

LEGAL DESCRIPTION:

THAT PART OF THE NORTHEAST ONE-QUARTER OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15; THENCE SOUTH 00 DEGREES 01 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF SAID NORTHEAST ONE-QUARTER ALONG DISTANCE OF 662.30 FEET TO A POINT ON THE NORTH LINE OF A PUBLIC SERVICE COMPANY OF COLORADO RIGHT OF WAY AS DESCRIBED IN BOOK 985 AT PAGE 450, ADAMS COUNTY RECORDS;

THENCE SOUTH 89 DEGREES 54 MINUTES 44 SECONDS WEST ALONG THE NORTH LINE A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 54 MINUTES 44 SECONDS WEST ALONG SAID NORTH LINE A DISTANCE OF 1571.57 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF INTERSTATE AS DESCRIBED IN BOOK 616 AT PAGE 468, ADAMS COUNTY RECORDS, SAID POINT BEING A POINT OF NON-TANGENT CURVE TO THE LEFT, THE RADIUS OF SAID CURVE IS 5855.00 FEET, THE DELTA OF SAID CURVE IS 00 DEGREES 12 MINUTES 00 SECONDS; THE CHORD OF SAID CURVE BEARS NORTH 54 DEGREES 52 MINUTES 53 SECONDS EAST, 20.44 FEET; THENCE ALONG THE ARC OF SAID CURVE AND ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE A DISTANCE OF 20.44 FEET TO THE END OF SAID CURVE; THENCE ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE AS FOLLOWS:

NORTH 54 DEGREES 47 MINUTES 00 SECONDS EAST A DISTANCE OF 919.60 FEET; THENCE NORTH 85 DEGREES 30 MINUTES 30 SECONDS EAST A DISTANCE OF 680.20 FEET; THENCE SOUTH 49 DEGREES 13 MINUTES 00 SECONDS EAST A DISTANCE OF 165.98 FEET, TO A POINT 30.00 FEET WEST OF THE EAST LINE OF SAID NORTHEAST ONE-QUARTER; THENCE SOUTH 00 DEGREES 01 MINUTES 40 SECONDS WEST PARALLEL WITH SAID EAST LINE A DISTANCE OF 484.51 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THOSE PORTIONS IN DEEDS RECORDED MARCH 27, 2012 AT RECEPTION NO. 2012000022427 AND JUNE 5, 2012 AT RECEPTION NO. 2012000040433.

BENCHMARK:

BENCHMARK: NGS BENCHMARK "PRAIRIE 3" PID D13206 LOCATED IN PARKING AREA OF US POST OFFICE BUILDING AT THE APPROXIMATE INTERSECTION OF EAST 53RD AVENUE AND QUEBEC STREET. STAINLESS STEEL ROD IN LOGO BOX.

ELEVATION = 5227.51 (NAVD 1988 DATUM)

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, ASSUMED TO BEAR NORTH 89°40'18" EAST, BEING A GRID BEARING OF THE COLORADO STATE PLANE SYSTEM, CENTRAL ZONE, NAD 83 (2007).

PARKING SUMMARY				
	REQUIRED PARKING **			PROVIDED PARKING
STANDARD SPACES (9'x18')	106,803 SF @ 1.0 SPACES/5,000 SF (WAREHOUSE)	6,969 @ 1.0 SPACES/300 SF (OFFICE)	9,120 @ 1.0 SPACES/500 SF (MAINTENANCE SHOP)	TOTAL
	22	24	19	65
				85
	REQUIRED PARKING **			PROVIDED PARKING
HANDICAPPED (12' x 60')		4		4 (3 STD 1 VAN)
TRUCK PARKING		N/A		20
BICYCLE PARKING		5		6

** PER SECTION 21-7-233, TABLE VII-3

LANDSCAPE ARCHITECT:



NORRIS DESIGN
Planning | Landscape Architecture
1101 Barnock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com



HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

CIVIL ENGINEER:

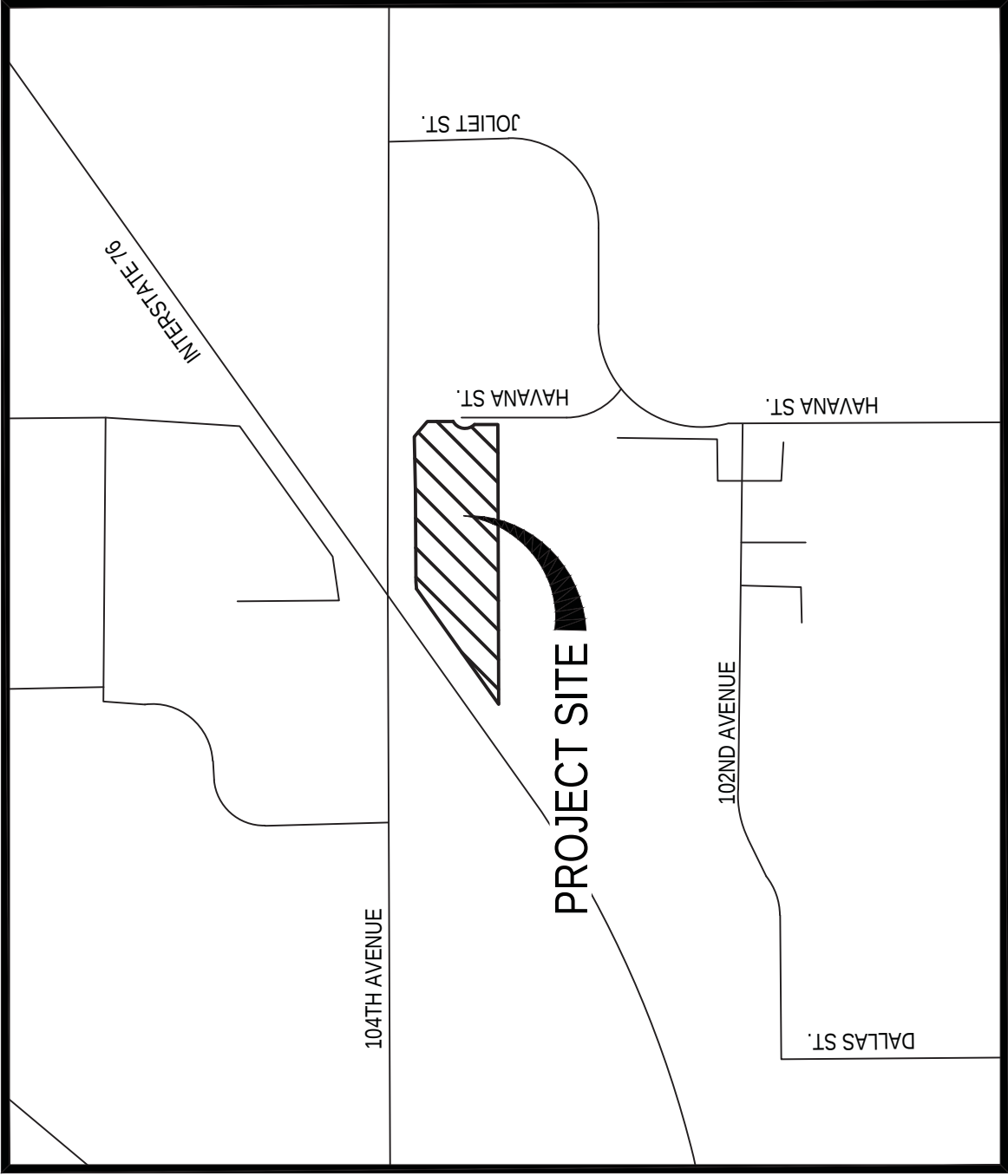
OWNER:



Diversified Transfer & Storage
1640 Monad Rd.
Billings, Montana 59101
P: 406.896.3417

TRUCK TERMINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 OF DTS TRUCK TERMINAL SUBDIVISION, SITUATED IN THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
PARCEL IDENTIFICATION NUMBER (PIN): 0172115100002



VICINITY MAP

SCALE: 1" = 800'

SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
- 3 OVERALL GRADING PLAN
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- 8 SITE LINE STUDIES
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- 17 PHOTOMETRIC PLAN
- 18 PHOTOMETRIC PLAN
- 19 CUT SHEETS

ABBREVIATIONS	
BW	BACK OF WALK
BOP	BOTTOM OF PIPE
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL (FG)
CONC	CONCRETE
DIA	DIAMETER
DR	DOOR
DS	DOWNSPOUT
E	EAST, EASTING
EL	ELEVATION
EOA	EDGE OF ASPHALT
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FH	FIRE HYDRANT
FL	FLOW LINE
GB	GRADE BREAK
GV	GATE VALVE
HC	HANDICAP
INV	INVERT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
N	NORTH, NORTHING
PR	PROPOSED
ROW	RIGHT OF WAY
SAN	SANITARY
SS	SANITARY SEWER
STA	STATION
STM	STORM
TBC	TOPBACK OF CURB
TS	TOP OF STEP
TYP	TYPICAL
WAT	WATER

LAND USE SUMMARY	
SITE	PROPOSED
SITE AREA (GROSS):	421,745 SF / 9.68 AC
RIGHT-OF-WAY DEDICATION:	0 AC
SITE AREA (NET):	421,745 SF / 9.68 AC
SQUARE FOOTAGE OF ALL BUILDINGS (PHASE 1):	42,388 SF
SQUARE FOOTAGE OF ALL BUILDINGS (PHASE 2):	73,357 SF
SQUARE FOOTAGE OF ALL BUILDINGS (PHASE 3):	115,630 SF
BUILDING FLOOR AREA RATIO (PHASE 1):	0.100
BUILDING FLOOR AREA RATIO (PHASE 2):	0.174
BUILDING FLOOR AREA RATIO (PHASE 3):	0.274
BUILDING CONSTRUCTION TYPE:	II-B
BUILDING OCCUPANCY:	LOW-HAZARD STORAGE S-2
DEVELOPMENT PROPOSAL	
ALLOWED USES:	
INDUSTRIAL	
CURRENT ZONING:	
LIGHT INTENSITY INDUSTRIAL (I-1)	
LOT COVERAGE - BUILDING #1:	33.218 SF = 7.87%
LOT COVERAGE - BUILDING #1:	31,061 SF = 7.36%
LOT COVERAGE - BUILDING #1:	42,220 SF = 10.0%
LOT COVERAGE - BUILDING #2:	9,120 SF = 2.16%
LOT COVERAGE - LANDSCAPE:	151,136 SF = 36.83%
LOT COVERAGE - ASPHALT PAVING:	125,287 SF = 29.71%
LOT COVERAGE - CONCRETE PAVING:	29,701 SF = 7.04%
LOT COVERAGE - OPEN AREA:	0 SF = 0%
LOT COVERAGE - TOTAL:	421,745 SF = 100%
LANDSCAPE AREA (PUBLIC ROW):	0 SF = 0%
EST. NUMBER OF EMPLOYEES:	50
NUMBER OF FIXED SEATS:	0

GENERAL NOTES:

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS; HOWEVER, THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY OF COMMERCE CITY'S SIGN CODE.

FENCING NOTE: APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY OF COMMERCE CITY'S FENCING REQUIREMENTS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.

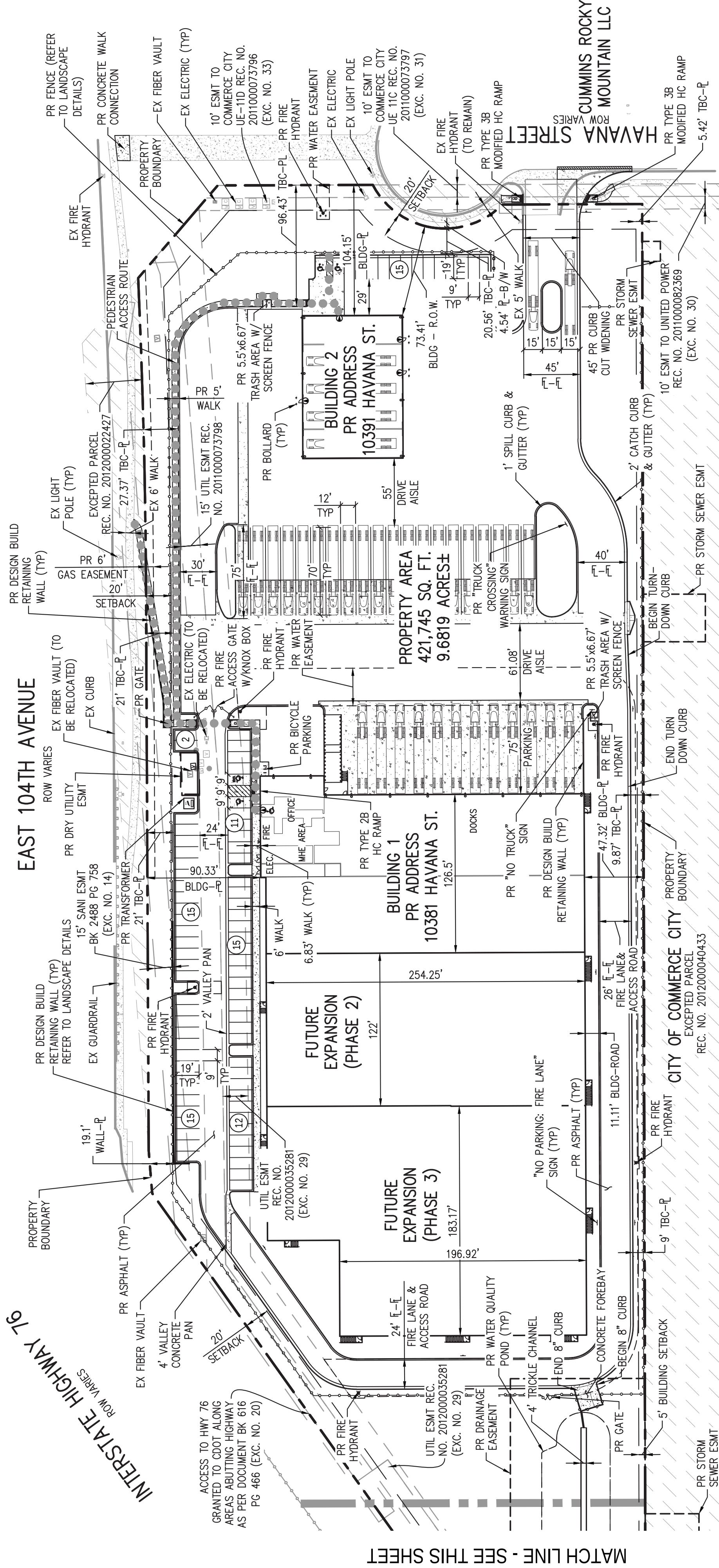
CITY COUNCIL CERTIFICATE:
Approved by the City Council of Commerce City, this _____ day of _____, A.D. _____.

