | DESCRIPTION | MANUFACTURER | CATALOG NUMBER | VOLTAGE | LAMP QTY | LAMP WATT | MAX WATTS | MOUNTING LOCATION | INFORMATION | NOTES | |
| EA1 | LED AREA LIGHT, TYPE 4 DIST. | PHILIPS-GARDCO | P21-DIM-AI-1-4-TOLA-NH-UNV-XX | UNIV | 1 | 70 | 70 | POLE | 30'-0" OFH | | |
| EA2 | LED AREA LIGHT, TYPE 4 DIST. | PHILIPS-GARDCO | P21-DIM-AI-2-4-TOLA-NH-UNV-XX | UNIV | 1 | 70 | 70 | POLE | 30'-0" OFH | | |
| EA3 | LED AREA LIGHT, TYPE 3 DIST. | PHILIPS-GARDCO | P21-DIM-AI-1-3-TOLA-NH-UNV-XX | UNIV | 1 | 70 | 70 | POLE | 30'-0" OFH | | |
| EW1 | LED GOOSENECK BARNLIGHT, 850 LUMENS | BARN LIGHT ELECTRIC | 6-NHB15-PC-LED-XXX-6XX-XXX 850LED-2700K-FLAT-120V | 120 | 1 | 9 | 9 | SURFACE WALL | 12'-0" BOF | | 1 |

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT

GENERAL NOTES:

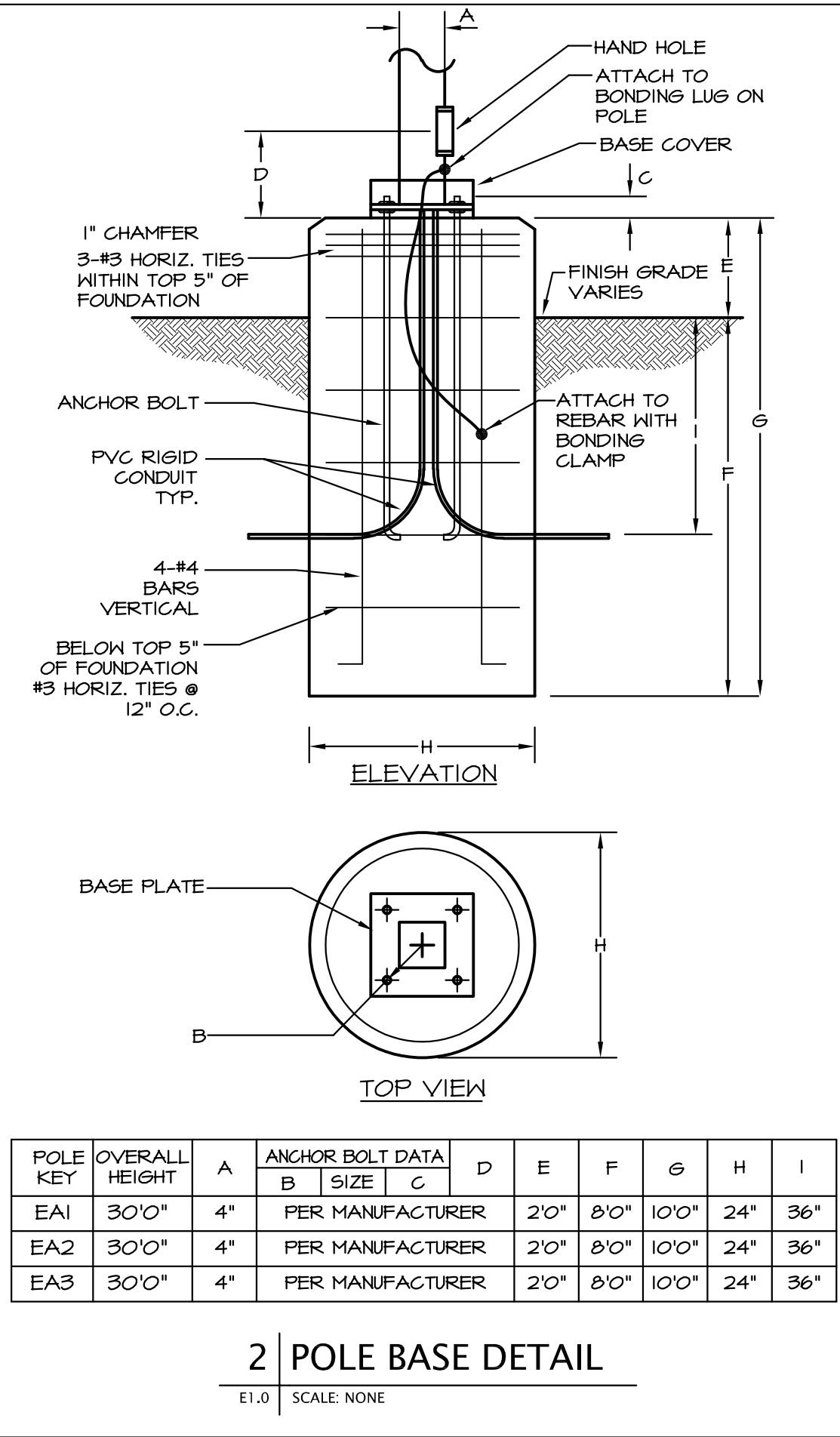
A. EG TO CONFIRM FINISHES OF FIXTURES PRIOR TO PURCHASE.

