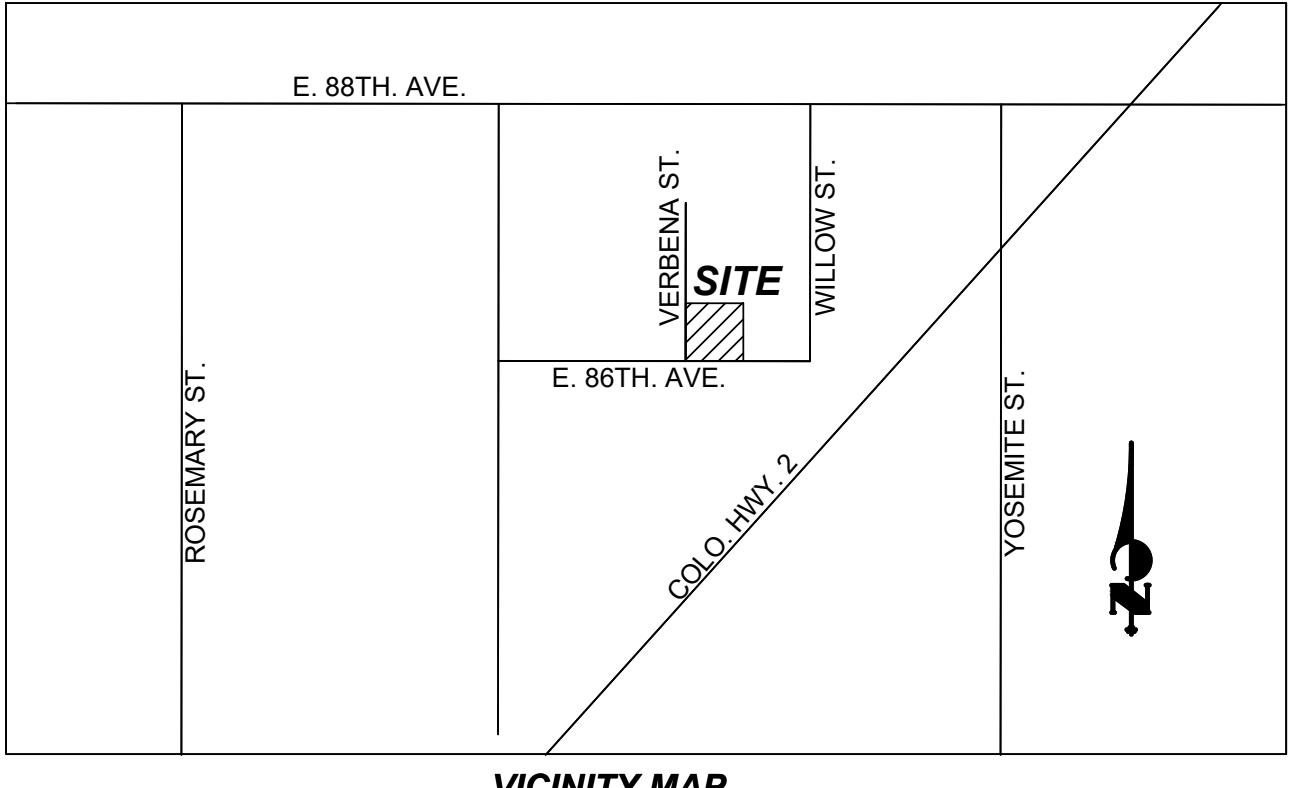
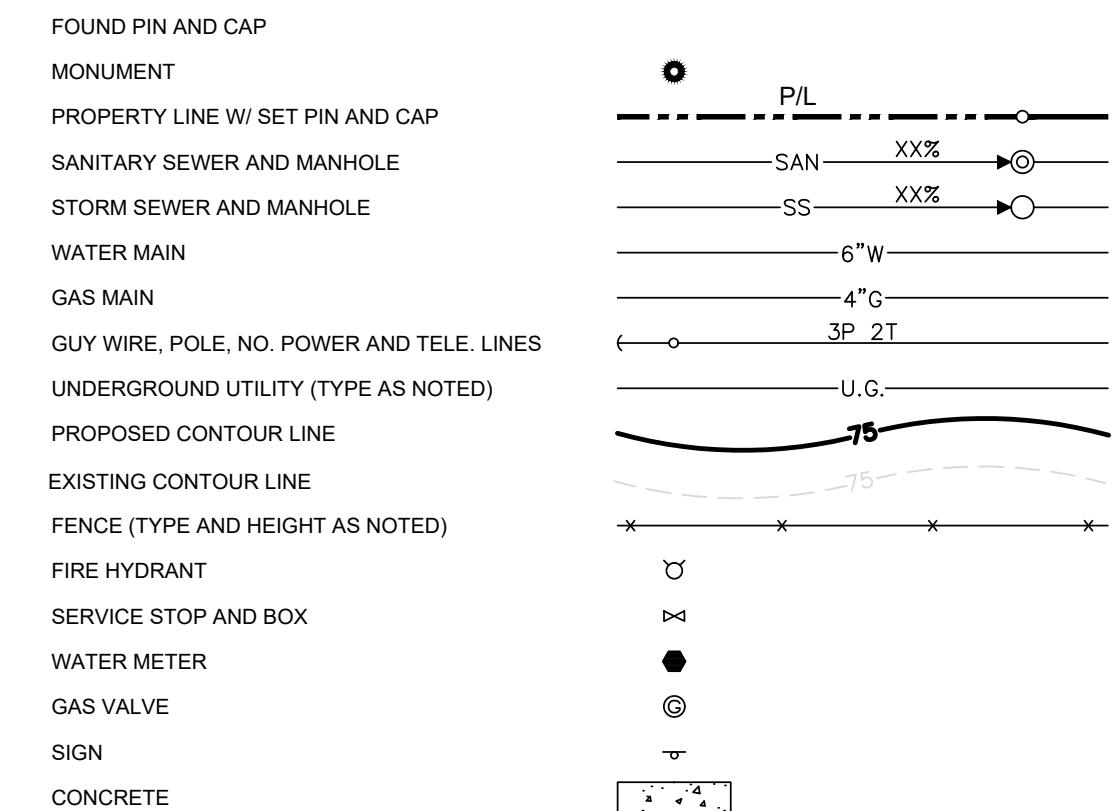