City Signature _____

TRUCK TERMINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 OF DTS TRUCK TERMINAL SUBDIVISION, SITUATED IN THE
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6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
PARCEL IDENTIFICATION NUMBER (PIN): 0172115100002

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STANDARD SPACES (9'x18')	22	24	19	65	85
	REQUIRED PARKING **			PROVIDED PARKING	
HANDICAPPED	4			4 (3 STD, 1 VAN)	
TRUCK PARKING (12' x 60')	N/A			20	
BICYCLE PARKING	5			6	



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11-01-2016	REVISED PER CITY COMMENTS
11-30-2016	REVISED PER CITY COMMENTS

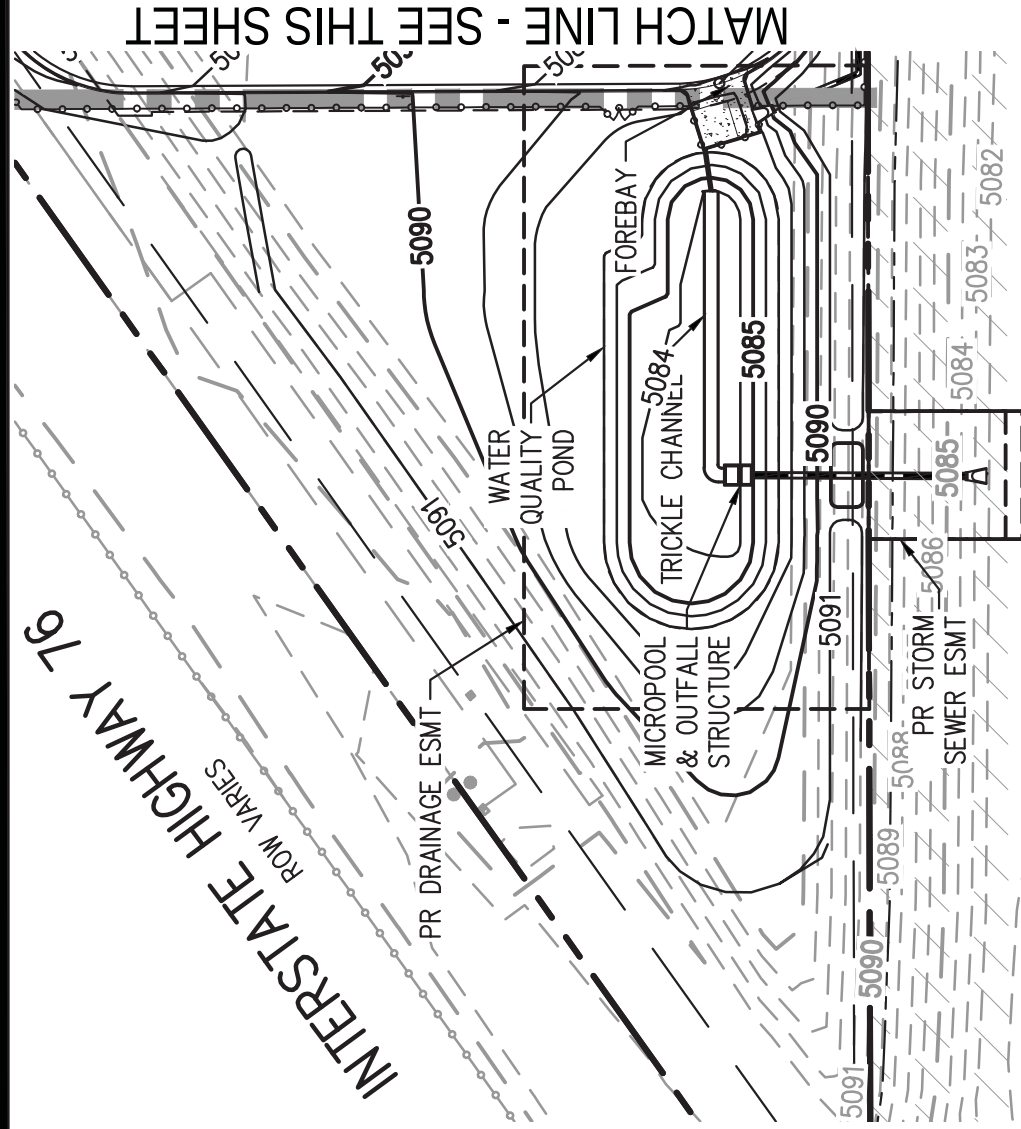
HKS **HARRIS
KOCHER
SMITH**
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

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Filepath: P:\160612\ENGINEERING\GRADING\DP - OVERALL GRADING PLAN.DWG Layout: LAYOUT1
6 X REF: e-base, f-vol, e-leg, p-vol, e-vol, p-base, p-leg, p-vol
Plotted: TUE 11/29/16 10:44:52LA BY: NATE MARTEL



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LEGEND

- EXISTING

PROPOSED
- CONTOURS

BUILDING ENTRANCE

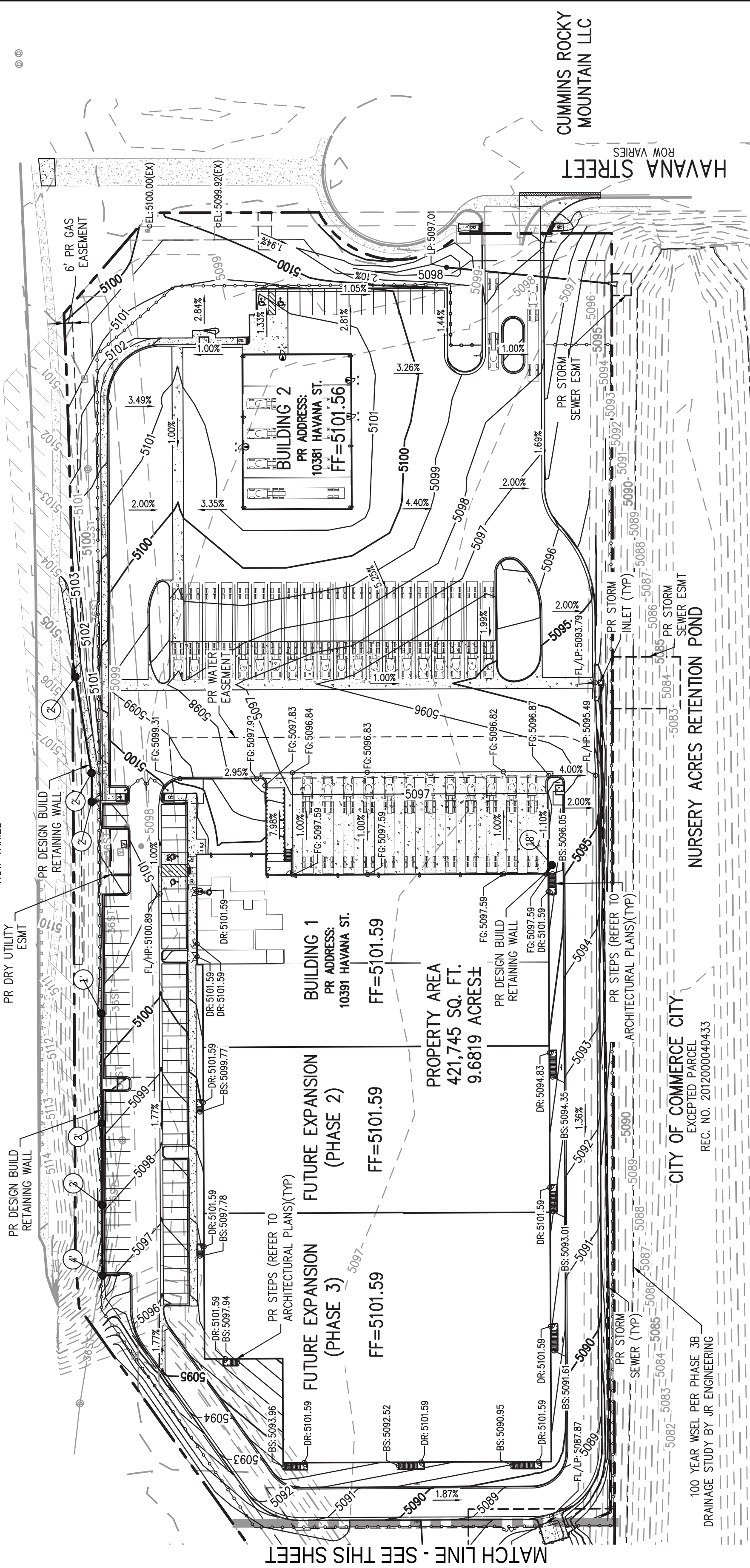
MANHOLE

INLET

STORM SEWER

APPROXIMATE RETAINING WALL HEIGHT
-
-
- 1

EAST 104TH AVENUE
ROW VARIES



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SMITH**

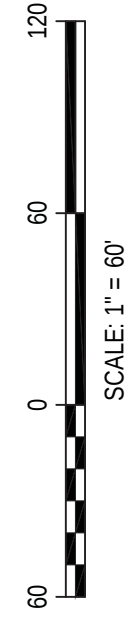
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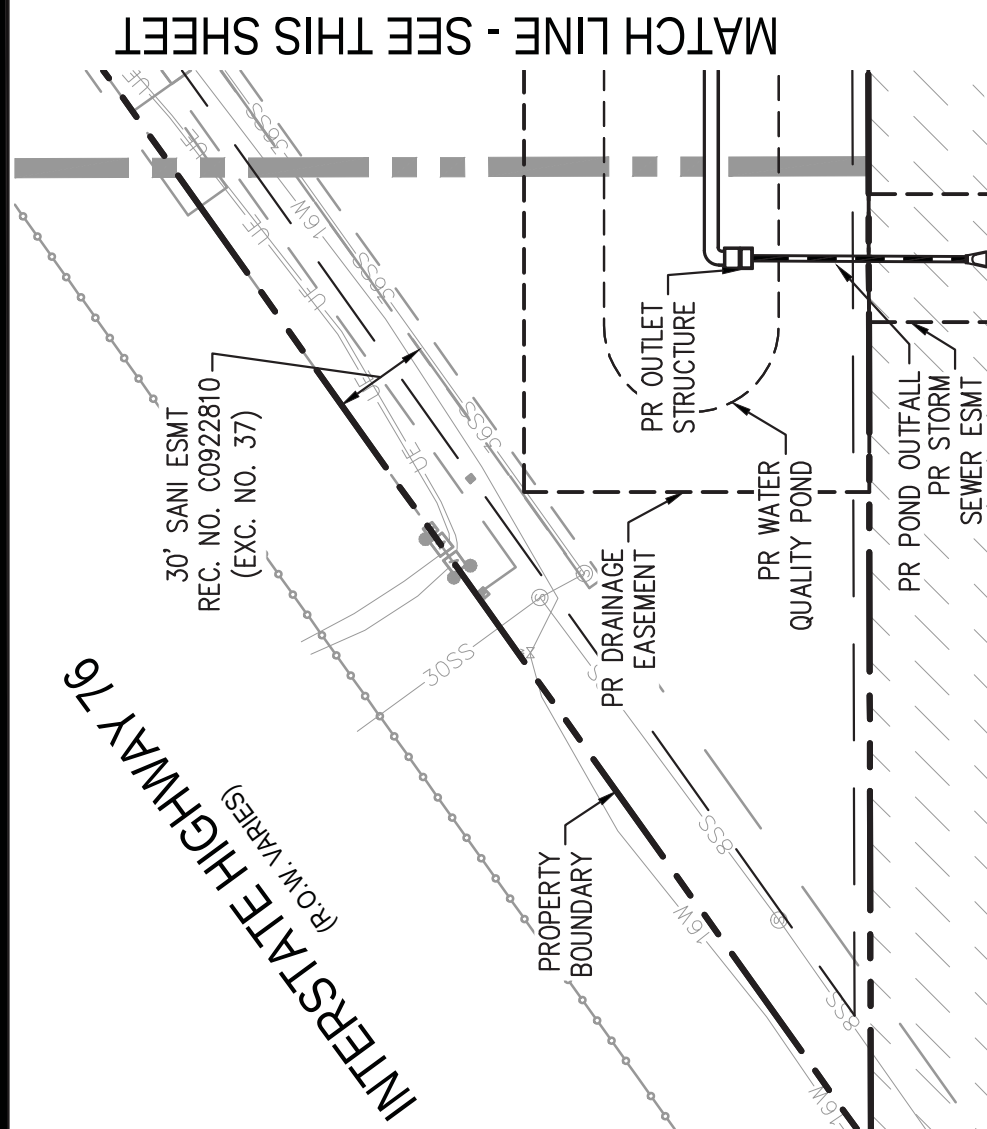
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Filepath: P:\160612\ENGINEERING\UTILITIES\DP - OVERALL UTILITY PLAN.DWG Layout LAYOUT
8 REFERENCES: e-base, p-pool, e-legal, p-base, p-legal, p-sewer, p-pull, p-water
Plotted: TUE 11/29/16 9:43:00A By: Nate Marshel