B. PROVIDE LUMINAIRES SHOWN AS SHADED WITH EMERGENCY BATTERY BALLASTS. EMERGENCY LUMINAIRES SHALL SENSE UN-SWITCHED POWER TO THE SPACE AND OPERATED AUTOMATICALLY UPON LOSS OF NORMAL POWER. ALL SHADED LUMINAIRES WITH 2FT AND 4FT LAMPS SHALL HAVE ONE (1) 90 MINUTE RATED, TWO LAMP, 1400 LUMEN EMERGENCY BALLAST. ALL SHADED LUMINAIRES WITH COMPACT FLUORESCENT LAMPS SHALL HAVE A FACTORY INSTALLED 90 MINUTE EMERGENCY BALLAST. ALL EMERGENCY LUMINAIRES SHALL HAVE REMOTE TEST SWITCHES AND VISIBLE INDICATING LIGHTS. CONNECT THE EMERGENCY BATTERY BALLAST TO THE UN-SWITCHED LEG OF THE LIGHTING CIRCUIT INDICATED.

SPECIFIC NOTES:

1. CONFIRM GOOSENECK MOUNTING ARM WITH OWNER PRIOR TO PURCHASE.

| Statistics | | | | | | |
|---------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Parking Lot | ⌵ | 1.4 fc | 11.9 fc | 0.1 fc | 119.0:1 | 14.0:1 |
| Property Line | + | 0.1 fc | 0.8 fc | 0.0 fc | N/A | N/A |
| Sidewalk | ⌵ | 1.8 fc | 3.2 fc | 0.0 fc | N/A | N/A |
| Site | + | 0.7 fc | 11.9 fc | 0.0 fc | N/A | N/A |



PARCEL IDENTIFICATION NUMBER: 182307400059

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

DEPARTMENT OF COMMUNITY DEVELOPMENT

5850 DAHLIA ST.
COMMERCE CITY, CO

| PROJECT # | DATE | DESCRIPTION | REV. # |
|-----------------------|------------|-------------|--------|
| 3518.00 | | | |
| SCALE | | | |
| DRAWN BY | M/S | | |
| CHECKED BY | EDR | | |
| DATE | 12.14.2016 | | |
| ISSUE | | | |
| DEVELOPMENT SUBMITTAL | | | |

Copyright © 2016 - All rights reserved
Architectural Engineering Design Group, Inc.
All design drawings and written material
herein may not be used or duplicated without
the written consent of Architectural
Engineering Design Group, Inc.

SITE PHOTOMETRIC
PLAN

E1.0

SHEET NO.:

