

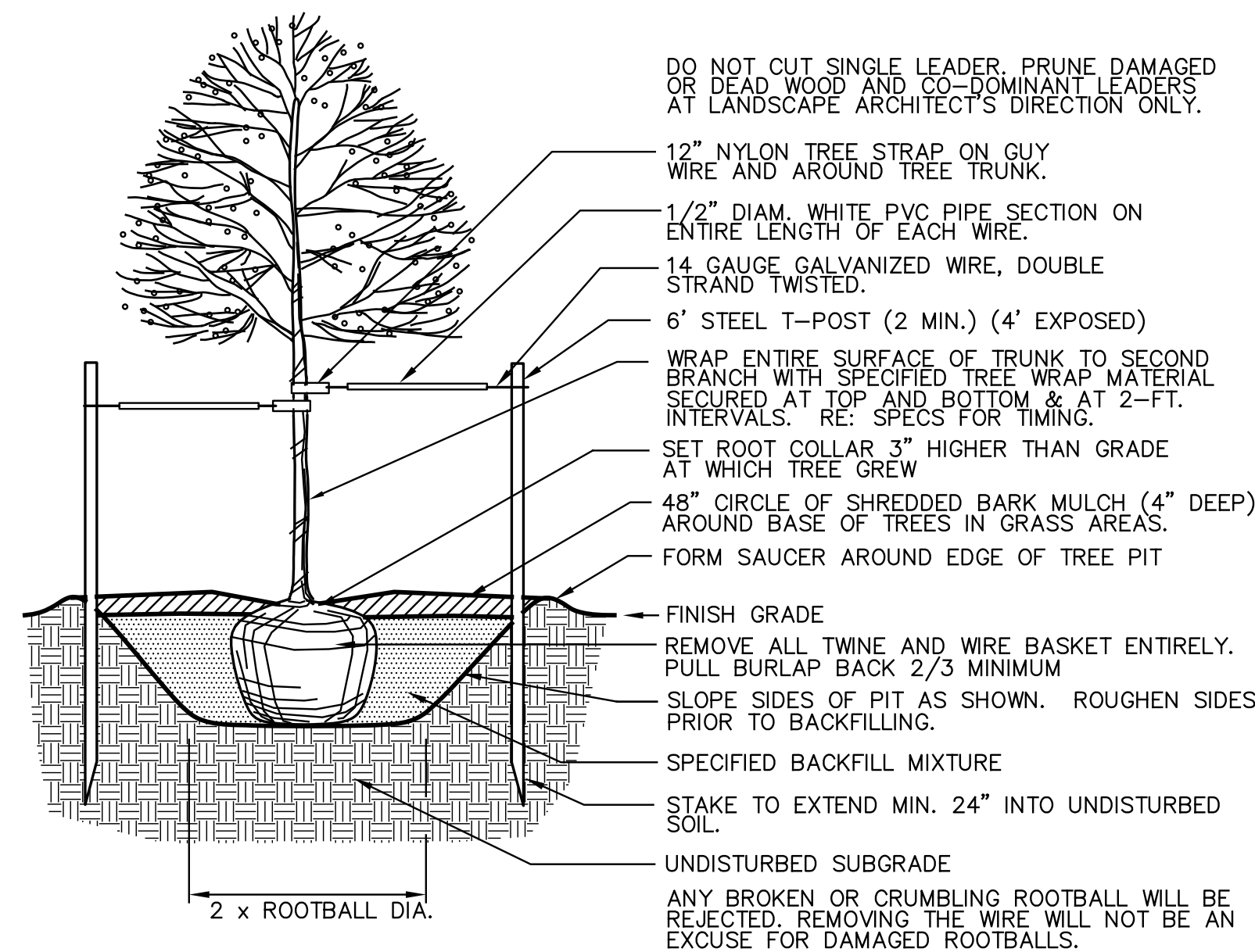
VALERO DIAMOND METRO, INC.

TOTAL PETROLEUM FINAL PUD

BLOCK 11, CRESTON, A SUBDIVISION LOCATED IN THE SOUTHEAST 1/4 OF SECTION 8,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