TRUCK TERMINAL DEVELOPMENT PLAN

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NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN
APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY
THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE
THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK,
AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WITH
MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE
AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

LEGEND

- EX

BUILDING ENTRANCE
- EX

MANHOLE
- EX

GATE VALVE
- EX

HYDRANT
- EX

INLET
- EX

UNDERGROUND ELECTRIC
- EX

WATER
- EX

GAS
- EX

GAS SERVICE
- EX

STORM SEWER
- EX

SANITARY SEWER SERVICE
- EX

SANITARY SEWER
- PR

BUILDING ENTRANCE
- PR

MANHOLE
- PR

GATE VALVE
- PR

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INLET
- PR

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- PR

WATER
- PR

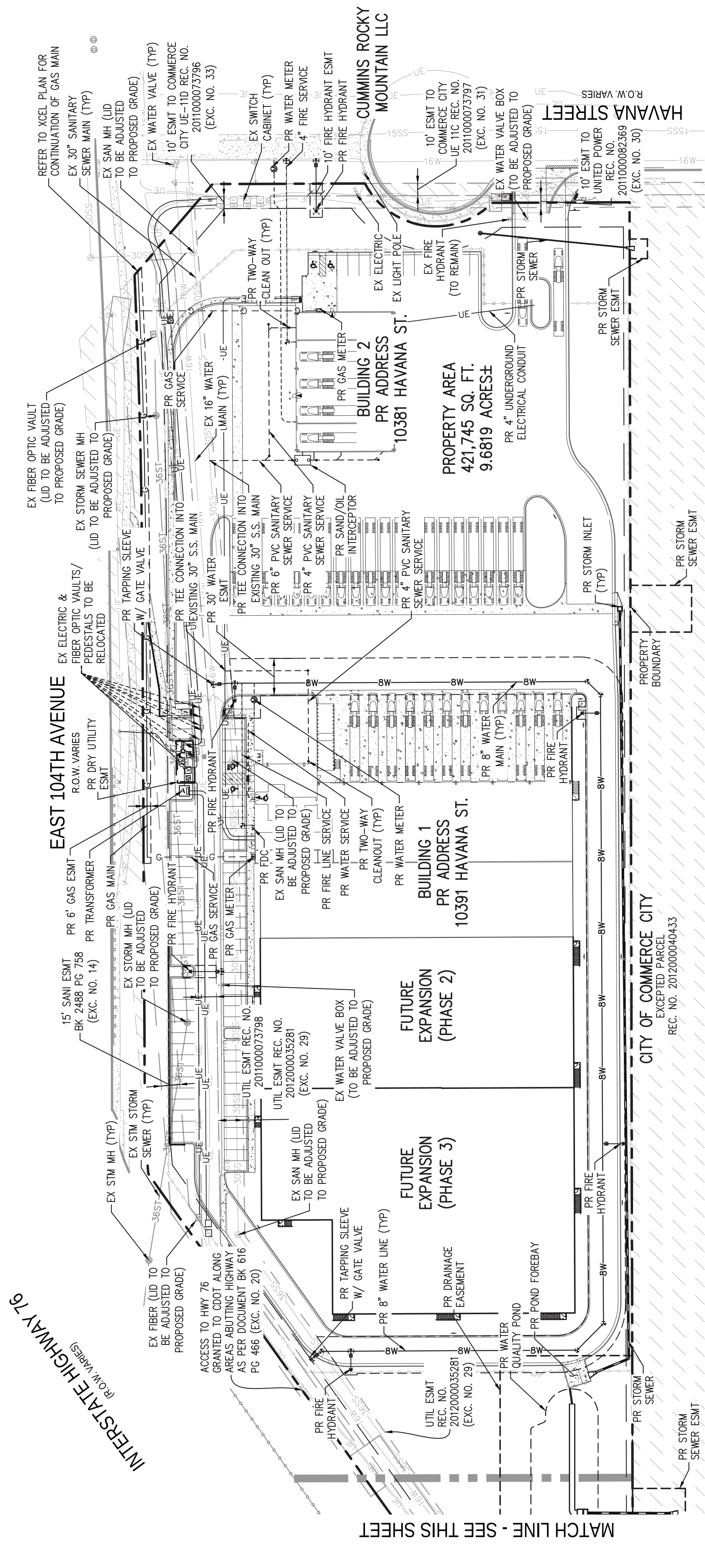
GAS
- PR

GAS SERVICE
- PR

STORM SEWER
- PR

SANITARY SEWER SERVICE
- PR

SANITARY SEWER



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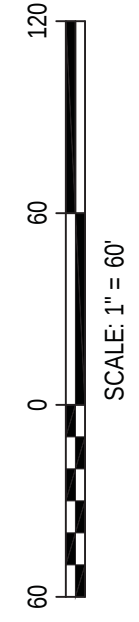
1120 Lincoln Street, Suite 1000
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P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

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EAST 104TH AVENUE

INTERSTATE HIGHWAY 76

TRASH ENCLOSURE
WITH 6'-0" SCREEN WALL

TRUCK
WASH

SERVICE

+35' TRUCK
DOCK

TRASH ENCLOSURE
WITH 6'-0" SCREEN WALL

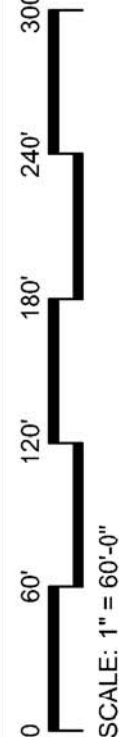
HAVANA STREET

PHASE 1 CONSTRUCTION
NOTE: ALL SITE IMPROVEMENTS TO
BE COMPLETED DURING PHASE 1

PHASE 2 CONSTRUCTION

PHASE 3 CONSTRUCTION

1 PHASING PLAN



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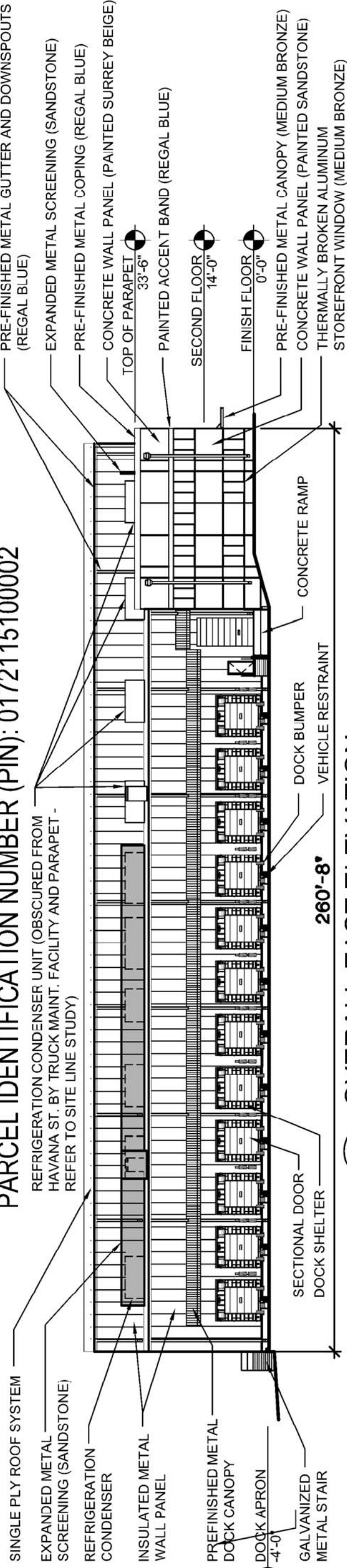
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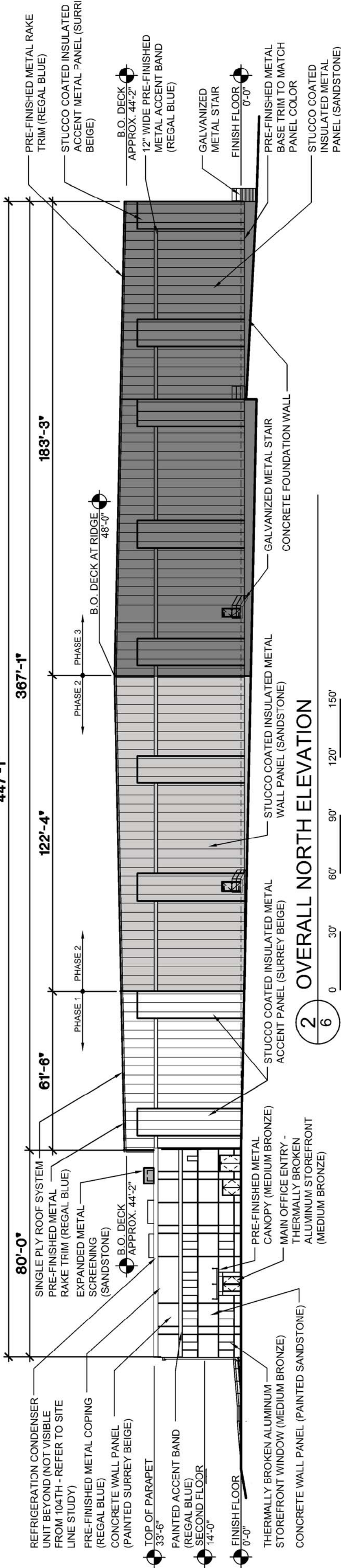
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1 OVERALL EAST ELEVATION

6 0 30' 60' 90' 120' 150'

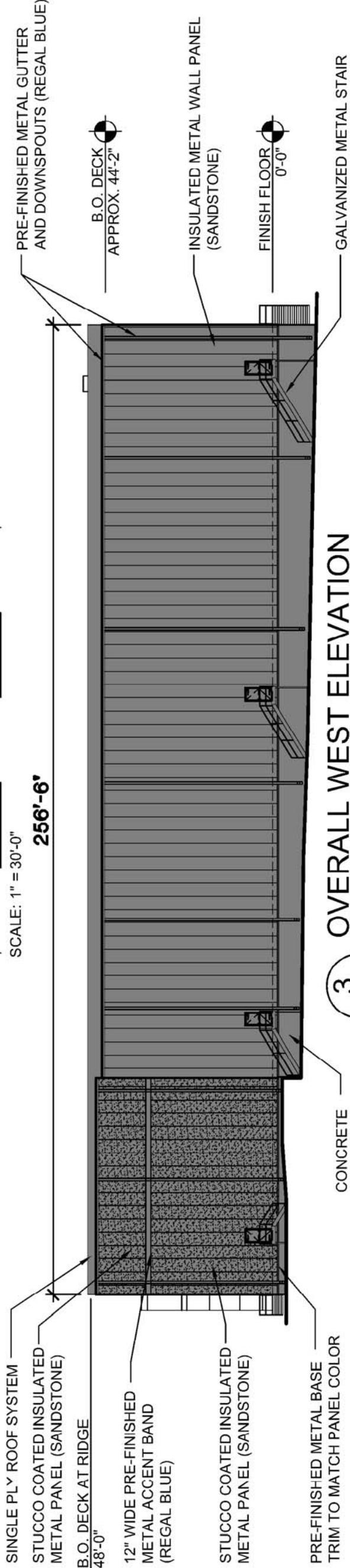
SCALE: 1" = 30'-0"



2 OVERALL NORTH ELEVATION

6 0 30' 60' 90' 120' 150'

SCALE: 1" = 30'-0"



3 OVERALL WEST ELEVATION

6 0 30' 60' 90' 120' 150'

SCALE: 1" = 30'-0"