5850 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



| Ordering guide | | | | | | | | | |
|----------------|----------------------|-------------------|--|---|---------|------------------|----------|--------|---|
| Prefix | Canister | Arm | Mounting | Optical System ¹ | Wattage | Color Temp | Voltage | Finish | Options |
| P21 | PureForm 21" fixture | A1 | Standard 9" Arm | Standard Optic Position | 350mA | CW | 120 | BRP | TL Tool-Less entry and driver terminal hardware |
| | | A2 | Short 2" Arm | 2 Type 2 | 55LA | 5500K | 208 | BLP | Terminal Block |
| | | A3 | Decorative Arm | 3 Type 3 | 90LA | 3000K (nominal) | 208V | F1 | Fusing |
| | | APD | Automatic Profile Dimming | 4 Type 4 | 2590 | 2590 | 208V | WF | In-Line/In Pole Fusing |
| | | APD-MRO | APD with Motion Response Override pole mounted sensor | 5M Type 5 Medium Backlight CRI | 350 | 350 | 208V | NP | Wireless Plant |
| | | APD-MRI | APD with Motion Response Override luminaire mounted sensor | 2BL Type 2 with Backlight (less shield) | 100LA | 10000K (nominal) | 277V | OC | Optional Color Specify optional color or DALI, OC (LGP or OC (DALI/200A)) |
| | | MA | Wall Arm | LCL LED Corner CutOff Optics | 60LA | 6000K (nominal) | 347V | PCB | PhotoCell Photocell |
| | | W | Wall Mount | LCL LED Corner CutOff Optics | 700LA | 7000K (nominal) | 480V | PCB | PhotoCell Photocell |
| | | WS | Wall Mount including surface conduit rear entry permitted | LCR LED Corner CutOff Optics | 100LA | 10000K (nominal) | 100-277V | PCB | PhotoCell Photocell |
| | | MR50 | Motion Response at 50% low, luminaire mount sensor | Optics Rotated Left (90°) | 100LA | 10000K (nominal) | 100-277V | PCB | PhotoCell Photocell |
| | | MR50 | Motion Response at 50% low, pole mounted sensor | Optics Rotated Right (270°) | 100LA | 10000K (nominal) | 100-277V | PCB | PhotoCell Photocell |
| | | Wireless Controls | Remote wireless controller available. See p.2 for details | 2-270 Type 2 | 200LA | 20000K (nominal) | 200-277V | PCB | PhotoCell Photocell |
| | | LLC2 | 82 lens for mounting heights | 3-270 Type 3 | | | | PCB | PhotoCell Photocell |
| | | LLC3 | 103 lens for mounting heights | 4-270 Type 4 | | | | PCB | PhotoCell Photocell |
| | | LLC4 | 124 lens for mounting heights | BLC-270 Backlight CRI | | | | PCB | PhotoCell Photocell |
| | | | | 2BL-270 Type 2 with Backlight (less shield) | | | | PCB | PhotoCell Photocell |

example: P21-APD-A1-1.5M-100LA-NW-120-NP-PCB

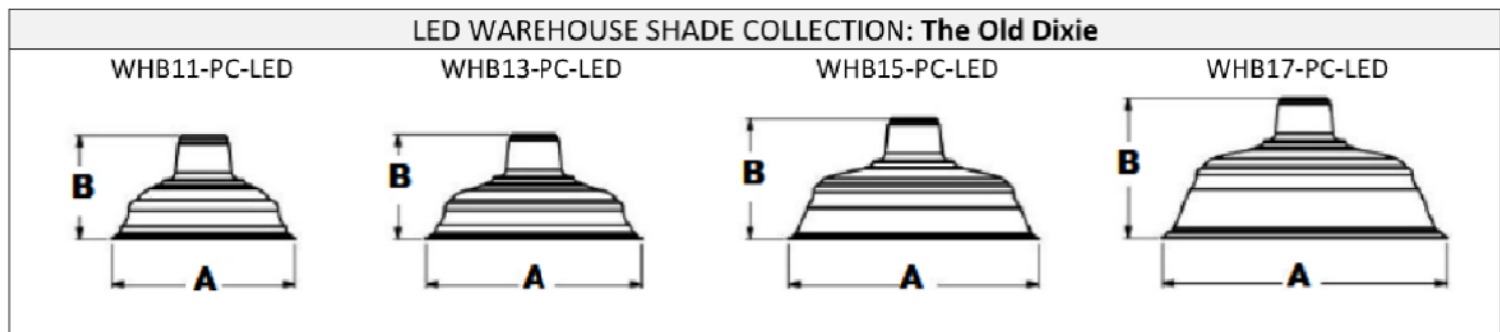
1. Available 120-277V only (UNV 120, 208, 240 & 277).
2. Available 120V or 277V only MR50 and APD-MRO require one motion sensor per pole, ordered separately. See page 2 for Accessories.
3. Available 120V or 277V only Wattages 100LA and 200LA require outboard sensor enclosure mounted to the arm of the luminaire (A1 arm only).
4. Not available with A3 Arm Style.
5. LLC2, LLC3, LLC4 wireless controls not configurable with PC/PCB/PCB5/PCB7 Options. See pages 6-7 for more info.
6. Arm Styles mount to a round pole with no adapter. If mounting to a square pole, specify Square Pole Adapter option. SPA-2 for A1/A2 arms, or SPA-3 for A3 arms.
7. Available with A1 or A2 Arms only. Not available in P21-MR50, or P21-APD-MRO.
8. Luminaire door frame and optic assembly provided standard without glass lens.
9. Available with 100LA or 200LA only.
10. See page 8-9 for information on optical rotation prior to ordering.
11. 200LA and 100LA not available in 347V or 480V.
12. Available with A1 arm or with MA mounting only. Provide specific input voltage.
13. Not configurable with 480V Voltage must be specified.
14. Works with 3-pin or 5-pin NEMA photo-cell/dimming device.
15. If ordered with DIM, APD, MRI, MR50, APD-MRO, APD-MRO, dimming will not be connected to B-M receptacles.
16. Works with 3-pin or 5-pin NEMA photo-cell/dimming device and auxiliary connections are not connected (for future use only).
17. Option reduces performance.