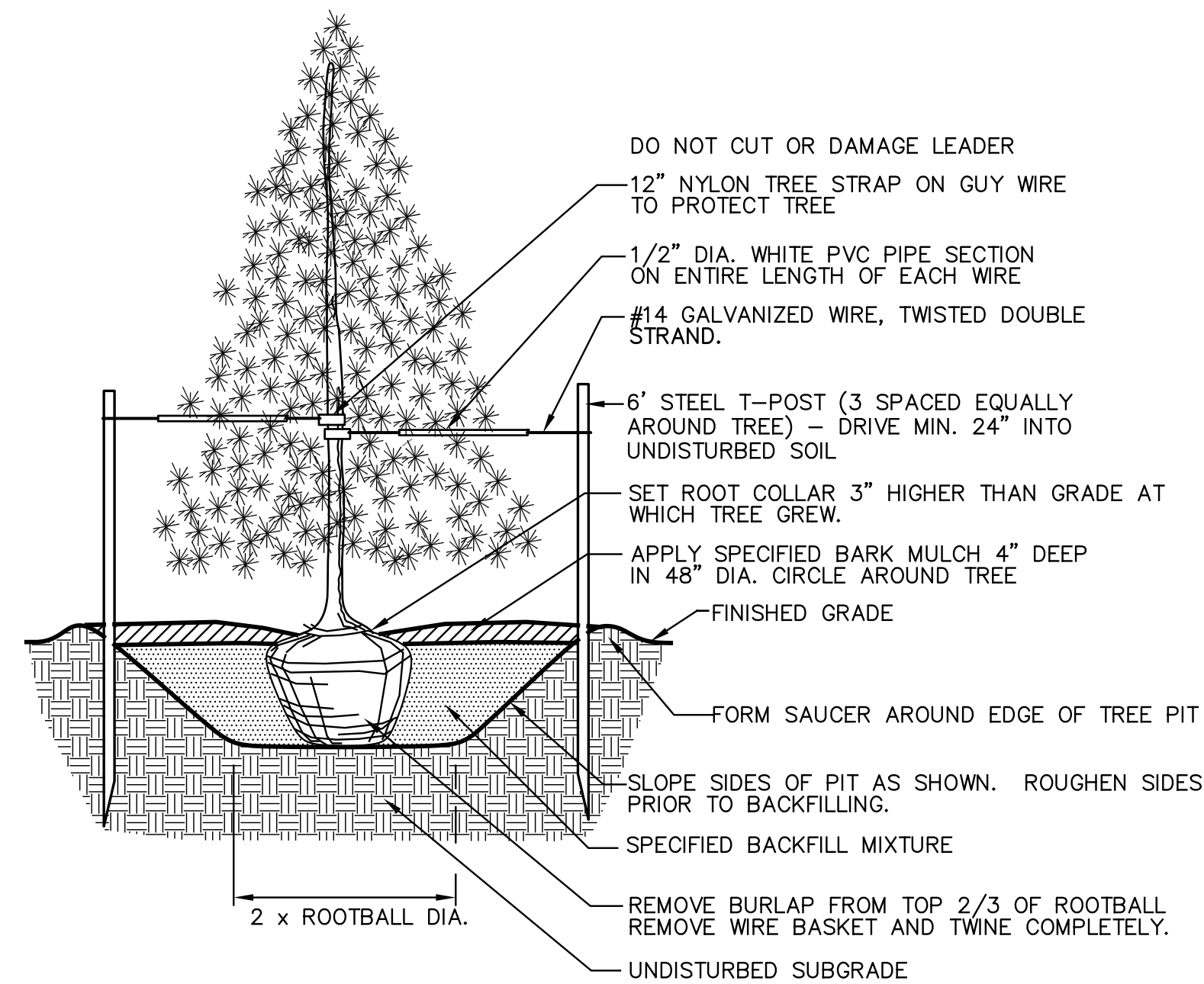
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT PERMIT