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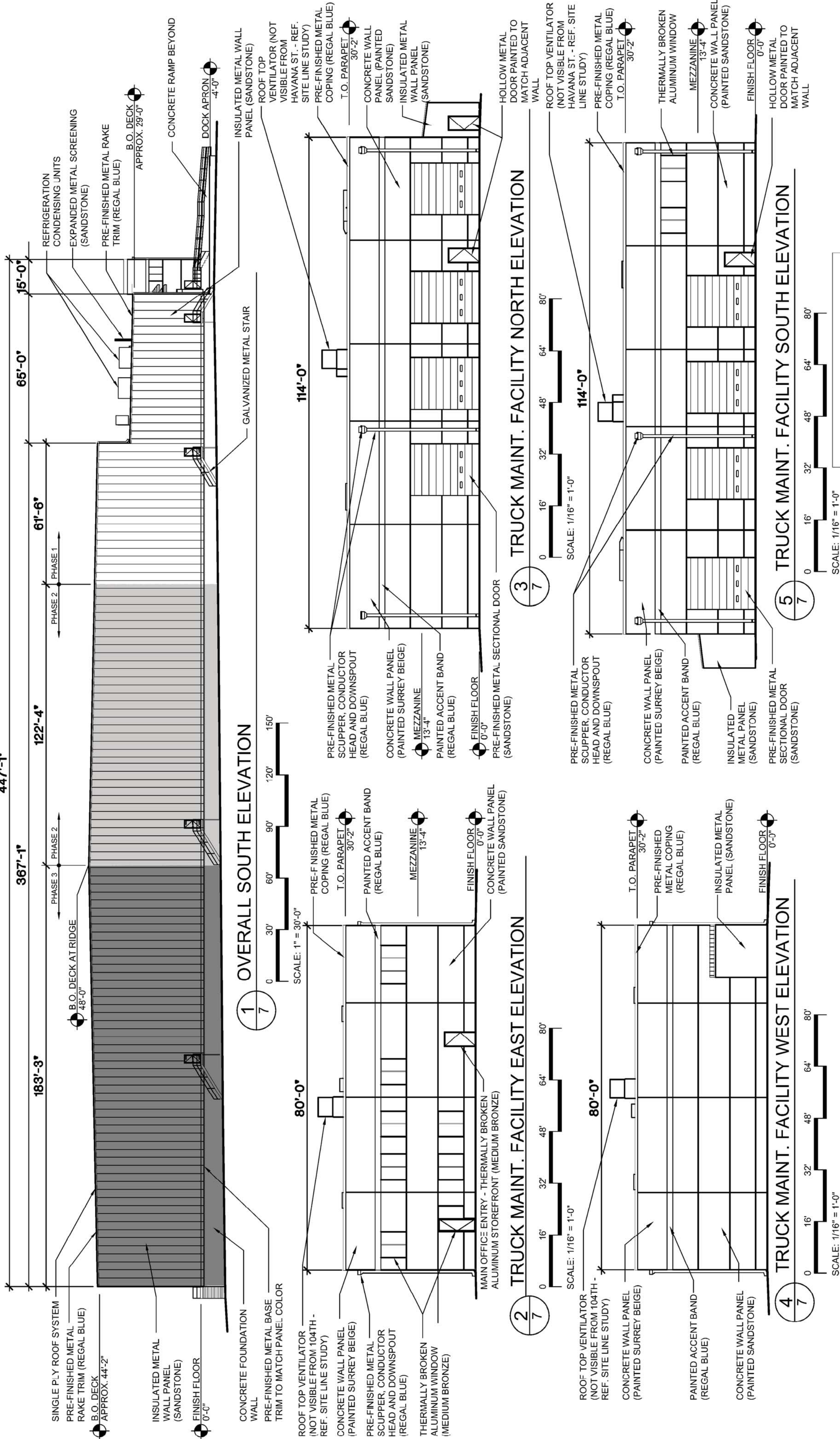
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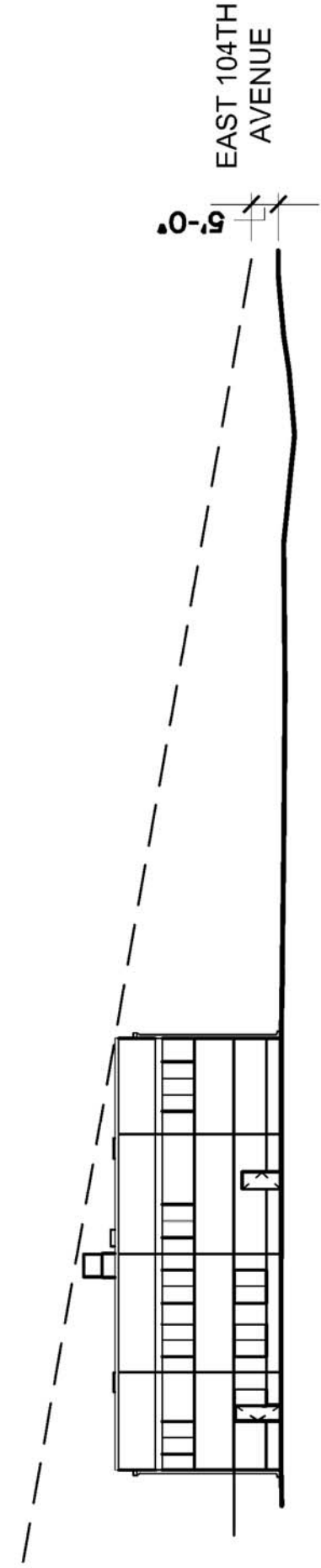
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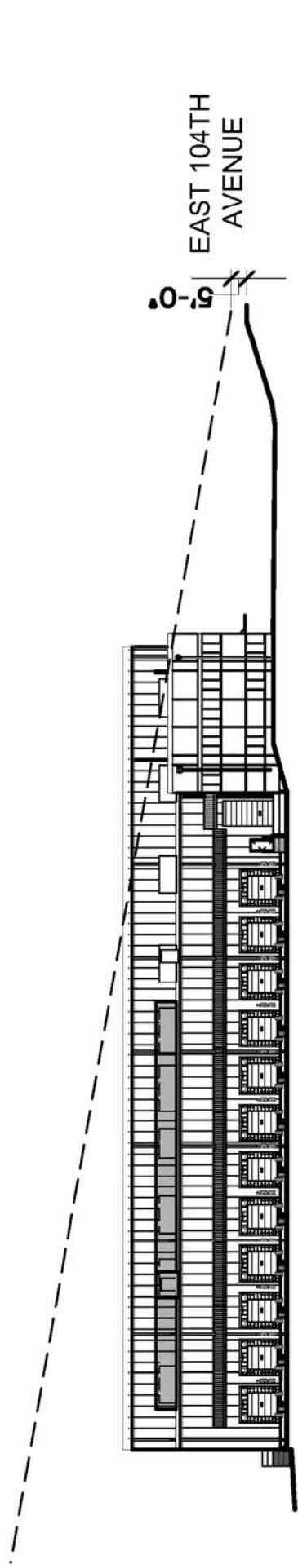
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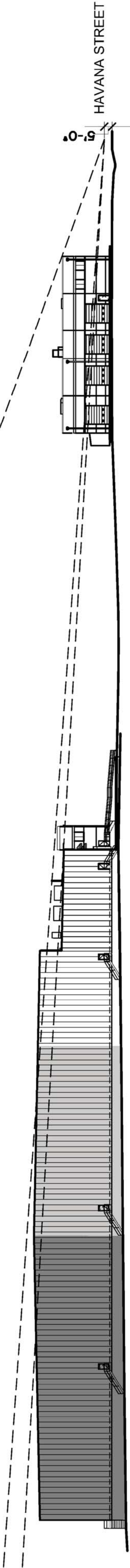
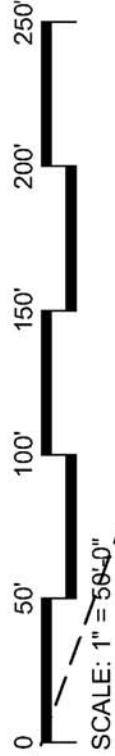
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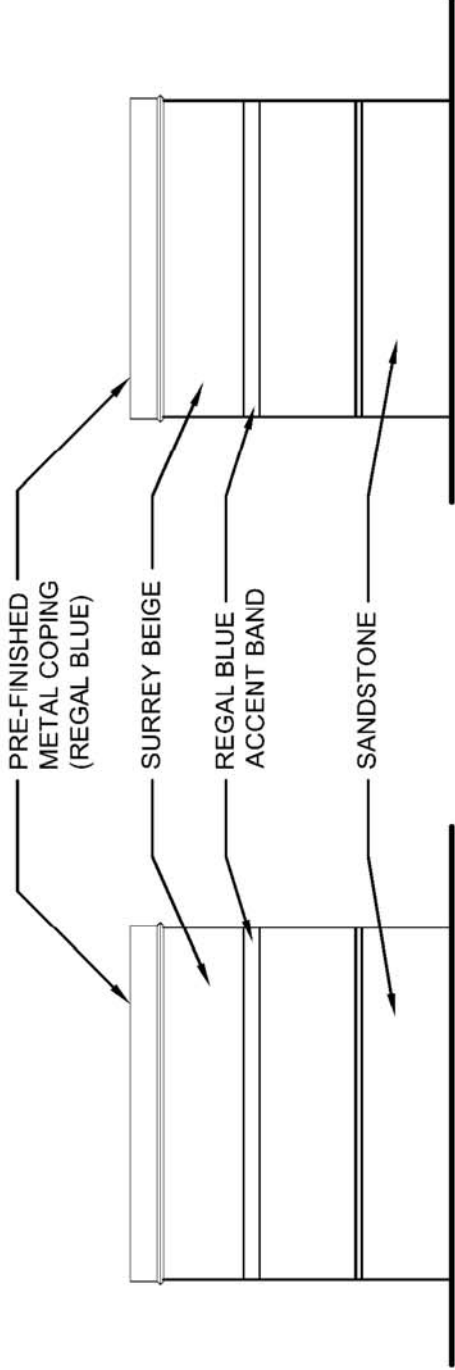
1 SITE LINE STUDY - TRUCK MAINT. FACILITY FROM 104TH



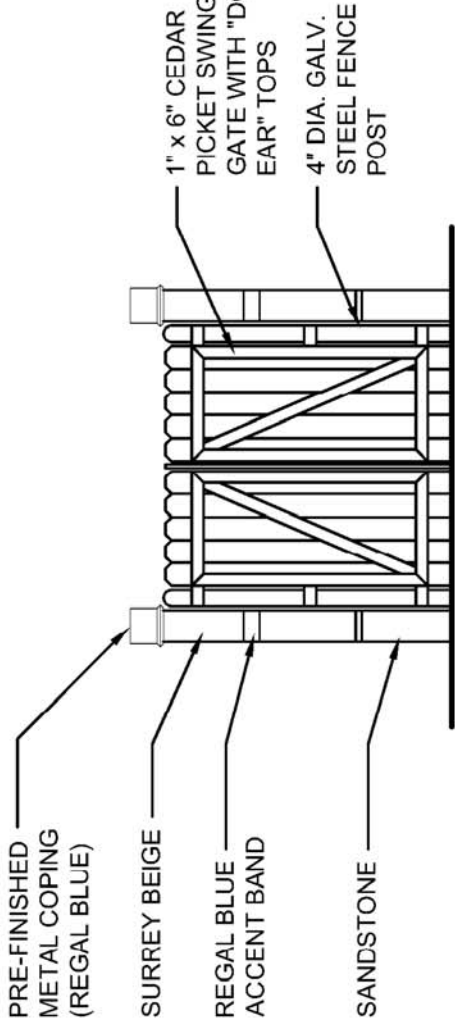
2 SITE LINE STUDY - WAREHOUSE FROM 104TH



3 SITE LINE STUDY - WAREHOUSE AND TRUCK MAINT. FACILITY FROM HAVANA STREET



4 TRASH ENCLOSURE ELEVATIONS



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City Signature _____

TRUCK TERMINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 OF DTS TRUCK TERMINAL SUBDIVISION, SITUATED IN THE
NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE
6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
PARCEL IDENTIFICATION NUMBER (PIN): 0172115100002



1 MAIN OFFICE RENDERING

SCALE: N.T.S.



2 PHASE 3 RENDERING

SCALE: N.T.S.



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ISSUE DATE: 08-22-2016		PROJECT #: 160612
DATE	REVISION	COMMENTS
08-30-2016	REVISED PER CITY COMMENTS	
11-01-2016	REVISED PER CITY COMMENTS	
11-30-2016	REVISED PER CITY COMMENTS	

CITY COUNCIL CERTIFICATE:
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NOTE: REFER TO SITE PLAN FOR TRUCK
PARKING LOCATIONS AND
PEDESTRIAN SITE ACCESS

TRUCK TERMINAL DEVELOPMENT PLAN

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CITY OF COMMERCE CITY NOTES

- A. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER; ORNAMENTAL GRASSES ONE GALLON CONTAINER; PERENNIALS AND GROUND COVERS 2 1/4 POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% CONIFEROUS (EVERGREEN) AND 50% DECIDUOUS (TREE LAWN AREAS BETWEEN CURBS AND DETACHED WALKS SHALL BE ALL DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6 INCH FOR EVERY 1,000 S.F. OF LANDSCAPE AREA.
- B. STREET TREES: THE DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT SERVICES HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED CITY LIST.
- C. WEED BARRIER: POROUS WEED FABRIC MUST BE USED IN PLANTED BEDS FOR WEED PREVENTIONS BECAUSE IT ALLOWS VENTILATION FOR ROOTS AND TRANSMISSION OF WATER. PLASTIC WEED BARRIERS IN ANY PLANTED AREA WILL NOT BE APPROVED.
- D. EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR PROTECTIVE CAPS INSTALLED.
- E. MAINTENANCE:
- 1) THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN, DEVELOPMENT PLAN, OR LANDSCAPE PLAN, INCLUDING THOSE AREAS FOUND IN THE RIGHT-OF-WAY.
- 2) LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, ETC. REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON BUT IN ANY EVENT, SUCH REPLACEMENT TIME SHALL NOT EXCEED ONE (1) YEAR.
- 3) THIS APPROVED SITE PLAN, DEVELOPMENT PLAN, OR LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- F. SIGHT LINE CONSIDERATIONS: ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY NOT CONTAIN PLANT MATERIAL THAT AT THE TIME OF PLANTING OR AT MATURITY EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF TEN FEET FROM INTERSECTIONS AND FIFTEEN FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES WITHIN SIGHT-DISTANCE-TRIANGLES. INFORMATION ON SIGHT-DISTANCE-TRIANGLES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS AND SPECIFICATIONS 3.03.2 TABLE 3-1.
- G. IMPLEMENTATION AND COORDINATION OF LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS AND PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
- H. IRRIGATION: ALL LANDSCAPED AREA AND PLANT MATERIALS, EXCEPT FOR NON-IRRIGATED NATIVE, RESTORATIVE, AND DRY LAND GRASS AREAS MUST BY WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT. APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT FOR ANY IRRIGATION SYSTEM. ALL IRRIGATION PLANS, OR PORTIONS THEREOF, DESIGNED FOR PUBLIC RIGHT-OF-WAYS SHALL SPECIFY PARTS/COMPONENTS FROM THE CITY APPROVED IRRIGATION PARTS/COMPONENT LIST.
- I. NATIVE GRASS NOTE: ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED, SHALL BE, AT A MINIMUM, SEEDED WITH NATIVE GRASSES.
- J. VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.



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LANDSCAPE TREATMENT

LANDSCAPE TREATMENT	REQUIRED BY CODE	PROVIDED
TOTAL LANDSCAPE S.F.		156,709 S.F.
SOD S.F.	<50%	40,981 S.F. (26%)
LIVING PLANT MATERIAL S.F.	> 75%	142,095 S.F. (91%)
TREES	124	126*
SHRUBS	496	476*
HORIZON COBBLE		4,493 S.F. (3%)
LANDSCAPE MULCH		40,883 S.F. (27%)

*EQUIVALENCY RATE OF 1 TREE PER 10 SHRUBS.