8600 VERBENA STREET - JBS PIPELINE PHASE 2

A PORTION OF BLOCK 28, IRONDAL
LOCATED IN THE NE1/4, SECTION 28 T2S, R67W 6TH PM
CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO
DEVELOPMENT PLAN

GENERAL NOTES:

1. **LIGHTING NOTE:**
IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
2. **TRASH ENCLOSURE NOTE:**
TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
3. **SCREENING NOTE:**
ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
4. **SIGNAGE NOTE:**
APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS AND SIGNING REQUIREMENTS ARE DESCRIBED FOR POSSIBLE CONFLICTS WITH SIGHT DISTANCE TRIANGLES AND EASEMENTS; HOWEVER, NO SIGNS WILL BE APPROVED BY THIS DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY OF COMMERCE CITY'S SIGN CODE.
5. **FENCING NOTE:**
APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY OF COMMERCE CITY'S FENCING REQUIREMENTS.
6. **DOWNSPOUT NOTE:**
NO ROOF DOWNSPOUT CUTAWAYS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
7. **AMERICAN WITH DISABILITIES NOTE:**
THE DEVELOPMENT PLAN HAS AN OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THE DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
8. **CONSTRUCTION NOTE:**
THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
9. **UNDERGROUND UTILITY NOTE:**
ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.

LEGEND**VICINITY MAP**

SCALE: 1" = 1,000'

OWNER:

JAMES AND CATHY PARENT
8600 VERBENA STREET
COMMERCIAL CITY, CO 80022
303-289-4335

SITE DATA

CURRENT LOT SIZE 71,674 SF. (1.65 AC)
LOT SIZE (FOLLOWING PLAT RECORDING) 11,238.5 SF. (2.58 AC)
BUILDING AREA 8,424 SF.
PAVED PARKING LOT AREA 5,927 SF.
Pervious Surface/ Storage Yard 83,635 SF.
LANDSCAPE AREA 14,399 SF.
DETENTION POND 9,805 SF.
FLOOR AREA RATIO 7.5%
PARKING STALLS REQUIRED (1 PER 300 OF OFFICE BLDG) 7 SPACES
PARKING STALLS PROVIDED 7 SPACES
EX. BUILDING CONSTRUCTION TYPE (PER APPR. SITE PLAN) V-B
CURRENT ZONE PORTION I-1, PORTION AG
REQUESTED ZONE ALL I-2
ESTIMATED NUMBER OF EMPLOYEES 10 EMPLOYEES
PROPOSED BUILDING TYPE V-B

BASIS OF BEARINGS

BEARINGS ARE BASED ON A LINE BETWEEN THE NORTH ONE-QUARTER CORNER OF SECTION 28 AND THE NORTHEAST CORNER OF SECTION 28 (ALL BEING TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN) MONUMENTED AS SHOWN ON SHEET 2 OF 2. SAID LINE IS ASSUMED TO BEAR N 89° 38' 49" E.

PROPERTY DESCRIPTION

LOT 1, BLOCK 1 8600 VERBENA SUBDIVISION (RECEPTION NO. 2014000014178), TOGETHER WITH LOT 15 THROUGH LOT 24, (INCLUSIVE) BLOCK 29 IRONDAL SUBDIVISION (FILE 8, 165), TOGETHER WITH THE WEST 7.5 FEET OF THE 15 FOOT WIDE NORTH/SOUTH ALLEY EAST OF AND ADJACENT TO SAID LOT 15 THROUGH LOT 24 (INCLUSIVE), TOGETHER WITH NORTH/SOUTH WABASH STREET WEST OF AND ADJACENT TO SAID LOT 15 THROUGH LOT 24 (INCLUSIVE).

CONTAINING 112,403.00 SQUARE FEET OR 2.58 ACRES MORE OR LESS.

BENCHMARK DATA

PROJECT BENCHMARK: 3 1/4" ALUM. CAP IN RANGE BOX, STAMPED: LS 17488, AT THE INTERSECTION OF EAST 88TH AVENUE AND DAHLIA STREET. ELEVATION: 5,078.2' (NAVD 88 DATUM).

SITE BENCHMARK: FINISHED FLOOR, SOUTH ENTRY DOOR TO THE MAIN OFFICE AT 8600 VERBENA STREET. ELEVATION: 5,132.34'



SHEET INDEX	
Sheet Number	Sheet Title
P1.0	COVER SHEET
P1.1	SITE PLAN
P1.2	GRADING PLAN
04	LANDSCAPE PLAN
05	LANDSCAPE DETAILS AND NOTES
6	PHOTOMETRIC SITE PLAN
7	LIGHTING CUT SHEETS
A0	FENCE ELEVATION
A4	EAST ELEVATIONS
A5	WEST ELEVATIONS
A6	SOUTH ELEVATIONS
A7	NORTH ELEVATIONS