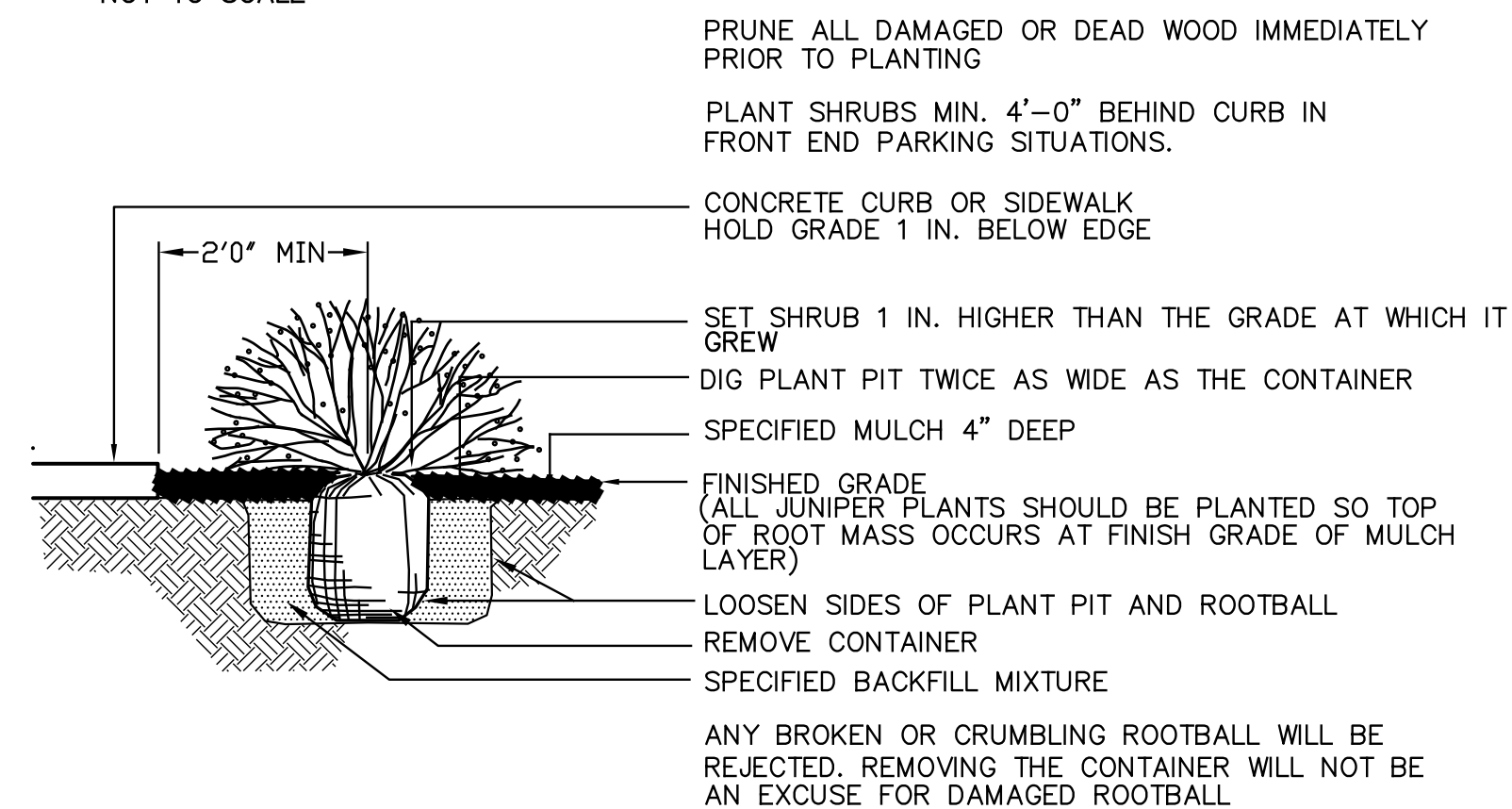
Deciduous Tree Planting Detail

NOT TO SCALE



Evergreen Tree Planting Detail

NOT TO SCALE

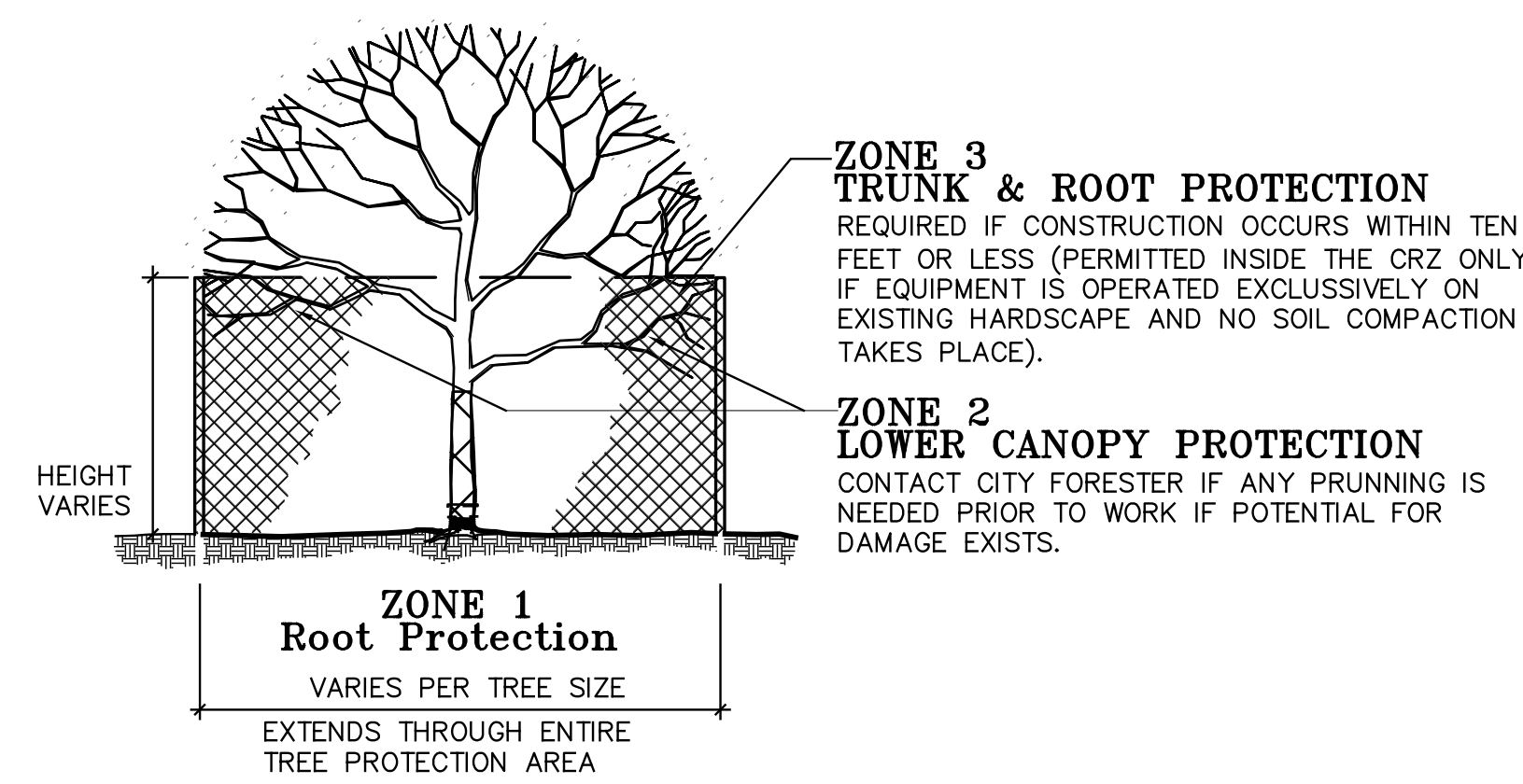


Shrub Planting Detail

NOT TO SCALE

TREE PROTECTION AREA

THE AREA INSIDE A PERIMETER ESTABLISHED AT THE CRITICAL ROOT ZONE (CRZ). THE CRZ IS EQUAL TO THE DRIPLINE, FURTHEST EXTENT OF TREE CANOPY, OR IS EQUAL TO ONE FOOT RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT BREST HEIGHT (DBH= 4.5 FT. ABOVE SOIL LINE), OR WHICHEVER IS GREATER.



NOTES:

- FENCING HEIGHT MUST BE A MINIMUM OF 48".
- ATTACH "TREE PROTECTION AREA" SIGNS TO FENCING AT EVERY 50'.
- THE TREE PROTECTION AREA SHALL NOT BE MODIFIED OR REMOVED PRIOR TO CONSENT OF THE CITY FORESTER.
- MATERIALS, DEBRIS, EQUIPMENT, AND SITE AMMENITIES SHALL NOT BE STORED WITHIN THE TREE PROTECTION AREA.
- ENTRANCE TO THE TREE PROTECTION AREA IS NOT PERMITTED WITHOUT CONSENT OF THE CITY FORESTER.