RIGHT-OF-WAY LANDSCAPE: 104TH

LANDSCAPE TREATMENT	REQUIRED BY CODE	PROVIDED
LANDSCAPE AREA S.F.		7709
TREES (1 PER 30 LF) *		13

*LANDSCAPE APPROVED PER NORTHERN RANGE STREETS CAPES PLAN

RIGHT-OF-WAY LANDSCAPE: HAVANA

LANDSCAPE TREATMENT	REQUIRED BY CODE	PROVIDED
LANDSCAPE AREA S.F.		557
TREES (1 PER 30 LF)	5	8*

*DUE TO A 4' R.O.W. TREE LAWN, 4 TREES ARE LOCATED 8' FROM BACK OF WALK ON OWNER'S PROPERTY TO SUBSTITUTE FOR THE R.O.W. TREE REQUIREMENT.

PARKING LOT PERIMETER

LANDSCAPE TREATMENT	REQUIRED BY CODE	PROVIDED
TREES	17	17
SHRUBS	85	89

PARKING LOT INTERIOR LANDSCAPE

LANDSCAPE TREATMENT	REQUIRED BY CODE	PROVIDED
LANDSCAPE ISLANDS (1 per 20 spaces)		
LANDSCAPE ISLANDS REQUIRED	8	8
TREES (1 per single island, 2 per double)	10	11
SHRUBS (6 per single island, 12 per double)	60	88

DETENTION LANDSCAPE AREA

LANDSCAPE TREATMENT	REQUIRED BY CODE	PROVIDED
TREES (1/50 FT)	24	46*
SHRUBS (10/50 FT)	234	19*

*DUE TO LOCATION OF DETENTION POND AT THE REAR OF BUILDING AND THE DESIRE TO INCREASE THE EFFECTIVENESS OF LANDSCAPE SCREENING ALONG I-76, REQUIRED SHRUBS WERE REPLACED WITH TREES AT AN EQUIVALENCY RATE OF 1 TREE PER 10 SHRUBS.

BUILDING FLOOR AREA

BUILDING AREA	SQUARE FOOTAGE
BUILDING 1 (TOTAL)	33,218 S.F.
BUILDING 2	9,120 S.F.
FUTURE BUILDING EXPANSION I	31,061 S.F.
FUTURE BUILDING EXPANSION II	42,220 S.F.
TOTAL BUILDING FLOOR AREA	115,619 S.F.

CITY COUNCIL CERTIFICATE:

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Know what's below.
Call before you dig.

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DEVELOPMENT PLAN

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PARCEL IDENTIFICATION NUMBER (PIN): 0172115100002

LANDSCAPE PLANT SCHEDULE

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES				
7	EKC	SEEDLESS KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CALIPER - B&B
8	HAC	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2" CALIPER - B&B
5	HOA	HERITAGE OAK	QUERCUS X MACDANIELII 'CLEMONS'	2" CALIPER - B&B
10	ROA	NOTHERN RED OAK	QUERCUS RUBRA	2" CALIPER - B&B
11	SHA	SHADEMASTER LOCUST	GLEDISTIA TRIACANTHOS INERMIS 'SHADEMASTER'	2" CALIPER - B&B
8	SSM	STATE STREET MAPLE	ACER MIYABE 'MORTON'	2" CALIPER - B&B
DECIDUOUS ORNAMENTAL TREES				
6	LTR	JAPANESE TREE LILAC 'IVORY SILK'	SYRINGA RETICULATA	1.5" CALIPER - B&B
3	SPR	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	1.5" CALIPER - B&B
EVERGREEN TREES				
38	AUS	AUSTRIAN PINE	PINUS NIGRA	6-8" HT. B&B
43	CBS	COLORADO SPRUCE	PICEA PUNGENS	6-8" HT. B&B
EVERGREEN SHRUBS				
24	ACJ	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'ALPINE CARPET'	#5 CONT.
12	BCH	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5 CONT.
22	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'MONNA'	#5 CONT.
9	LOD	LODENSE PRIVET	LIGUSTRUM VULGARE 'LODENSE'	#5 CONT.
7	MMO	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONT.
56	SPA	SPARTAN JUNIPER	JUNIPERUS CHINENSIS	#5 CONT.
32	YBE	BRIGHT EDGE YUCCA	YUCCA FLACCIDA 'BRIGHT EDGE'	#5 CONT.
DECIDUOUS SHRUBS				
9	CEC	COMPACT EUROPEAN CRANBERRY	VIBURNUM OPULUS 'COMPACTUM'	#5 CONT.
33	KNO	KNOCK OUT ROSE	ROSA 'RADRAZZ'	#5 CONT.
32	MKL	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.
23	NCW	COPPERTINA NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MINDIA'	#5 CONT.
29	NSW	SUMMERWINE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	#5 CONT.
19	PST	PURPLE SMOKE TREE	COTINUS COGGYRIA	#5 CONT.
19	RSA	RUSSIAN SAGE	PEROVSKIA ARTIPLICIFOLIA	#5 CONT.
19	SAA	AUTUMN AMBER SUMAC	RHIUS TRILOBATA 'AUTUMN AMBER'	#5 CONT.
12	SMC	MAGIC CARPET SPIREA	SPIREA JAPONICA 'MAGIC CARPET'	#5 CONT.
38	VKS	KOREANSPICE VIBURNUM	VIBURNUM CARLESII	#5 CONT.
11	WSC	WESTERN SAND CHERRY	PRUNUS BESSEYI	#5 CONT.
ORNAMENTAL GRASSES				
17	ADM	COMPACT MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	#1 CONT.
74	FRG	FEATHER REED GRASS	CALAMGROSTIS ACUTIFLORA 'KARL FOERSTER'	#1 CONT.
90	HFG	HAMELN FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	#1 CONT.
48	MLM	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'	#1 CONT.
PERENNIALS				
14	SMN	MAY NIGHT SALVIA	SALVIA SYLVESTRIS X 'MAINACHT'	#1 CONT.



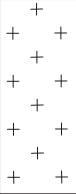
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City Signature _____



NATIVE SEED MIX

COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
WESTERN WHEATGRASS	AGROPYRON SMITHII	25%	
BLUE GRAMA	BOUTELOUA GRACILIS	25%	
BUFFALOGRASS	BUCHLOE DACTYLOIDES	10%	
GREEN NEEDLEGRASS	BOUTELOUA GRACILIS	20%	
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	20%	
TOTAL		100%	22.0 LBS.



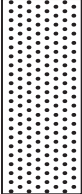
WETLANDS SEED MIX

COMMON NAME	BOTANICAL NAME	% OF TOTAL	PLS/ACRE
CANADA RYE	(ELYMUS CANADENSIS)	21%	3.0 LBS
SLENDER WHEATGRASS	(ELYMUS TRACHYCAULUS SSP. TRACHYCAULUS)	14%	2.0 LBS
SAND BLUESTEM	(ANDROPOGON HALLII)	21%	3.0 LBS
SIDEOATS GRAMA	(BOUTELOUA CURTIPENDULA)	14%	2.0 LBS
PRAIRIE SANDREED	(CALAMOVILFA LONGIFOLIA)	7%	1.0 LBS
SWITCHGRASS	(PANICUM VIRGATUM)	6%	0.75 LBS
SAND DROPSEED	(SPOROBOLUS CRYPTANDRUS)	1%	0.05 LBS
ANALOG SEDGE	(CAREX SIMULATA)	1%	0.10 LBS
AWLFRUIT SEDGE	(CAREX STIPATA)	1%	0.10 LBS
INLAND SALTGRASS	(DISTICHILIS SPICATA)	7%	1 LB
CALIFORNIA POPPY	(ESCHSCHOLZIA CALIFORNICA)	7%	1 LB
TOTAL		100%	14 LBS/ACRE



TALL GRASS MIX

COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
WESTERN WHEATGRASS	AGROPYRON SMITHII	28%	6.2 LBS.
BIG BLUESTEM	ANDROPOGON GRARDII	28%	6.2 LBS.
SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	10%	2.2 LBS.
BLUE GRAMA	BOUTELOUA GRACILIS	6%	1.2 LBS.
SWITCHGRASS	PANICUM VIRGATUM	10%	2.2 LBS.
INDIANGRASS	SORGHASTRUM NUTANS	10%	2.2 LBS.
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUS	8%	1.8 LBS.
TOTAL		100%	22.0 LBS.



TURF GRASS BLEND: SOD

"4-WAY BLUEGRASS BLEND" BY BITTERSWEET TURF FARMS,
INC. OR APPROVED EQUAL

COMMON NAME	% OF TOTAL
NUGLADE	25%
FREEDOM II	25%
AWARD	25%
SR 2100	25%

JOB NUMBER: 160612

TRUCK TERMINAL
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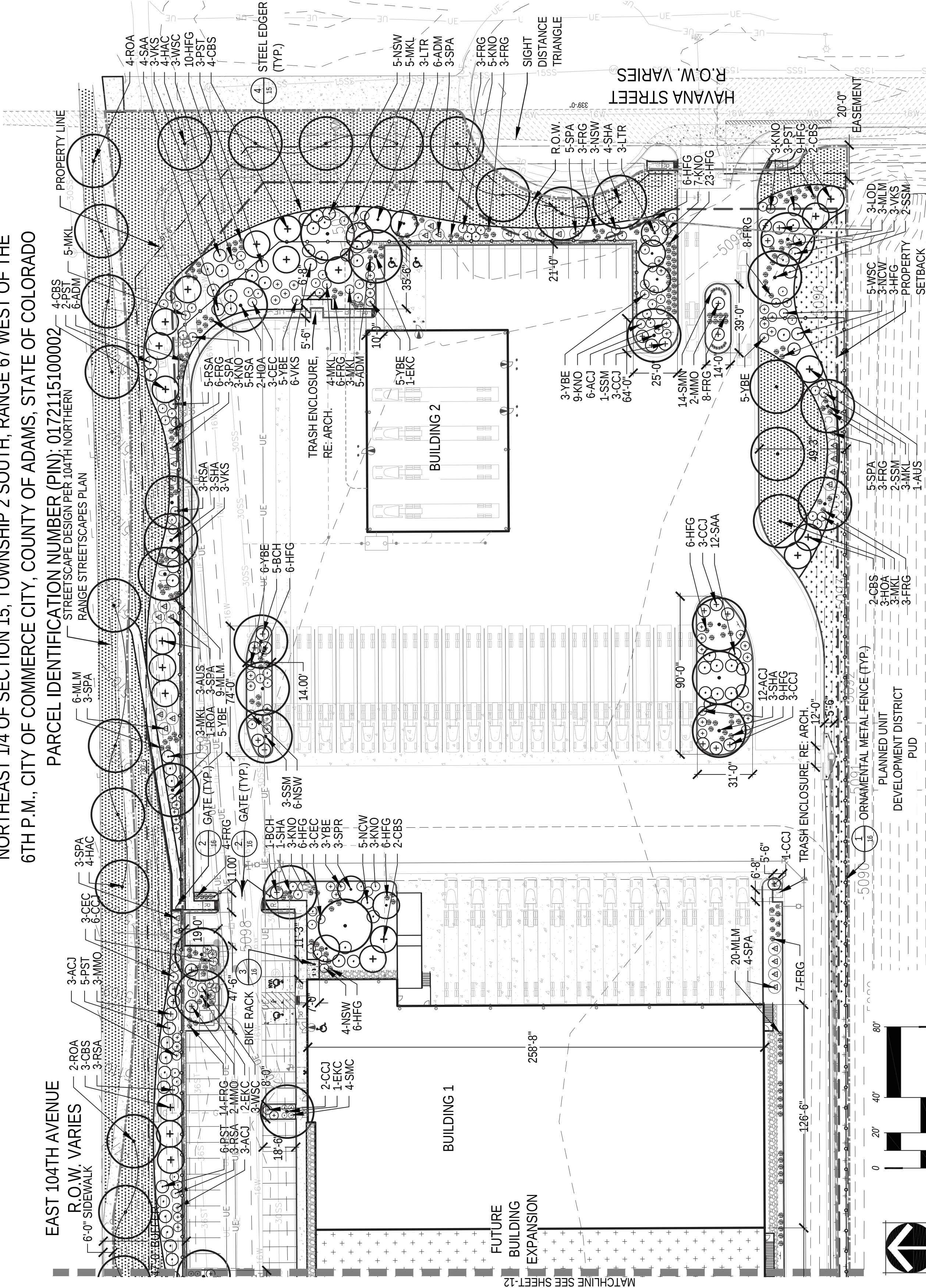
EAST 104TH AVENUE

R.O.W. VARIES

6'-0" SIDEWALK

PARCEL IDENTIFICATION NUMBER (PIN): 0172115100002

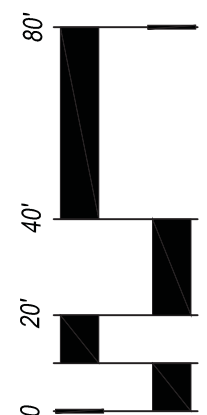
STREETSCAPE DESIGN PER 104TH NORTHERN
RANGE STREETSCAPES PLAN



MATCHLINE SEE SHEET-12



SCALE: 1" = 40'



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LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL SHRUBS
- PERENNIALS
- SOD
- TALL GRASS MIX
- WETLAND SEED MIX
- NATIVE SEED
- 2"-4" HORIZON COBBLE
- PROPERTY LINE
- LIMIT OF WORK
- MATCH LINE
- METAL FENCE
- STEEL EDGER

*ALL BEDS TO BE MULCHED 3" DEPTH
GORILLA HAIR LANDSCAPE MULCH, UNLESS
OTHER WISE SPECIFIED.