PureForm_P21_LED 6/5/16 page 1 of 9

1 EA1, EA2, EA3
E1.1 SCALE: NTS



| Item # | Diameter (A) | Height (B) |
|--------------|--------------|------------|
| WHB11-PC-LED | 11" | 6" |
| WHB13-PC-LED | 13" | 6" |
| WHB15-PC-LED | 15" | 7" |
| WHB17-PC-LED | 17" | 8 1/4" |



| Model # | Item # | Standard Finishes | Mounting Options | Mounting Color | Optional Accessories | Accessory Colors | LED Options | LED Lens | Voltage |
|-----------------|--|--|---|---|--|--|--|------------|---------|
| C- Cord Hung | WHB11-PC-LED WHB13-PC-LED WHB15-PC-LED WHB17-PC-LED | Powder Coat: 100-Black 200-White 300-Dark Green 400-Bronze 605-Rust Other: 975-Galvanized | Cord: Standard 1: SBK Black SWH White Cotton 1: CRZ Red Chevron COM Grey CBK Black Stem: ST *Specify stem model Gooseneck: G *Specify gooseneck model For additional mounting options and details, see mounting option chart | Standard Finish for ALL Mounting is Same as fixture // Leave Code Blank OR Cord: Canopy color: 100-Black 200-White 975-Galvanized 990-Brushed Aluminum For additional colors, see color chart | WC-Wire Cage LED Hang Straight Canopy OR Powder Coat: 100-Black 400-Barn Red 975-Galvanized For additional colors, see color chart For additional glass options, see guard and glass chart | Standard Finish for Accessories is Same as fixture // Leave Code Blank OR Powder Coat: 100-Black 400-Barn Red 975-Galvanized For additional colors, see color chart For additional glass options, see guard and glass chart | 850-LED 1250-LED 2000-LED 3000-LED 4000-LED Color Temp: 2700K Warm White 4000K Cool White | Domed Flat | 120V |
| BLE-C | WHB17-PC-LED | 100 | SBK | | | 100 | | | |
| ORDER SPECIFICS | | | | | | | | | |
| BLE- | -PC | | | | | | | | |

Notes:
1. Suitable for damp locations. Standard length 8 feet. 2. Suitable for Dry locations Only (Not CSA listed). Standard length 6 feet. 3. Additional lengths available on Cord & Stem Suitable for Wet Location (except when cord mounted)

2 EW1
E1.1 SCALE: NTS

PARCEL IDENTIFICATION NUMBER: 182307400059

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

DEPARTMENT OF COMMUNITY DEVELOPMENT

5850 DAHLIA ST.
COMMERCE CITY, CO

| PROJECT # | REV. # | DATE | DESCRIPTION |
|-----------------------|--------|------|-------------|
| 3518.00 | | | |
| SCALE | | | |
| DRAWN BY: | | | |
| CHECKED BY: | | | |
| DATE DATE | | | |
| 12.14.2016 | | | |
| 10:00 | | | |
| DEVELOPMENT SUBMITTAL | | | |

Copyright © 2016 - All rights reserved. Architectural Engineering Design Group, Inc. All design drawings and written material herein may not be used or duplicated without the written consent of Architectural Engineering Design Group, Inc.

PHOTOMETRIC
DETAILS

E1.1