Tree Protection Detail

NOT TO SCALE

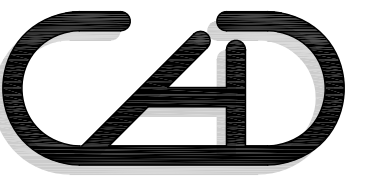
LANDSCAPE NOTES

- ALL LANDSCAPE WILL CONFORM TO THE COMMERCE CITY'S LANDSCAPE STANDARDS.
- ALL DECIDUOUS TREES WITHIN EAST 56TH AVENUE AND QUEBEC STREET R.O.W. TO REMAIN UNDISTURBED, UNLESS OTHERWISE NOTED. ALL EXISTING SOD, ROCK MULCH AND IRRIGATION WITHIN THE SAME BOUNDARIES TO BE PROTECTED DURING CONSTRUCTION. ALL TREES WITHIN THE SITE THAT ARE TO REMAIN UNDISTURBED, SHALL BE PROTECTED ACCORDING TO THE TREE PROTECTION DETAIL.
- REFER TO THE CIVIL AND ARCHITECTURAL PLANS FOR GRADING, DRAINAGE AND HARDSCAPE ELEMENTS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE AND EQUIPMENT ACCESS.
- DO NOT DISTURB ANY EXISTING LANDSCAPE, UTILITIES, OR ARCHITECTURAL ELEMENTS ADJACENT TO THE SITE.
- PLANT MATERIAL SHALL NOT BE LOCATED IN UTILITY EASEMENTS AND MUST REMAIN A MINIMUM OF 10 FT. FROM THE OUTSIDE EDGE OF ANY UTILITY PIPE (WATER,SEWER, IRRIGATION, AND STORM SEWER). NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL SHRUBS WILL BE PLANTED A MINIMUM OF TWO FEET (2 FT.) FROM THE EDGE OF CURB.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES, ADJACENT LANDSCAPE, PUBLIC/PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATIONS.
- ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION AT A RATE OF 3.0 CY. YDS/1,000 SF. UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS. ROTOTILL TO A MINIMUM DEPTH OF 6" PRIOR TO FINE GRADING.
- ALL PLANTING BEDS ARE TO BE CONTAINED BY INTERLOCKING 4" X 14GAUGE GALVANIZED STEEL EDGER. EDGER IS NOT REQUIRED WHEN BED IS ADJACENT TO CURBS, WALLS, WALKS, OR CONCRETE PANS.
- ALL SHRUB BEDS SHOWN AS WOOD MULCH, ARE TO BE MULCHED WITH A MINIMUM OF 4" DEPTH OF WESTERN RED CEDAR OVER GEOTEXTILE FABRIC. AREAS SHOWN AS ROCK MULCH SHOULD RECEIVE A 4" DEPTH OF ROCK MATCHING WHAT IS EXISTING ON THE SITE AND PLACED OVER GEOTEXTILE FABRIC. NO WEED BARRIER IS REQUIRED UNDER GROUNDCOVER OR PERENNIAL BEDS.
- BOULDER SHOWN WITHIN PLANTING BEDS SHALL BE CHEROKEE BOULDERS, UNIFORMLY SNAPPED AND BURIED APPROXIMATELY 1/4 OF THEIR ORIGINAL SIZE. BOULDERS AS AVAILABLE AT "THE ROCK GARDEN", IN THE CITY OF FORT COLLINS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT COUNTS. PLANT COUNT SHOWN ON THE PLAN SUPERCEDE THE QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- ALL NEW SODDED TURF AND LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. NEW ZONES SHALL BE CONNECTED TO EXISTING SYSTEM. CONFIRM THAT PROPER WATERING IS RECEIVED BY ALL PLANTS.
- ALL PROPOSED LANDSCAPE TO SHALL RECEIVE A ONE(1) YEAR WARRANTY PERIOD. ANY PLANT THAT DIES WITHINA THE ONE-YEAR PERIOD SHALL BE REPLACED WITH PLANTS OF THE SAME TYPE AND SIZE AS ORIGINALLY INSTALLED.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING AND IRRIGATION MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN. ALL LANDSCAPE SHALL BE INSTALLED AS SHOWN ON THE PLAN, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

GENERAL NOTES

- DEVELOPER WILL INSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT OR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOWING OF LAWNS, WEEDING, REMOVAL OF LITTER, AND THE REGULAR WATERING OF ALL PLANTINGS. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF THE PLANT(S).
- PARKING LOTS AND TRASH ENCLOSURES WILL BE SCREENED FROM ADJACENT PUBLIC STREETS.
- IT IS ANTICIPATED THAT ALL PARKING LOT LIGHTING WILL TAKE PLACE WITHIN THE PARKING LOT FIELD. ANY PLANTING THAT CONFLICT WITH A LIGHT POLE LOCATION WILL BE RELOCATED TO A MORE APPROPRIATE SITE.
- A LICENSED TREE CONTRACTOR MUST BE USED FOR THE REMOVAL OF ANY OF THE TREES.
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES AND THE CITY AND COUNTY OF DENVER 48 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.

PREPARED BY:



CORPORATE ARCHITECTURE & DEVELOPMENT
solutions

3436 New Castle Dr.
Loveland, CO 80538
phone: 970.988.6302



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Weylan A. "Woody" Bryant, PE, CCE
Founding Principal



JIMENEZ DESIGN GROUP, LLC.
314 Rose Finch Circle
Highlands Ranch, Co. 80129
Phone: 303.726.9209 Fax: 720.344.0984

Site Planning Landscape Architecture Urban Design

JULIO JIMENEZ
Principal, P.L.A.#170

VALERO DIAMOND METRO, INC.
dba: VALERO CORNER STORE #4074
5601 QUEBEC STREET
COMMERCE CITY, COLORADO

PREPARED FOR:



Valero Retail Holdings, Inc.