PLANT LIST

- DECIDUOUS CANOPY TREES
- EKC KENTUCKY COFFEE TREE
- HAC WESTERN HACKBERRY
- HOA HERITAGE OAK
- ROA NORTHERN RED OAK
- SHA SHADEMASTER LOCUST
- SSM STATE STREET MAPLE
- DECIDUOUS ORNAMENTAL TREES
- LTR JAPANESE TREE LILAC 'IVORY SILK'
- SPR SPRING SNOW CRABAPPLE
- EVERGREEN TREES
- AUS AUSTRIAN PINE
- CBS COLORADO SPRUCE
- EVERGREEN SHRUBS
- ACJ ALPINE CARPET JUNIPER
- BCH BLUE CHIP JUNIPER
- CCJ CALGARY CARPET JUNIPER
- LOD LODENSE PRIVET
- MMO MOPS MUGO PINE
- SPA SPARTAN JUNIPER
- YBE BRIGHT EDGE YUCCA
- DECIDUOUS SHRUBS
- CEC COMPACT EUROPEAN CRANBERRY
- KNO KNOCK OUT ROSE
- MKL MISS KIM LILAC
- NCW COPPERTINA NINEBARK
- NSW SUMMERWINE NINEBARK
- PST PURPLE SMOKE TREE
- QTS TEXAS SCARLET QUINCE
- RSA RUSSIAN SAGE
- SAA AUTUMN AMBER SUMAC
- SMC MAGIC CARPET SPIREA
- VKS KOREANSPICE VIBURNUM
- WSC WESTERN SAND CHERRY
- ORNAMENTAL GRASSES
- ADM COMPACT MAIDEN GRASS
- FRG FEATHER REED GRASS
- HFG HAMLEN FOUNTAIN GRASS
- MLM MORNING LIGHT MAIDEN GRASS
- PERENNIALS
- SWN MAY NIGHT SALVIA

TRUCK TERMINAL DEVELOPMENT PLAN

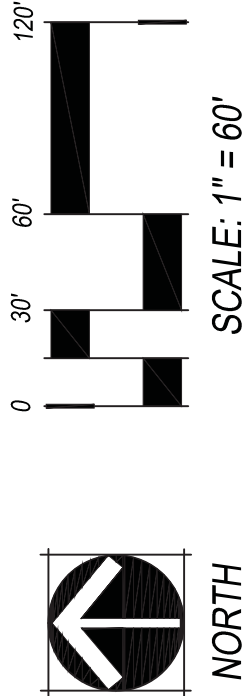
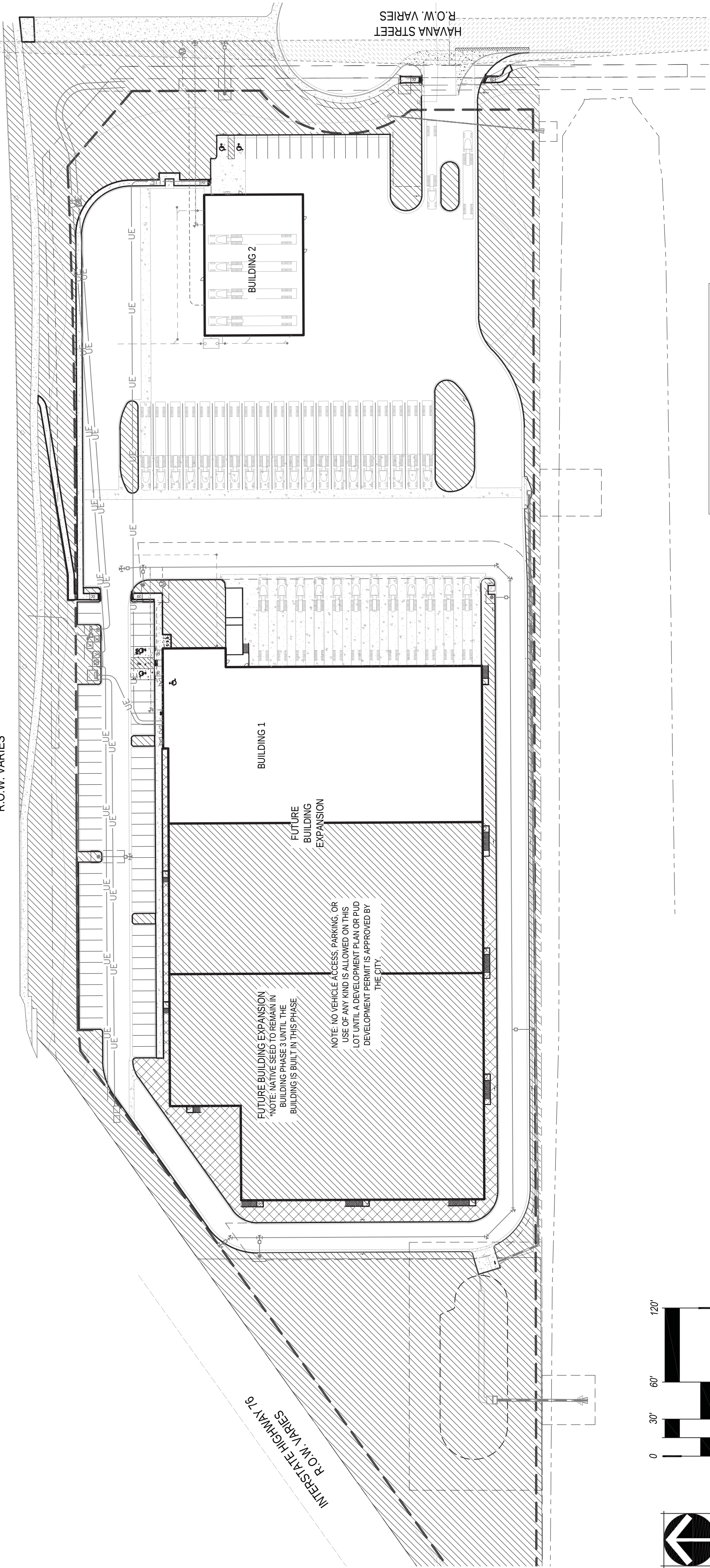
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LEGEND

- PHASE 1 LANDSCAPE
- PHASE 2 LANDSCAPE

*NOTE: ALL RIGHT OF WAY LANDSCAPE ALONG 104TH IS
TO BE IMPLEMENTED DURING THE PHASE 1 LANDSCAPE

EAST 104TH AVENUE
R.O.W. VARIES





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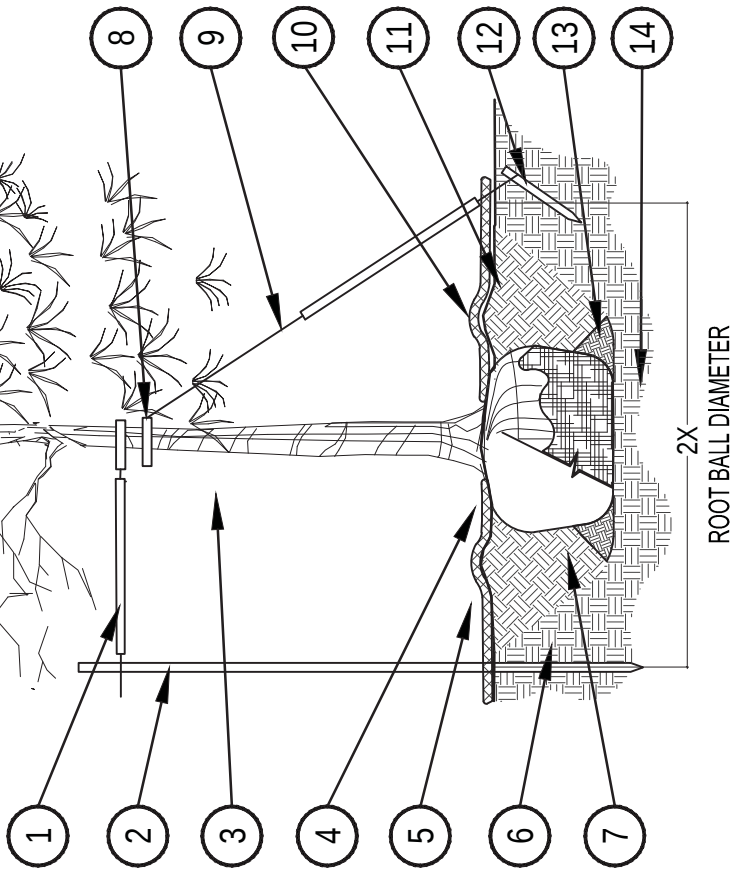
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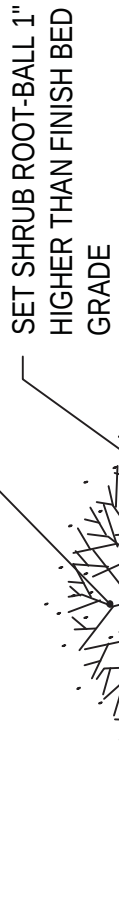
TREE PLANTING DETAIL

1

- 1 SPECIFIED MULCH

- 2 AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.

- 3 FINISH GRADE (TOP OF MULCH)



NOTE:

1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

SHRUB PLANTING

2

SCALE: 1-1/2" = 1'-0"

PERENNIAL PLANT LAYOUT

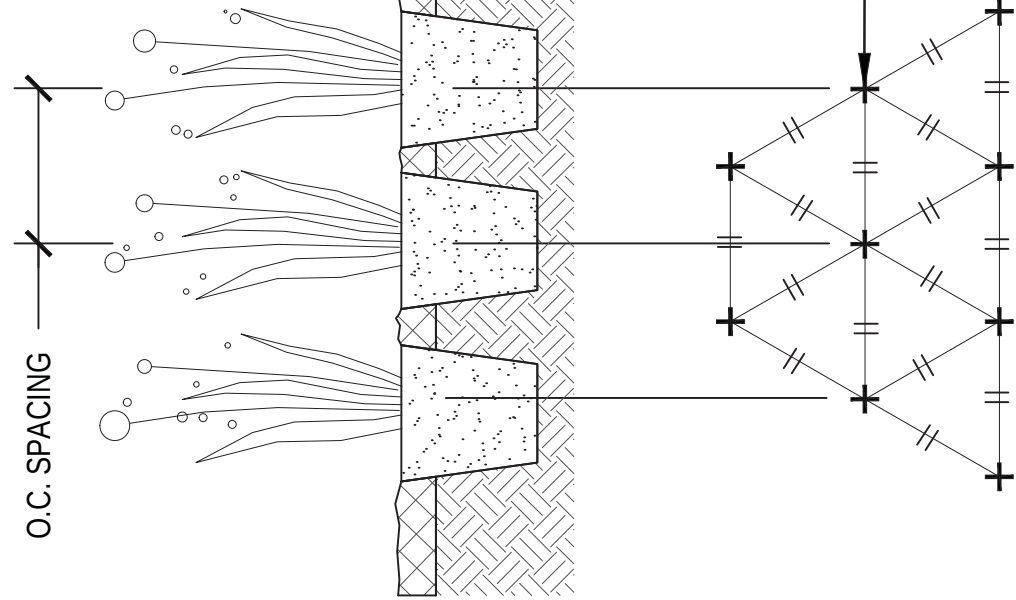
3

SCALE: 1" = 1'-0"

- 1 SPECIFIED MULCH

- 2 AMENDED PLANTING BED TILLED TO A DEPTH OF 6"

- 3 CENTER OF PLANT



- 6 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- 7 REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- 8 GROMMETED NYLON STRAPS
- 9 GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 10 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- 11 BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 12 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- 13 PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- 14 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.
- 1 PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 2 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- 3 TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- 4 PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 5 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).

SCALE: 3/16" = 1'-0"

- 1 FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER

LONGITUDINAL SECTION
OF EDGER AT LOW POINT

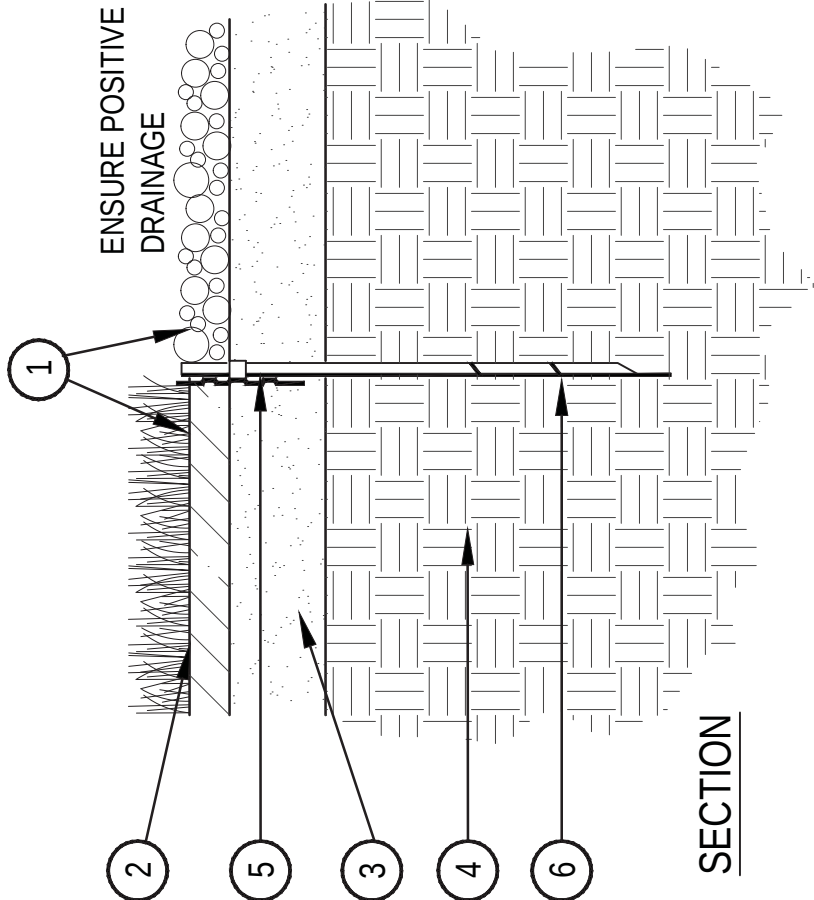
- 2 TURF THATCH

- 3 AMENDED SOIL PER SPECIFICATIONS

- 4 SUBGRADE

- 5 STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE

- 6 EDGER STAKE



SECTION

NOTES:

1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES. ROLL-TOP EDGER PER COMMERCE CITY STANDARDS.
2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

STEEL EDGER

4

SCALE: 1" = 1'-0"



1101 Bannock Street
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www.norris-design.com

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Denver, Colorado 80203
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HarrisKocherSmith.com

ISSUE DATE: 08-22-2016	PROJECT #: 160612
DATE	REVISION COMMENTS
08-30-2016	REVISED PER CITY COMMENTS
11-01-2016	REVISED PER CITY COMMENTS
11-30-2016	REVISED PER CITY COMMENTS

CITY COUNCIL CERTIFICATE:

Approved by the City Council of Commerce City, this _____ day of _____, A.D. _____

City Signature _____



Know what's below.
Call before you dig.