JBS PIPELINE - PHASE 2

8600 VERBENA ST. COMMERCIAL CITY, CO

COVER SHEET

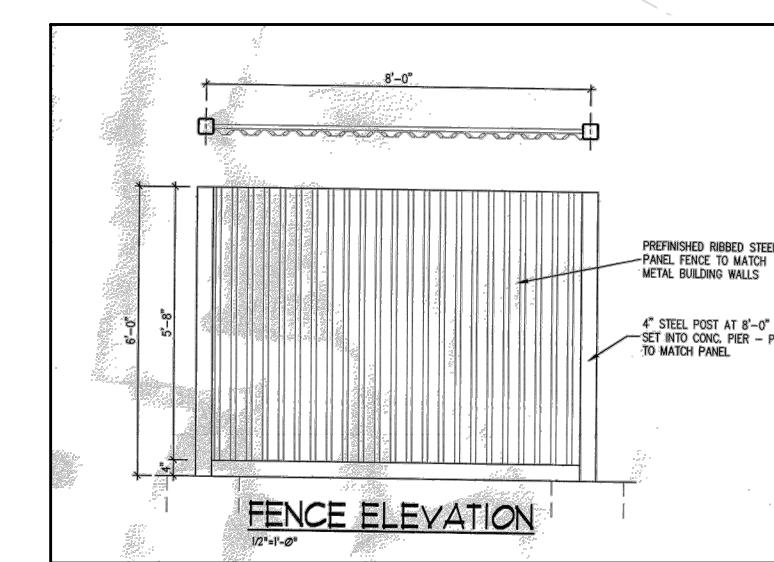
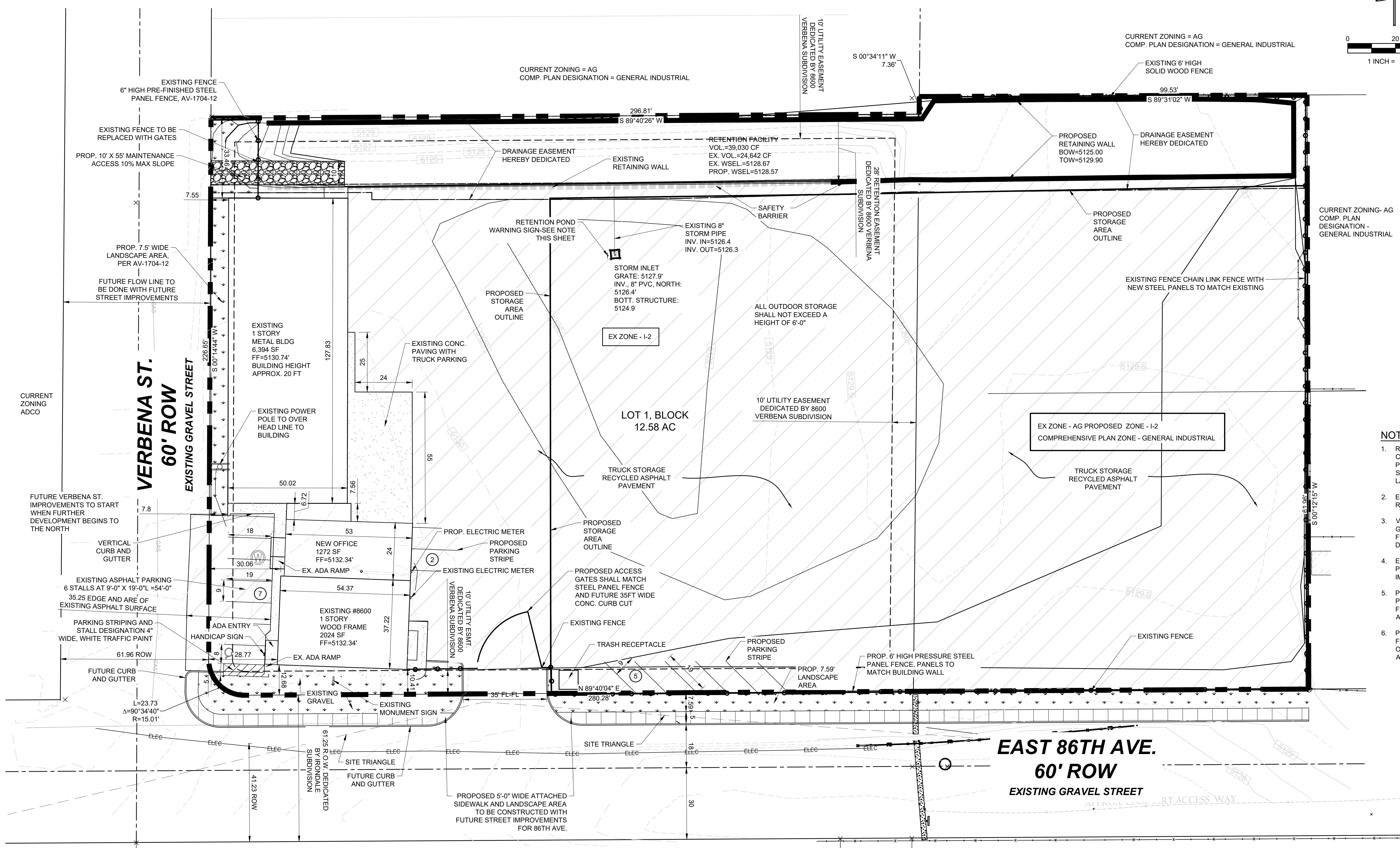
PROJECT NO.:
DESIGNED BY: DLA
DRAWN BY: LCG
DATE: 07/19/18
P1.0
SHEET 1 OF 12

CITY COUNCIL CERTIFICATE: APPROVED BY THE DEPARTMENT OF COMMUNITY, THIS _____ DAY OF _____, 20_____. CITY SIGNATURE _____
--