One Valero Way
San Antonio, TX 78249-1616

NO.	DATE	REVISION DESCRIPTION

SCALE: 1" = 30'	DATE: 06/11/12	DESIGNED BY: JDG	DRAWN BY: JDG	CHECKED BY: JDG	DATE: 06/11/12	FILE NAME: VALERO Comm

LANDSCAPING DETAILS AND NOTES

SHEET NO:

7 of 11



IF YOU DIG COLORADO - CALL US FIRST!
UTILITIES NOTIFICATION CENTER
1-800-922-1987
CALL 2 BUSINESS DAYS PRIOR TO
EXCAVATION FOR UTILITY LOCATIONS

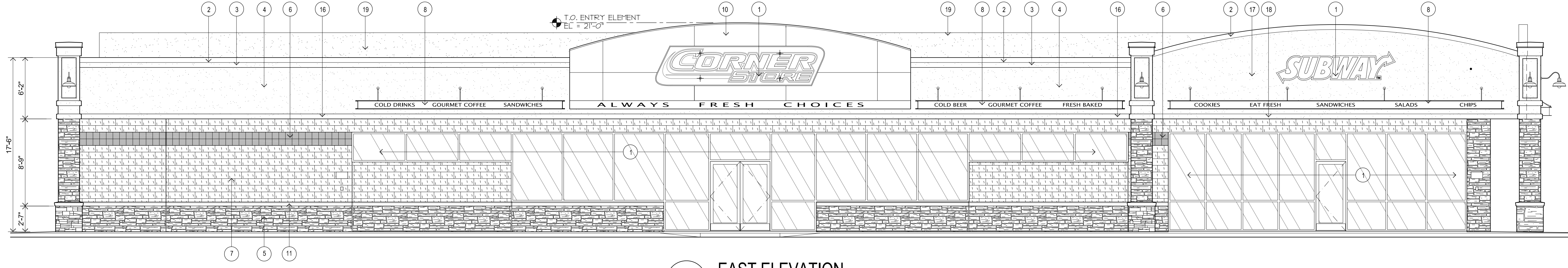
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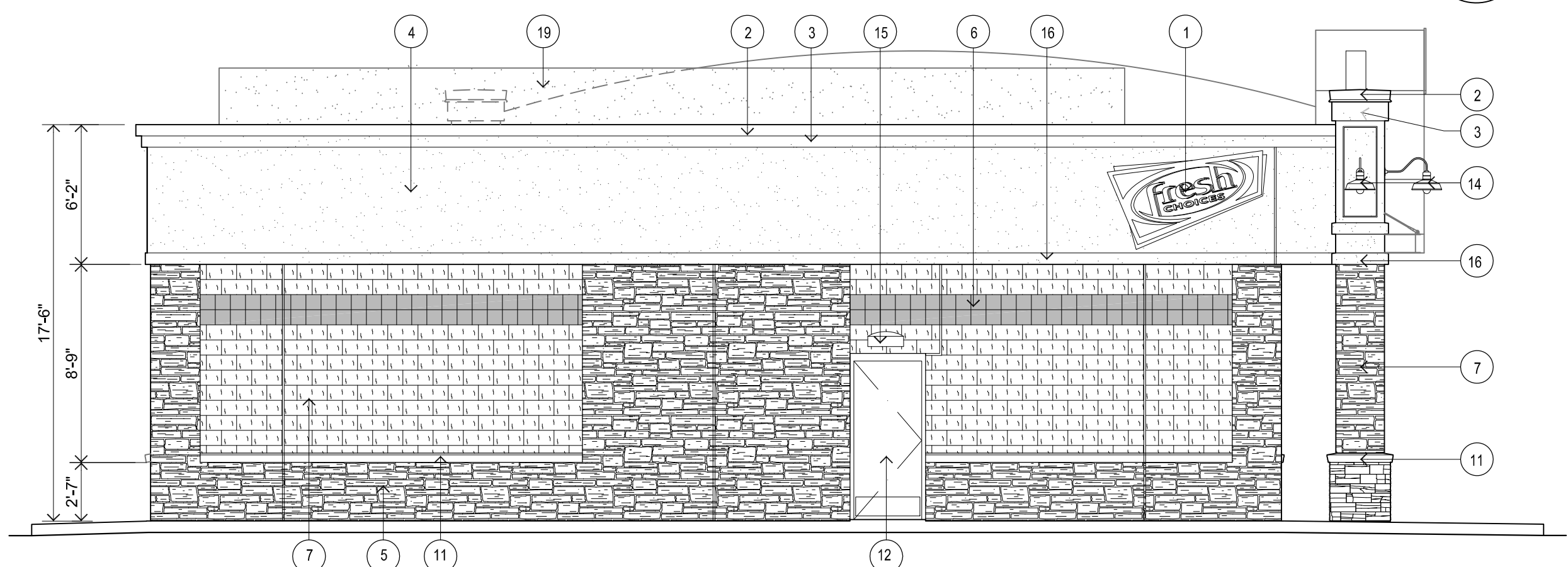
 CORPORATE ARCHITECTURE & DEVELOPMENT
 SOLUTIONS
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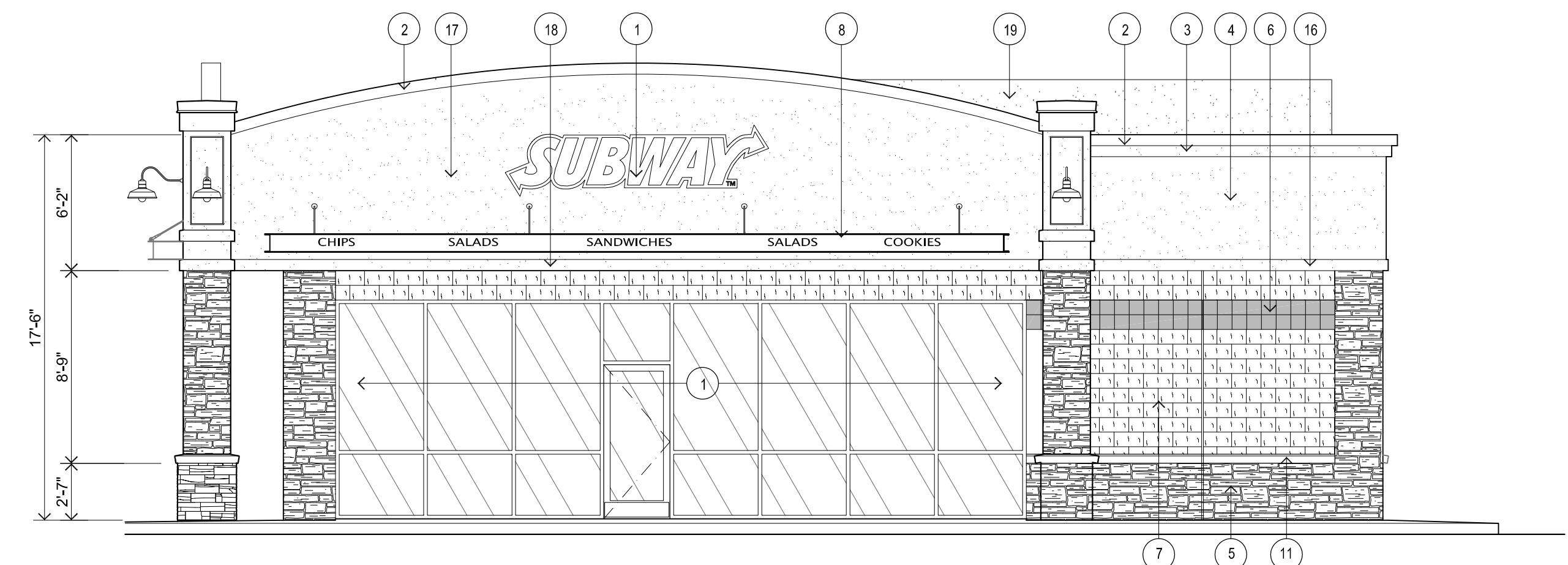
Weylan A. "Woody" Bryant, PE, CCE
 Founding Principal