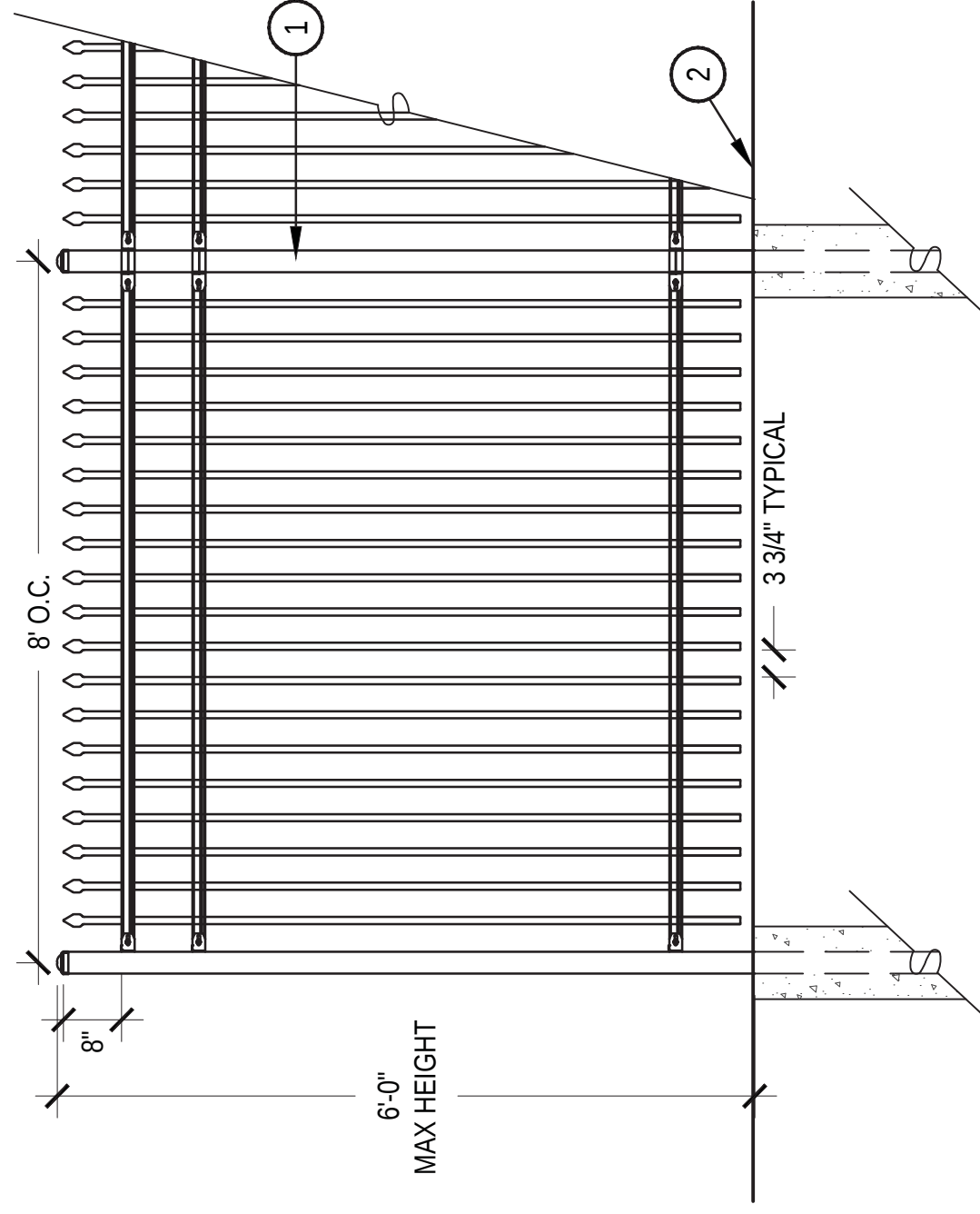
DP-LANDSCAPE-DETAILS
SHEET 15 OF 19

JOB NUMBER: 160612

TRUCK TERMINAL

TRUCK TERMINAL DEVELOPMENT PLAN

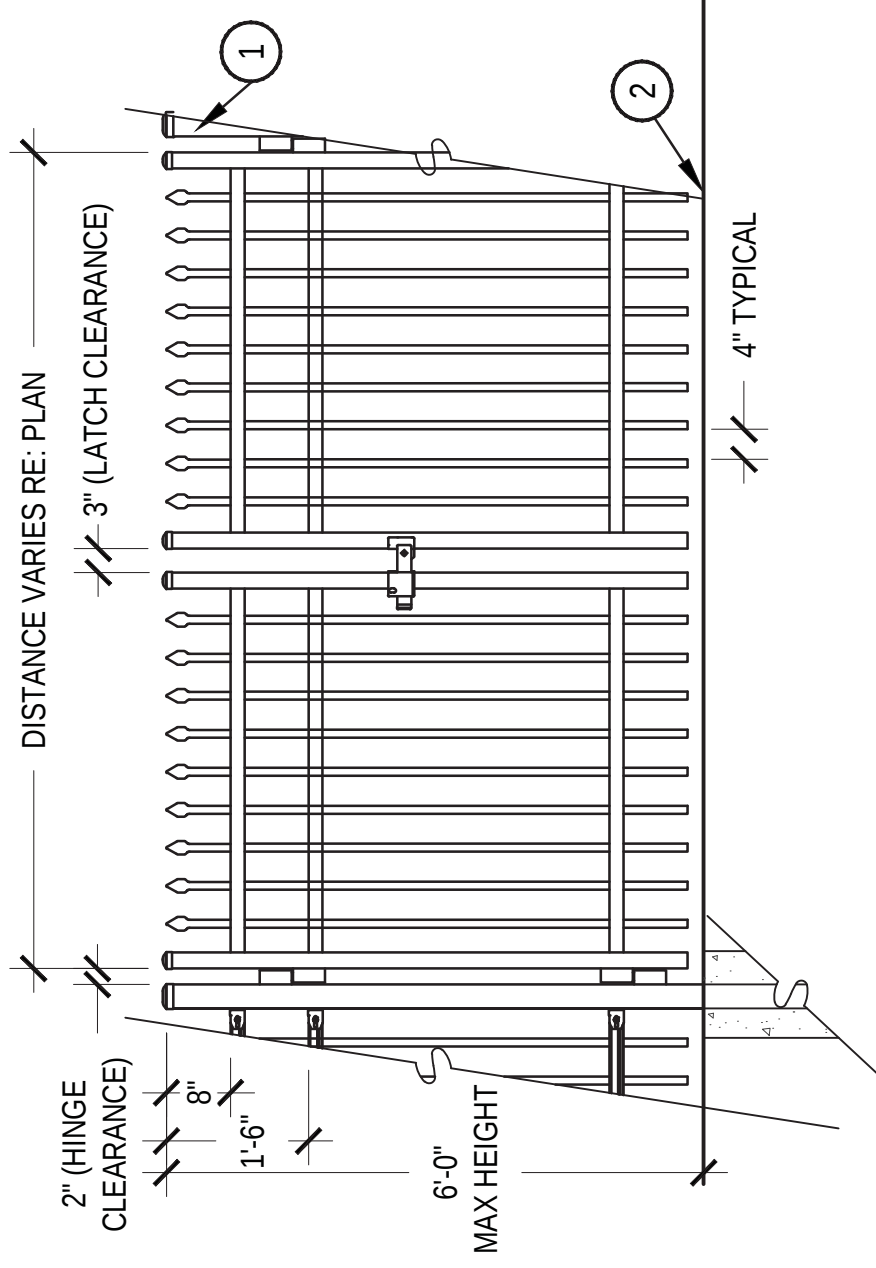
LOT 1, BLOCK 1 OF DTS TRUCK TERMINAL SUBDIVISION, SITUATED IN THE
NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE
6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
PARCEL IDENTIFICATION NUMBER (PIN): 0172115100002



- ① FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
- ② FINISH GRADE

NOTES:

1. FENCE SHALL BE BY MONTAGE INDUSTRIAL, AMERISTAR FENCE OR APPROVED EQUAL, CONTACT: AARON COPE 918-879-5884
acopec@ameristarfence.com
www.ameristarfence.com
2. COLOR: BLACK



- 1 FENCE POST - SET IN CONCRETE FOOTER, REFER TO GATE SPECIFICATIONS FOR FOOTER INFORMATION
- 2 FINISH GRADE

NOTES:

1. GATE SHALL BE BY
MONTAGE INDUSTRIAL,
AMERISTAR FENCE OR
APPROVED EQUAL, CONTACT:
AARON COPE 918-879-5884
acope@ameristarfence.com
www.ameristarfence.com

2. COLOR: BLACK

ORNAMENTAL METAL FENCE

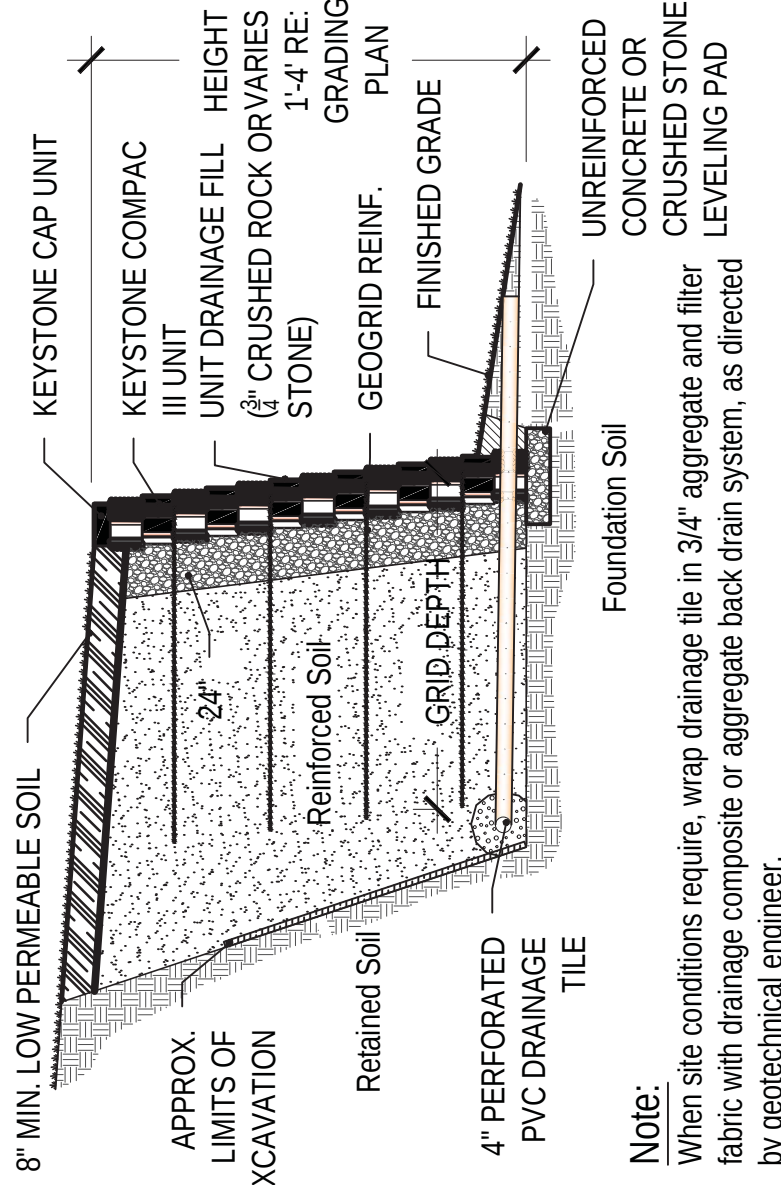


MANUFACTURER: DUMOR
SITE FURNISHINGS
MODEL: BIKE RACK 290
COLOR: MATTE BLACK
SURFACE MOUNT

REFER TO
MANUFACTURER WEBSITE
FOR INSTALLATION

OR APPROVED EQUAL
DUMOR SITE
FURNISHINGS,
(800)598-4018
WWW.DUMOR.COM

SCALE: 1/2" = 1'-0"



Note:

When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

Typical Reinforced Wall Section
Compac III Unit - 1" Setback

BIKE RACK

N.T.S.

RETAINING WALL

SCALE: N.T.S.