CITY STAFF CERTIFICATE: APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCIAL CITY THIS _____ DAY OF _____ A.D. _____
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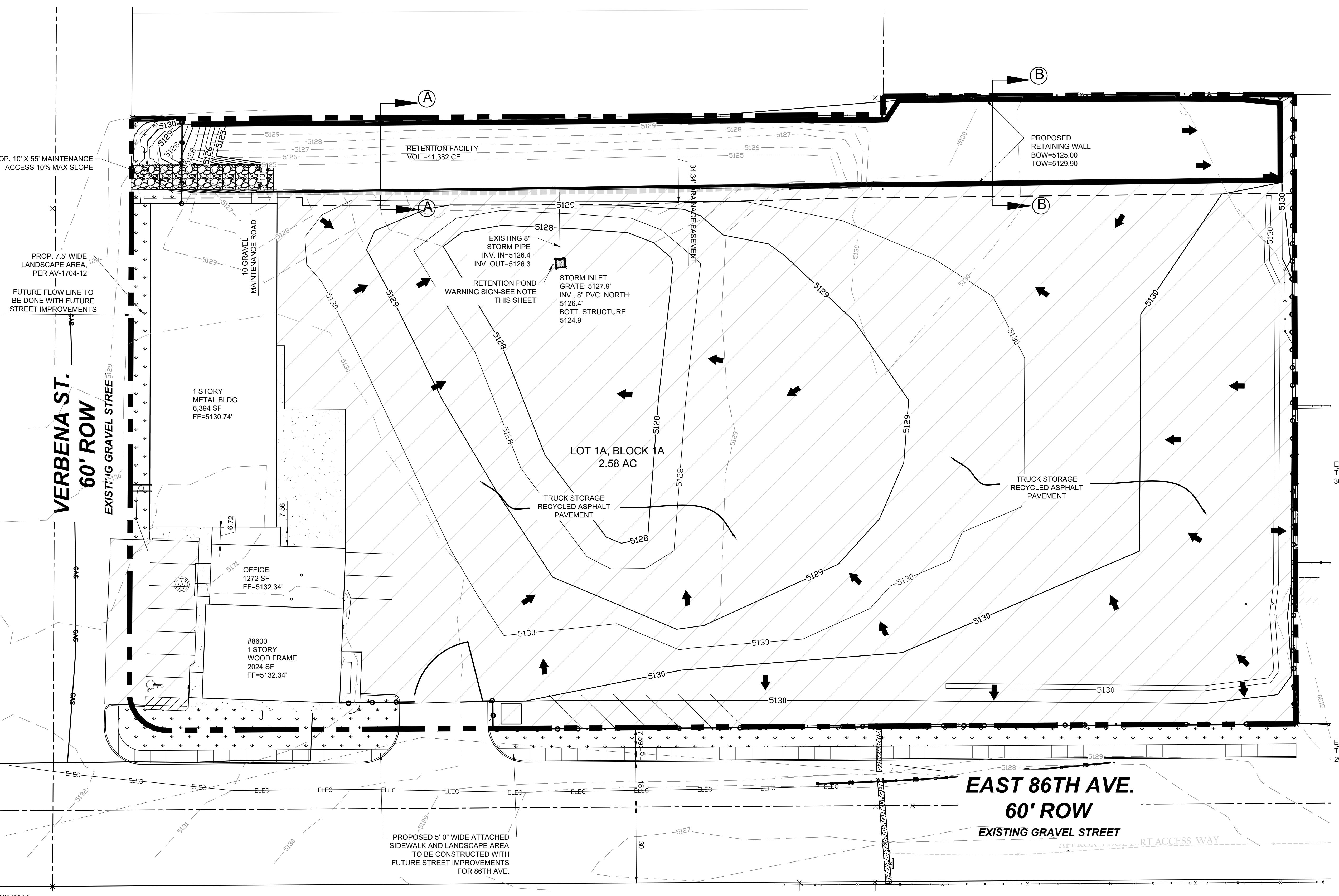
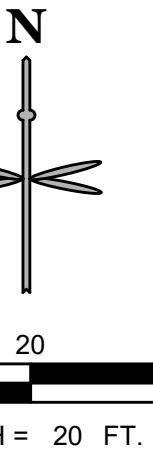
8600 VERBENA STREET - JBS PIPELINE PHASE 2

A PORTION OF BLOCK 28, IRONDALE
LOCATED IN THE NE1/4, SECTION 28 T2S, R67W 6TH PM
CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO
SITE PLAN