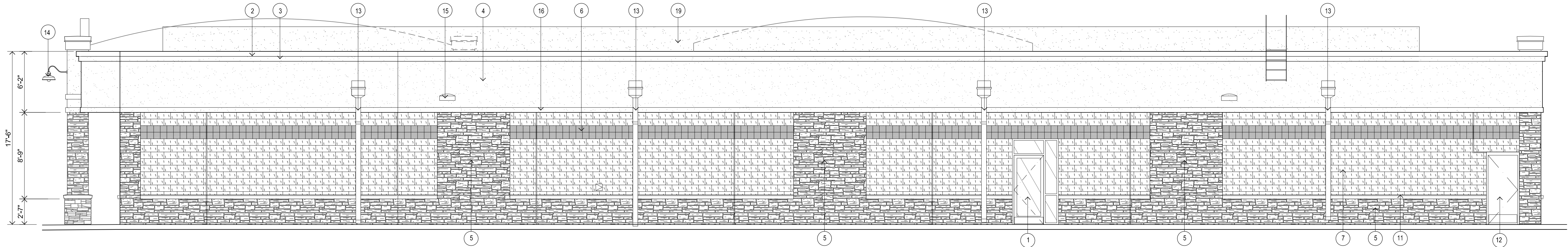
1 EAST ELEVATION
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2 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

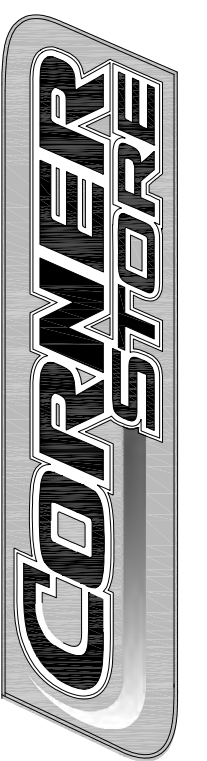


4 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

KEY NOTES

- | | | |
|--|--|-----------------------------------|
| 1 ILLUMINATED SIGN | 9 CLEAR ANODIZED ALUM. STOREFRONT SYSTEM | 17 EIFS FASCIA "CASA BLANCA" |
| 2 PRE-FINISHED CLEAR ANODIZED ALUM. CAP FLASHING | 10 PRE-FINISHED ACM "SUNLOW YELLOW" | 18 EIFS ACCENT TRIM "HUMBLE GOLD" |
| 3 EIFS CORNICE "CASA BLANCA" | 11 STONE WATER TABLE TRIM "TAUPE" | 19 ROOF-TOP EQUIPMENT SCREEN |
| 4 EIFS FASCIA "HUMBLE GOLD" | 12 HOLLOW METAL DOOR - PAINT TO MATCH CMU | |
| 5 STONE VENEER | 13 COLLECTOR BOX AND DOWNSPOUT - PREFINISHED "HUMBLE GOLD" | |
| 6 GLAZED BLOCK "SUNLOW YELLOW" | 14 DECORATIVE LIGHT FIXTURE | |
| 7 INTEGRAL COLOR CMU "GENERAL SHALE" | 15 WALL MOUNTED LIGHT FIXTURE | |
| 8 ALUMINUM AWNING | 16 EIFS ACCENT TRIM "CASA BLANCA" | |