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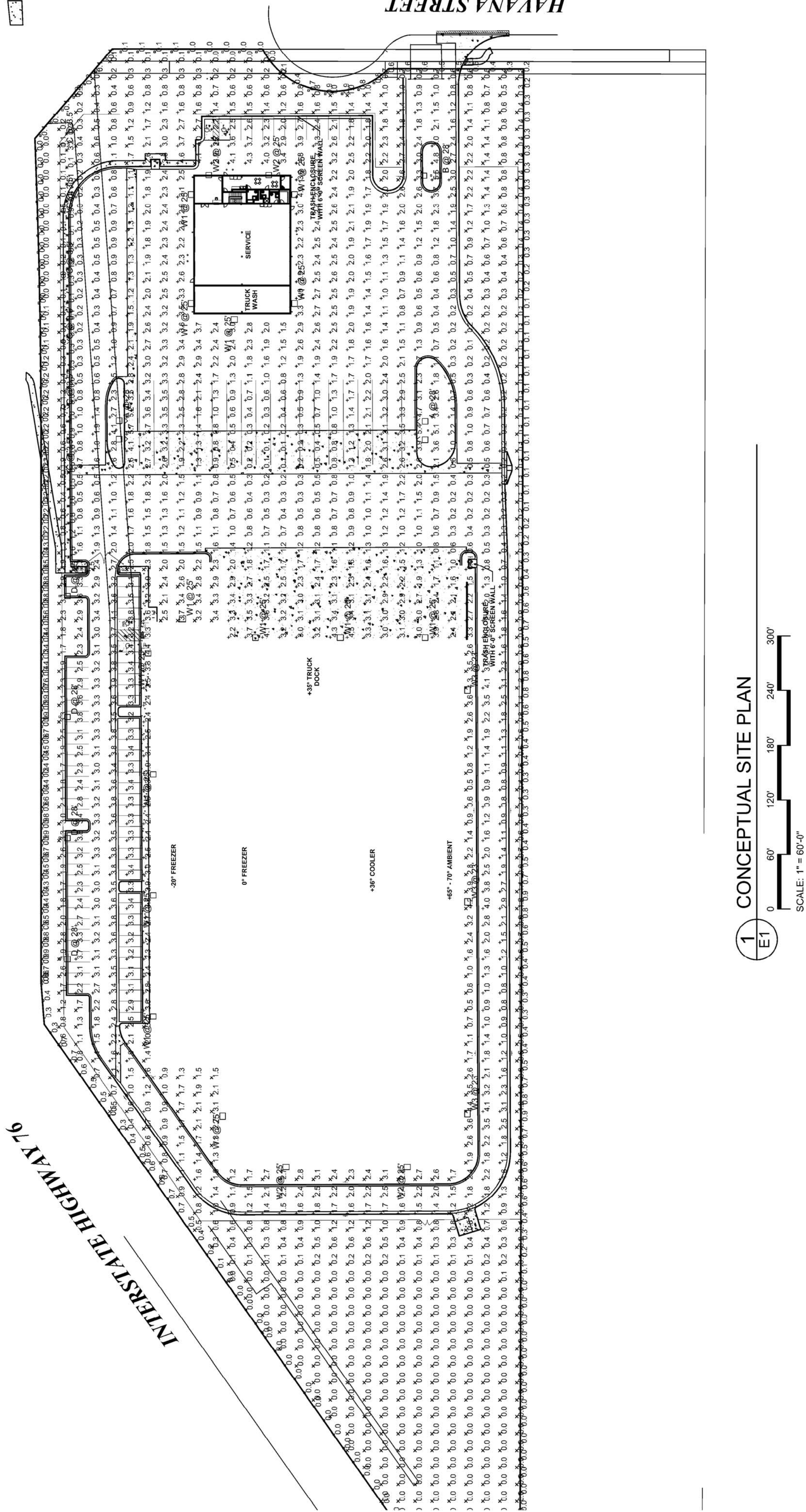
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City Signature _____

TRUCK TERMINAL DEVELOPMENT PLAN

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SMITH**
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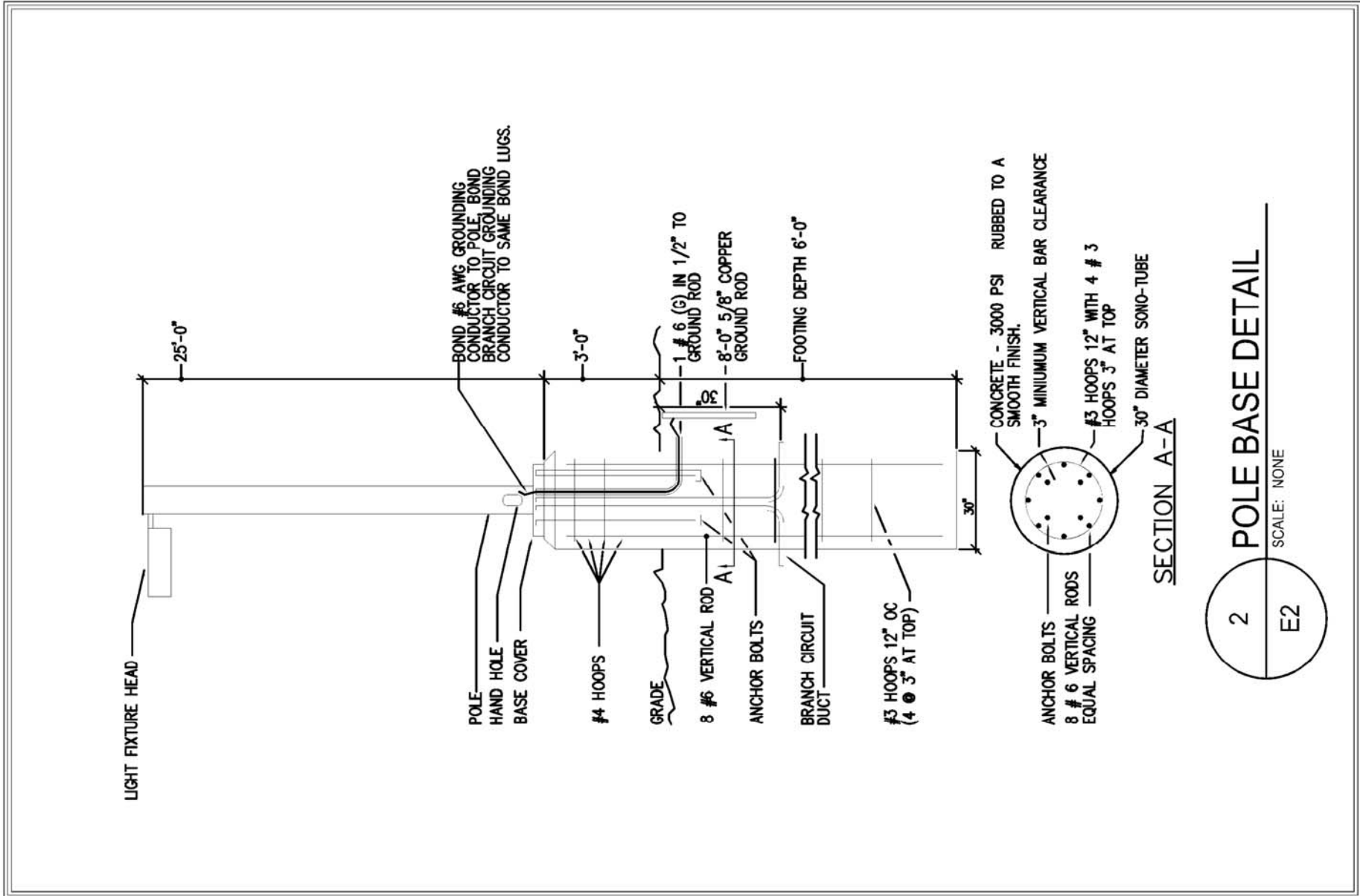
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City Signature

TRUCK TERMINAL
DEVELOPMENT PLAN

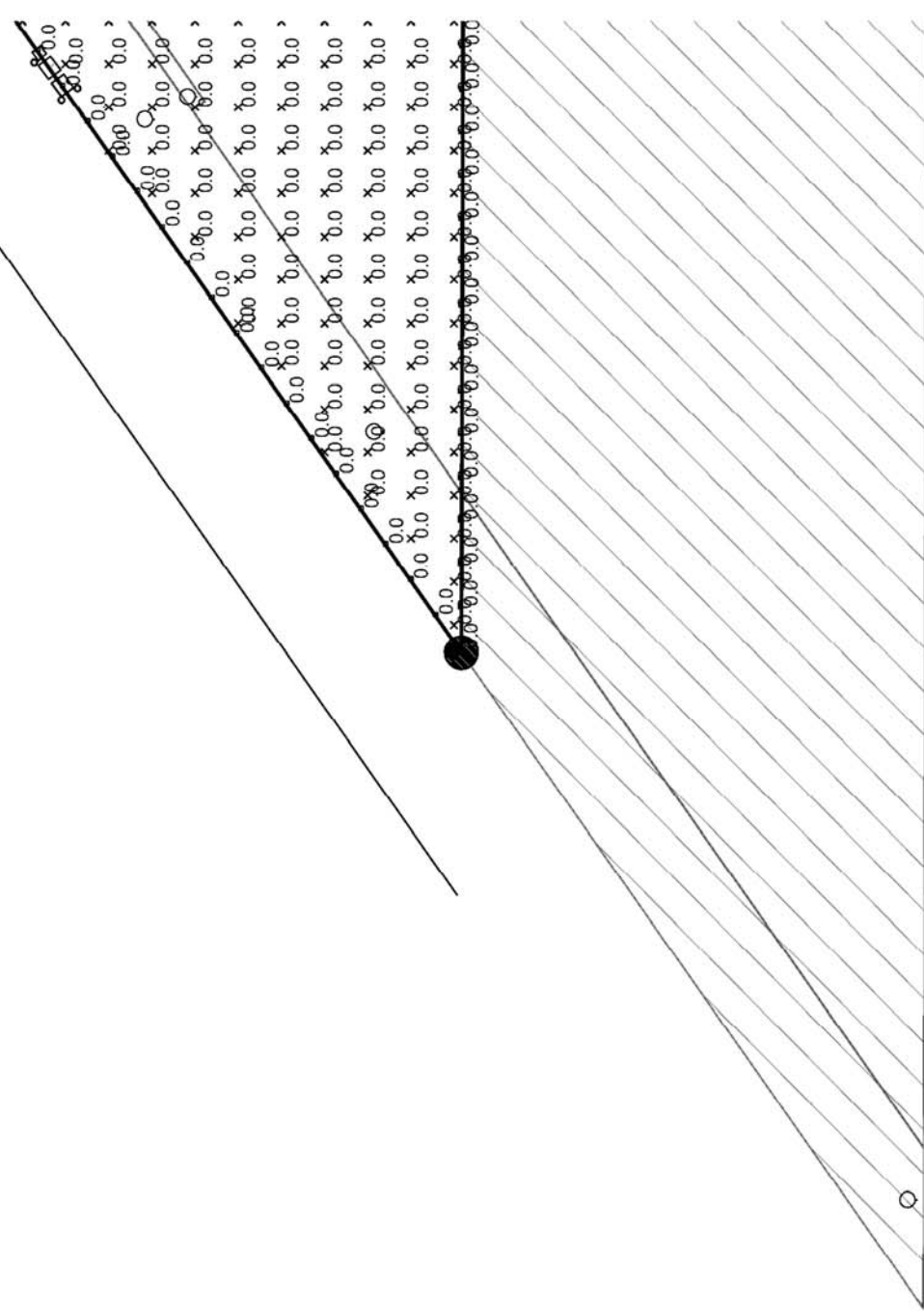
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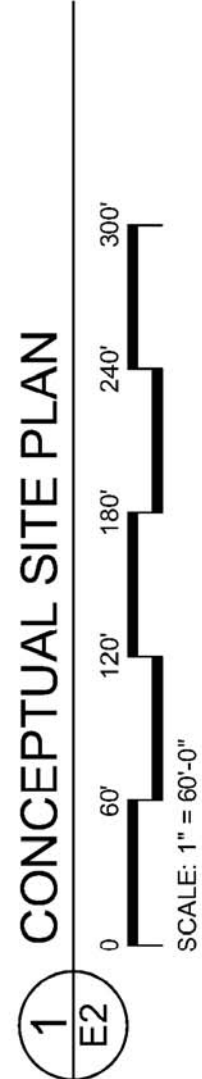
Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Wattage
	W1	14	Lithonia Lighting	KAD LED 60C 1000 40K R4 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 4 OPTICS.	LED	1	20693	216
	W2	4	Lithonia Lighting	KAD LED 60C 1000 40K R3 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 3 OPTICS.	LED	1	20669	216
	W3	3	Lithonia Lighting	KAD LED 60C 1000 40K R2 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 2 OPTICS.	LED	1	20753	216
	A	2	Lithonia Lighting	KAD LED 60C 1000 40K R4 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 4 OPTICS.	LED	1	20693	432
	B	1	Lithonia Lighting	KAD LED 60C 1000 40K R3 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 3 OPTICS.	LED	1	20669	432
	C	6	ACCULITE, JUNO LIGHTING GROUP, INC.	PL2-A25-4K-UN-3-SL	ACCULITE PARKLUME, PL2 SERIES LED BOLLARD SHAFT HEAVY GAUGE EXTRUDED ALUMINUM, CAST ALUMINUM TOP & BOTTOM TYPE III DISTRIBUTION	LED LUMINAIRE OUTPUT = 1069 LMS	1	1068	25
	D	4	Lithonia Lighting	KAD LED 60C 1000 40K R4 MVOLT HS	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 4 OPTICS WITH HOUSE SIDE SHIELDS.	LED	1	16195	216

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PAVED AREA	+	1.9 fc	5.7 fc	0.1 fc	57.0:1	19.0:1
PROPERTY LINE	□	0.3 fc	0.9 fc	0.0 fc	N/A	N/A
SIDEWALK	X	1.5 fc	8.5 fc	0.1 fc	85.0:1	15.0:1



1
E2



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1
19

CUT SHEETS

SCALE: N.T.S.

SCALE: N.T.S.

[illegible][illegible][illegible]

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