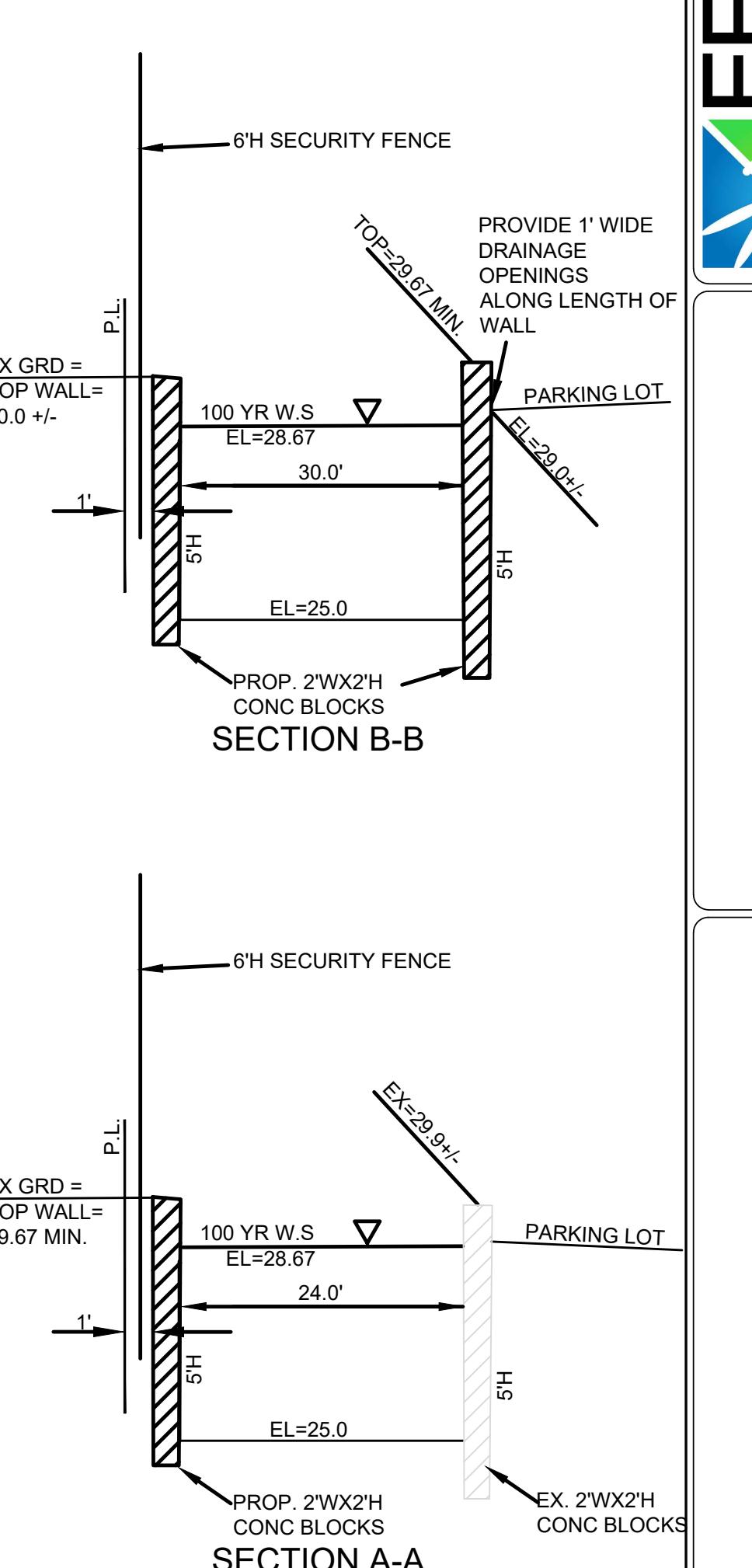


8600 VERBENA STREET - JBS PIPELINE PHASE 2

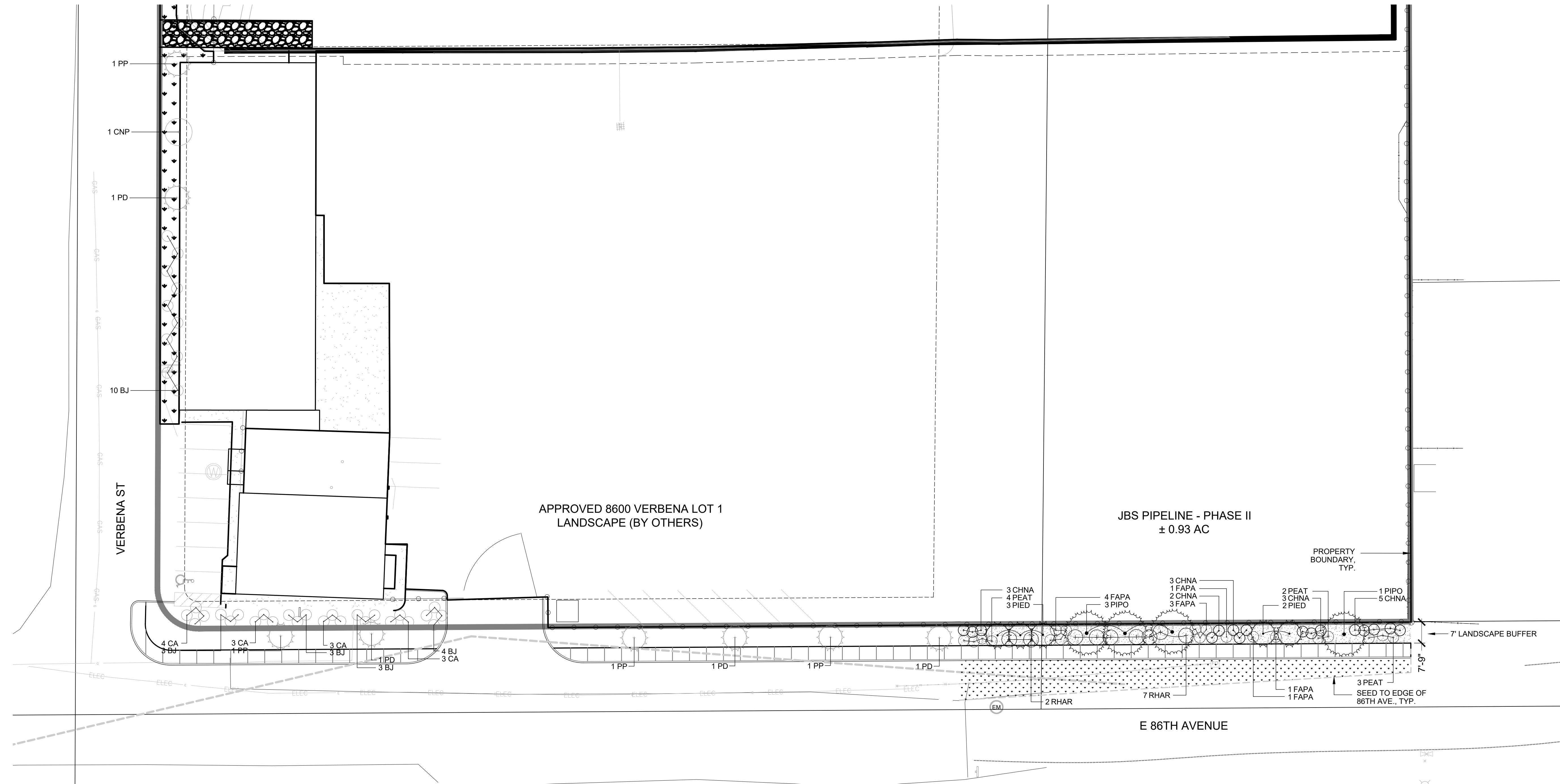
A PORTION OF BLOCK 28, IRONDALE
LOCATED IN THE NE1/4, SECTION 28 T2S, R67W 6TH PM
CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO
GRADING PLAN



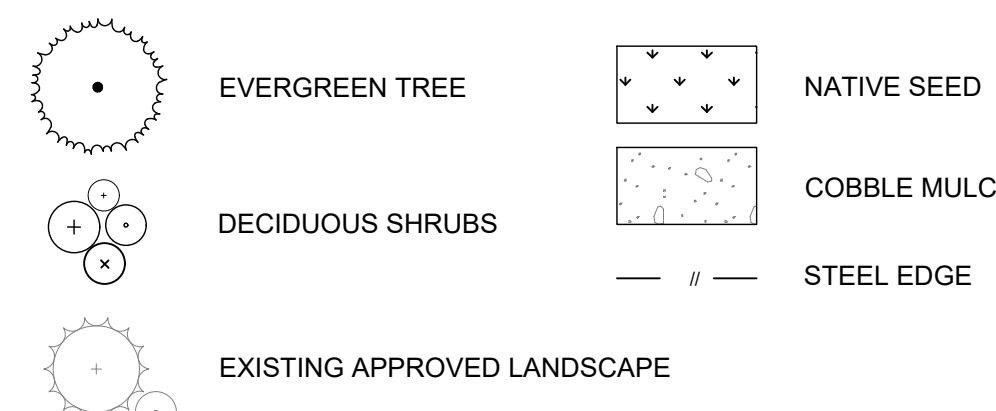
No.	REVISION	DATE
EES		
ENTITLEMENT AND ENGINEERING SOLUTIONS, INC. 501 S Cherry St, Suite 300 Denver, CO 80246 303-572-7997 www.ees.us.com		
JBS PIPELINE - PHASE 2		
8600 VERBENA ST. COMMERCE CITY, CO		
GRADING PLAN		
PROJECT NO:		
DESIGNED BY:	DLA	
DRAWN BY:	LOG	
DATE:	07/19/18	
P1.2		
SHEET 3 OF 12		