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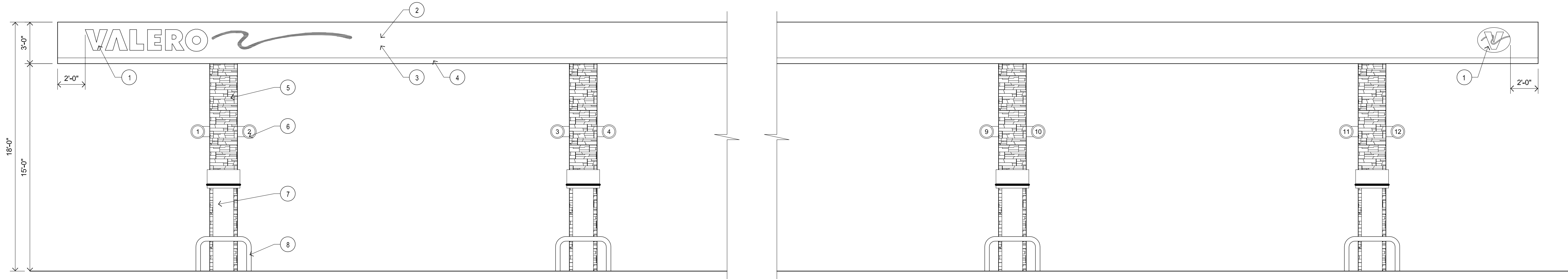
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DRAWN BY:	CS	PROJECT NO.
CHECKED BY:		0157

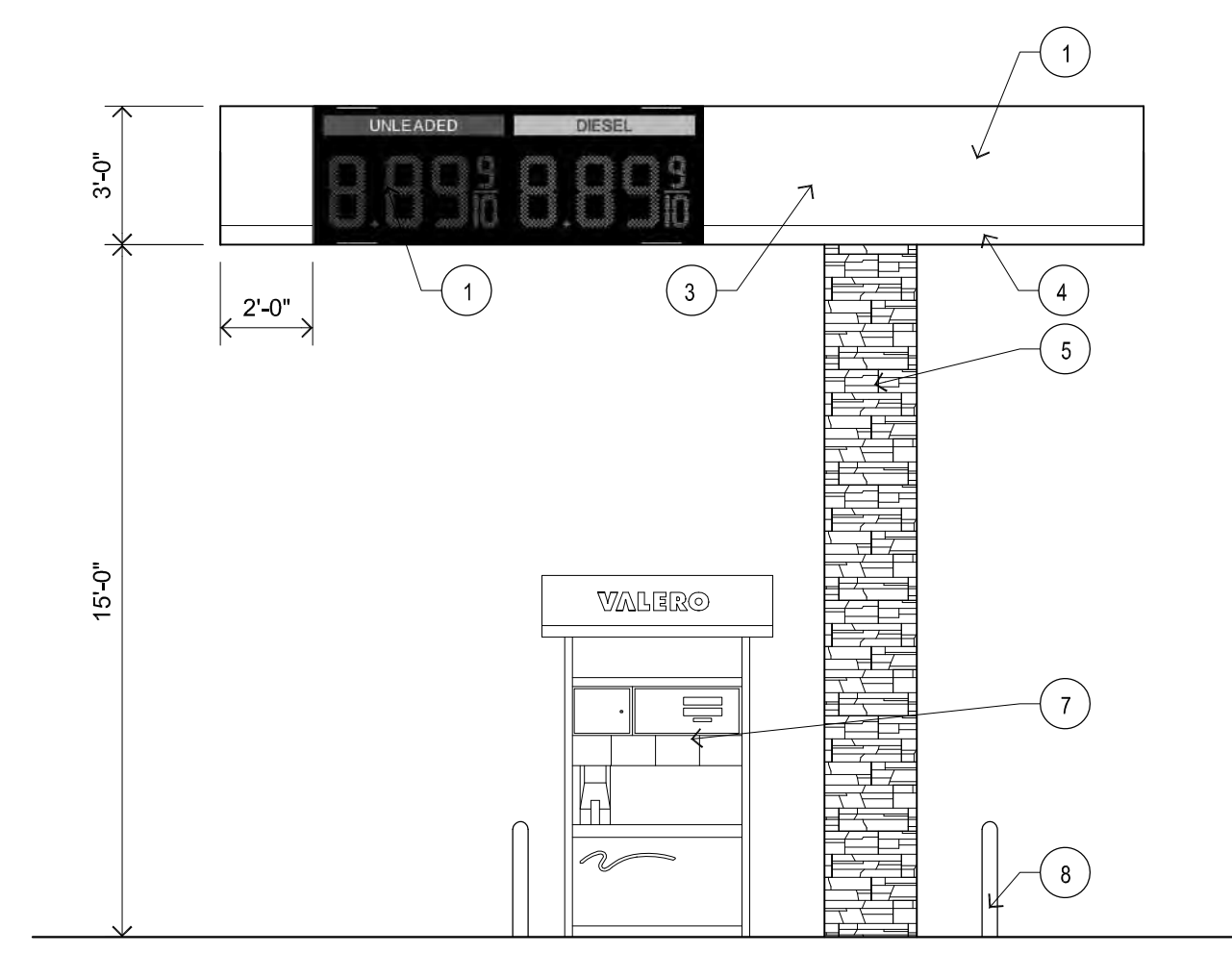
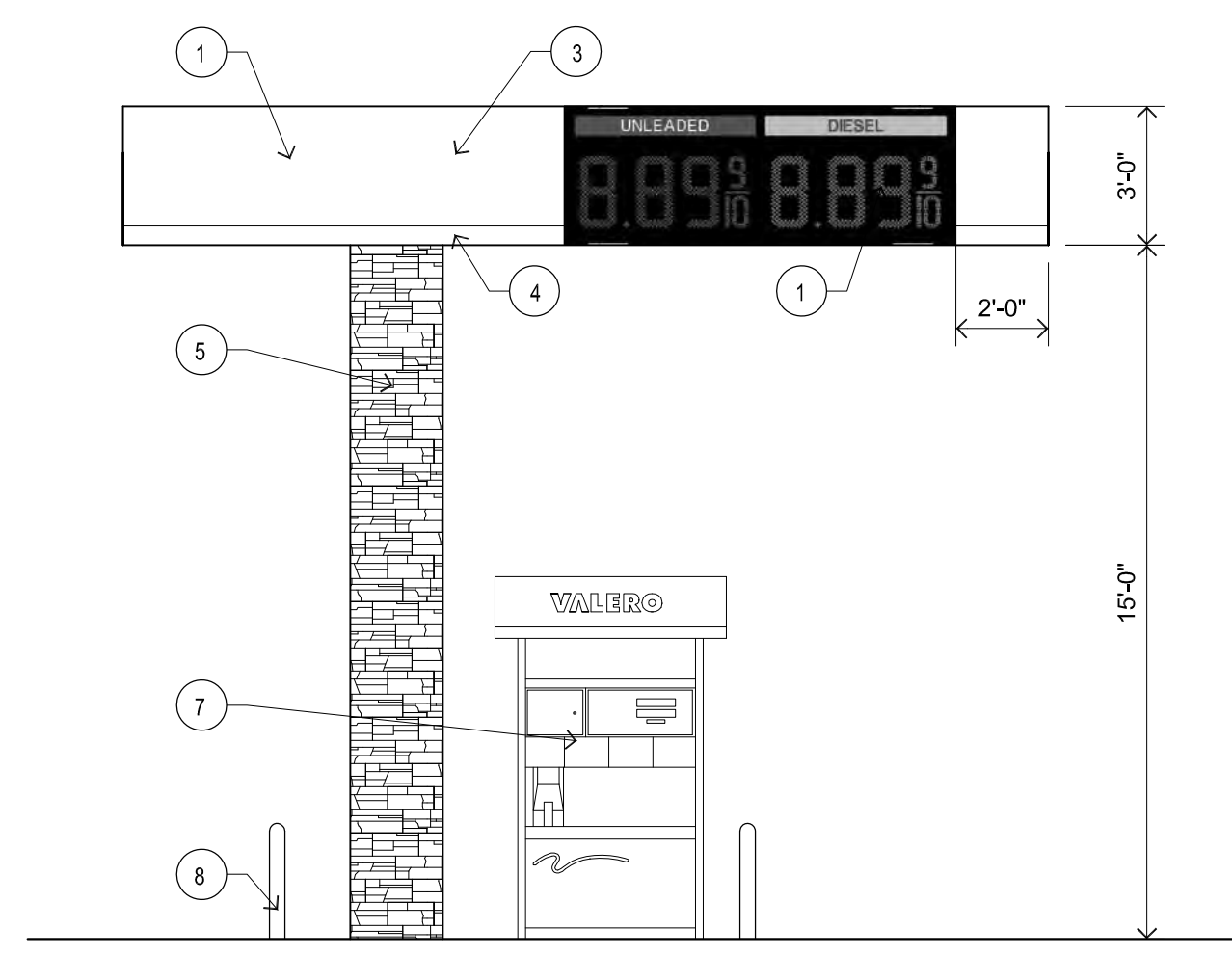
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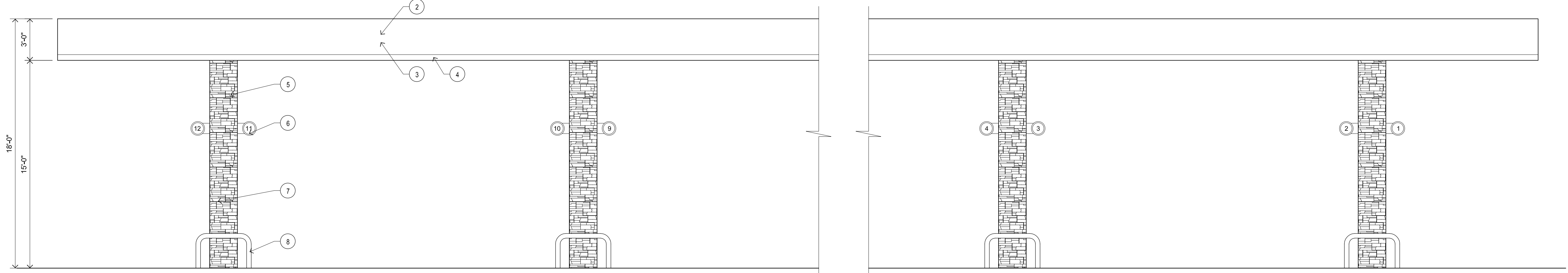


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2 WEST ELEVATION
 SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

- KEY NOTES**
- 1 ILLUMINATED SIGN
 - 2 PRE-FINISHED ACM FASCIA
 - 3 "TEAL"
 - 4 "VALERO GOLD" ACCENT STRIPE
 - 5 STONE VENEER
 - 6 PUMP IDENTIFICATION SIGN
 - 7 PRODUCT DISPENSER
 - 8 INVERTED "U" PIPE GUARD - PAINT "VALERO TEAL"

PREPARED BY:



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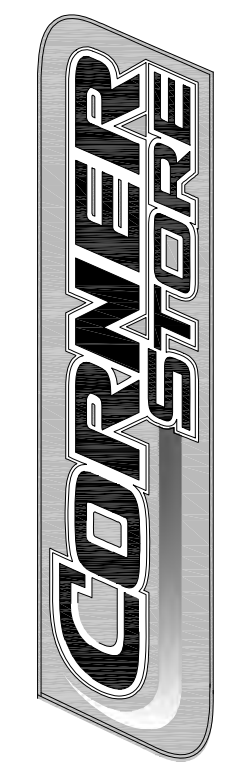
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CHECKED BY:		0157

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EXTERIOR ELEVATIONS

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