Cut/Fill Summary					
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill
fg vs eg	1.000	1.000	86072.85 Sq. Ft.	1393.22 Cu. Yd.	798.54 Cu. Yd. 594.69 Cu. Yd. <Cut>
Totals			86072.85 Sq. Ft.	1393.22 Cu. Yd.	798.54 Cu. Yd. 594.69 Cu. Yd. <Cut>



LEGEND:



APPROVED VERBENA LOT 1 PLANT SCHEDULE (D-188-14)

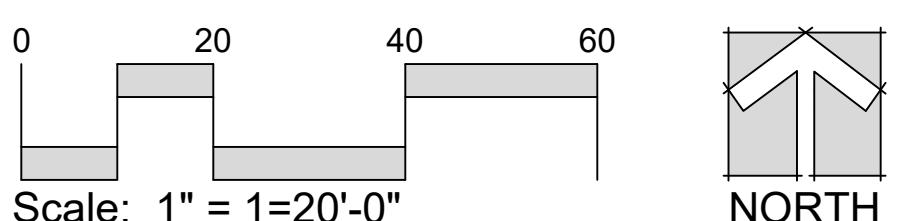
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME
CNP	1	ACER PLATANOIDES 'COLUMNAR'	COLUMNAR NORWAY MAPLE
EVERGREEN TREES	4	PINUS EDULIS	PINON PINE
PP	4	PINUS PONDEROSA	PONDEROSA PINE
PD	4		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
BJ	23	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER
CA	13	CATONEASTER APICULATUS	CRANBERRY CATONEASTER

PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	DETAIL
PIED	5	PINUS EDULIS	PINON PINE	
PIPO	4	PINUS PONDEROSA	PONDEROSA PINE	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	DETAIL
CHNA	16	CHRYSOTHAMNUS NAUSEOSUS	RUBBER RABBITBRUSH	
FAPA	10	FALLUGIA PARADOXA	APACHE PLUME	
PEAT	9	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	
RHAR	9	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	DETAIL
	1,648 SF	NATIVE SEED MIX	NATIVE SEED MIX	

PAWNEE BUTTES LOW GROW MIX
(25%) CANADA BLUEGRASS
(25%) SANDBERG BLUEGRASS
(25%) ROCKY MOUNTAIN FESCUE
(25%) SHEEP FESCUE

5 LBS/1,000 SF



PLANT REQUIREMENTS:

USE	AREA	TREES REQ.	SHRUBS REQ.	TREE PROV.	SHRUB PROV.
OVERALL LAND	3,840 SF	6.4 TREES	13 SHRUBS	4 TREES	36
LAND. BUFFER	163 LF	4.9 TREES	8 SHRUBS	5 TREES	8

TOTAL TE'S REQ.	134
TOTAL TE'S PROV.	134

NOTE:

1. TREE EQUIVALENTS (TE'S): 1 TREE = 10 SHRUBS (5 GAL).

No.	REVISION	DATE	
		NR	NR
3	LANDSCAPE PLAN REVISIONS	10/03/2018	
4	LANDSCAPE PLAN REVISIONS	01/25/2019	

EES ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
5118 17th Street, Suite 1575
Denver, CO 80202
www.ees.us.com 303-572-7397

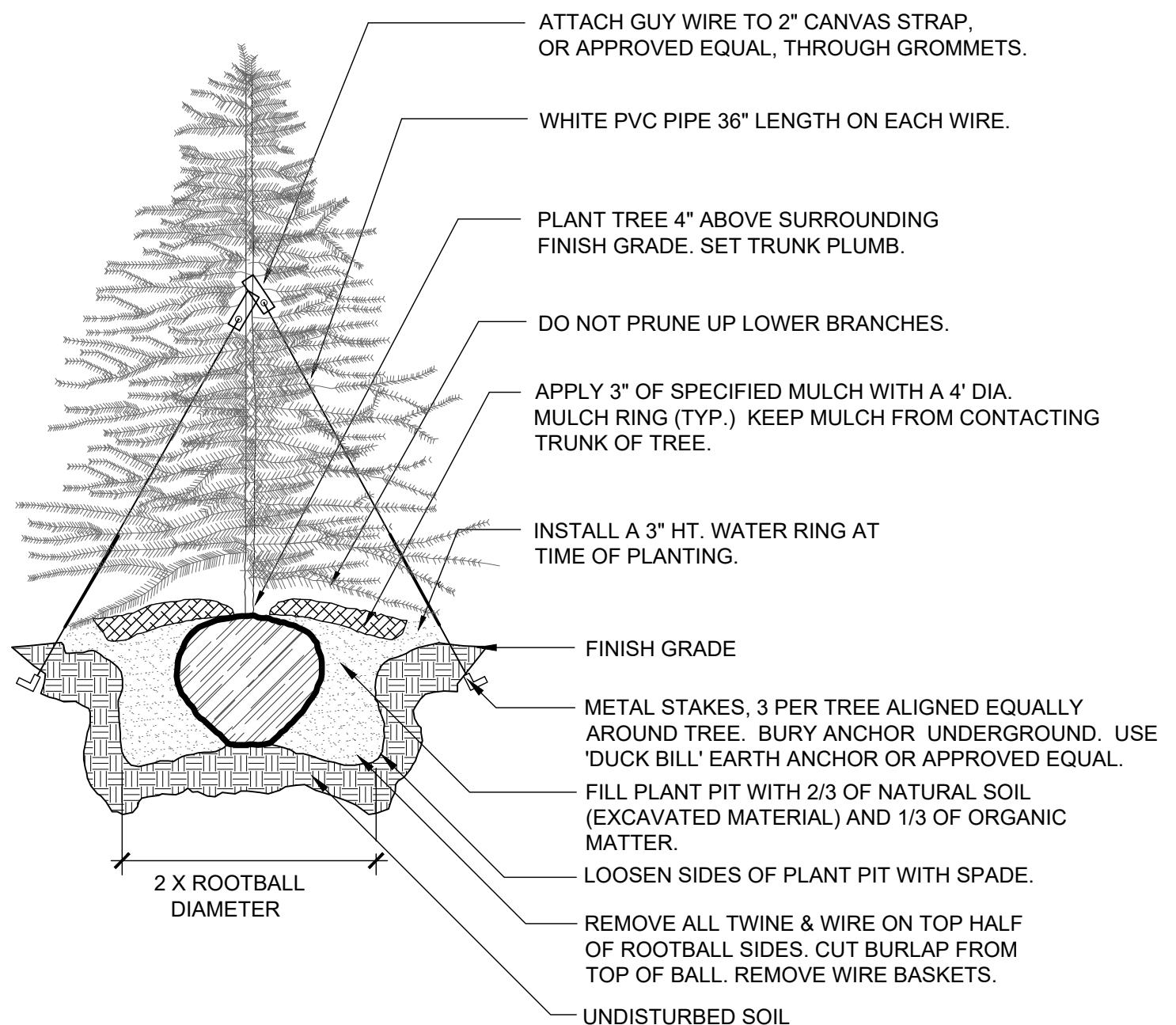
JBS PIPELINE - PHASE 2
COMMERCIAL CITY, CO

LANDSCAPE PLAN

PROJECT NO: 018-099_EES_8600 VERBENA
DESIGNED BY: CK
DRAWN BY: NR
DATE: 09/06/18

SHEET 04 OF 11

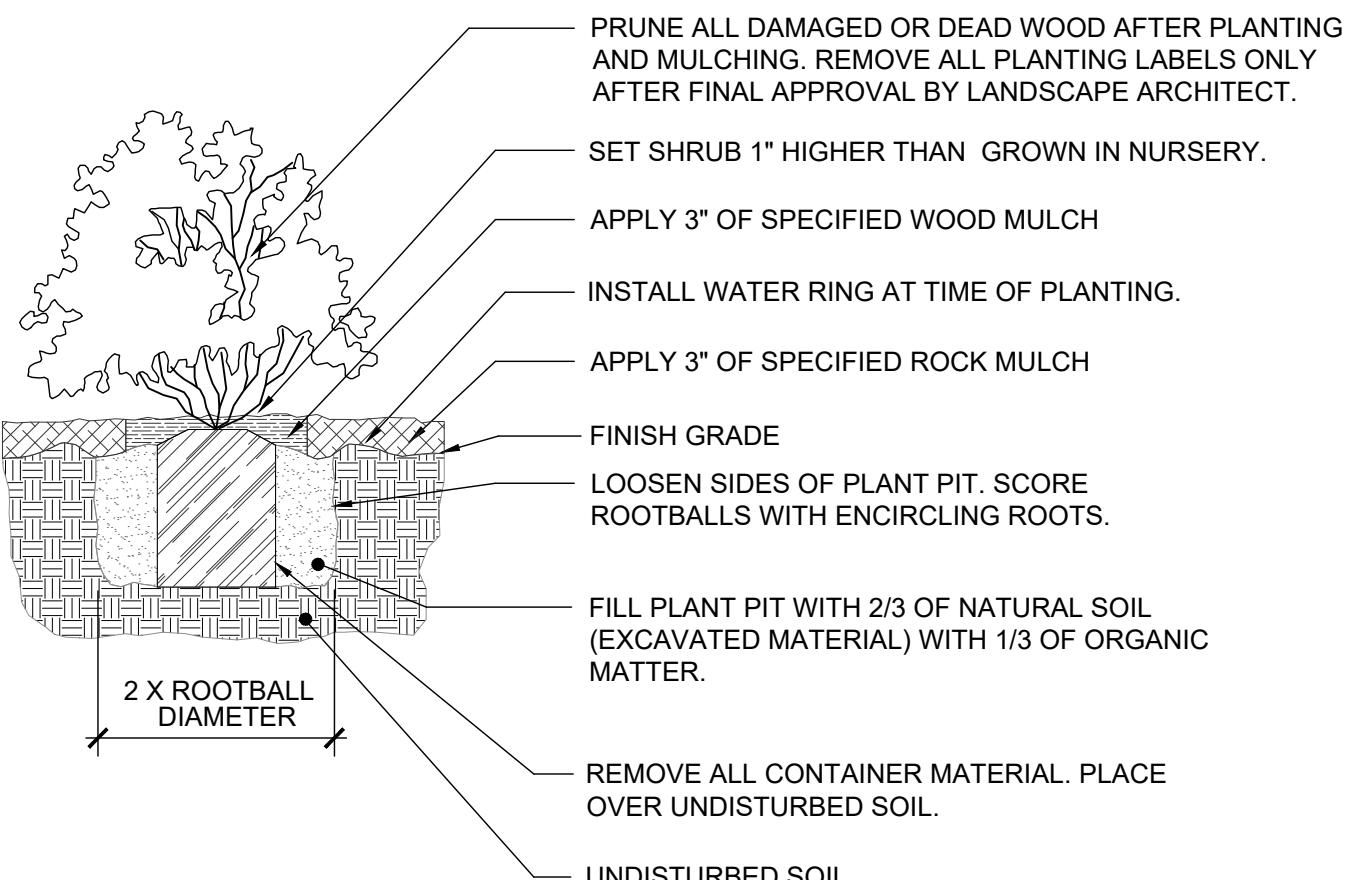
NOTES:
 1. DO NOT REMOVE OR CUT LEADER.
 2. PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
 3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 5. REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.



1 EVERGREEN TREE PLANTING

1" = 1'-0"

323129.23-10

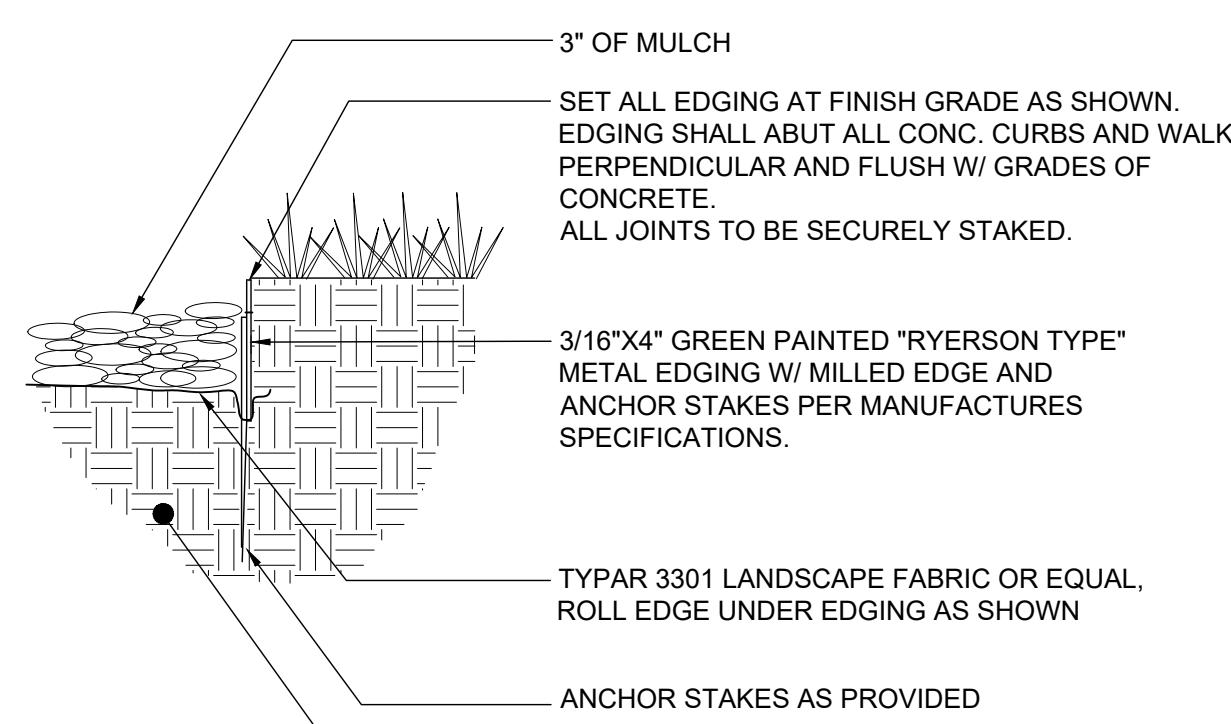


NOTE: ANY PLANT NOT IN ACCORDANCE WITH COLORADO NURSERY ACT REQUIREMENTS WILL BE REJECTED. HOLD MULCH GRADE 1" BELOW EDGE OF WALK, EDGING AND CURB. JUNIPER PLANTS SHALL BE PLANTED WITH TOP OF ROOTBALL AT FINISH GRADE OF MULCH LAYER.

2 SHRUB / ORNAMENTAL GRASS PLANTING W/MULCH RING

1" = 1'-0"

32 9333.13-11



3 STEEL EDGING

1" = 1'-0"

323129.23-10

GENERAL NOTES:

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
2. COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
4. NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

CLEARING & GRADING:

1. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES AND DEVELOPMENT STANDARDS; UNIFORM BUILDING CODES; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, STANDARDS, AND POLICIES.
2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER RELATED OR REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR (1) TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND (2) TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

SOIL SPECIFICATIONS:

1. ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS REPRESENTATIVES DISCRETION.
2. LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANYTIME PRIOR TO INITIAL ACCEPTANCE.
3. LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24 HOURS AFTER DELIVERY.
4. IMPORTED TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM FROM THE 'A' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETERIMENTAL TO PLANT GROWTH.
5. ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS I TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES. PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE **NOT ACCEPTABLE**. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
6. SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
7. PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED / SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
2. THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC. SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
 - A) ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
 - B) PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
 - C) LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
 - D) PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - E) PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
 - F) CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS. CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
 - G) LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
 - H) ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/Drip TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION.

EDGING:

1. ALL EDGING SHALL BE 3/16" X 5 1/2" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURE'S SPECIFICATIONS OR EQUAL

MULCH

1. PLANTING BEDS SHALL CONTAIN 2"-4" RIVER ROCK COBBLE MULCH OVER FABRIC AT A MINIMUM DEPTH OF 3" WITH A DOUBLE SHREDDED WOOD MULCH RING AROUND EACH TREE, SHRUB, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUB, GRASS OR PERENNIAL. TREE MULCH RING SHALL BE GREEN INDUSTRY STANDARD SIZE.
2. GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLayment SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

COMMERCE CITY NOTES:

1. REFERENCE THE COMMERCE CITY LANDSCAPE STANDARDS "FACTS TO KNOW" DOCUMENT FOR ALL LANDSCAPE STANDARDS AND SPECS.
2. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5 INCH DIAMETER FOR ORNAMENTAL TREES AND 6' HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER; ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVERS 2-3" POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% CONIFEROUS (EVERGREEN) AND 50% DECIDUOUS (TREE LAWN AREAS BETWEEN CURBS AND DETACHED WALKS SHALL BE ALL DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6 INCHES FOR EVERY 1,000 SF OF LANDSCAPE AREA.
3. STREET TREES: THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
4. WEED BARRIER: POROUS WEED FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
5. EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
6. IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
7. IRRIGATION: ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
8. MAINTENANCE:
 1. THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
 2. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
 3. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
12. VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
13. SIGHT LINE CONSIDERATIONS: ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT Maturity, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE Maturity. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT - DISTANCE-TRIANGLES. INFORMATION ON THE SIGHTDISTANCE-TRIANGLES MAY BE OBTAINED FROM THE CITY.
14. CITY OF COMMERCE CITY ENGINEERING STANDARDS: IMPLEMENTATION AND COORDINATION OF LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
15. NATIVE GRASS NOTE: ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED, SHALL BE, AT A MINIMUM, SEADED WITH NATIVE GRASSES.

PROJECT NO: **CK**
 DESIGNED BY: **NR**
 DRAWN BY: **NR**
 DATE: **09/06/18**

JBS PIPELINE - PHASE 2

COMMERCE CITY, CO

LANDSCAPE DETAILS AND NOTES

No.	REVISION	LANDSCAPE PLAN REVISIONS	LANDSCAPE PLAN REVISIONS
3			
4			

EES ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
 518 17th Street
 Denver, CO 80202
 www.ees.com
 303-572-7997

DATE	BY	NR	NR
10/03/2018			
01/25/2019			

CODE INFORMATION

TYPE OF CONSTRUCTION: V-B
OCCUPANCY CLASSIFICATION: B
CHANGE OF OCCUPANCY USE OR GROUP: NO
TYPE OF USE: BUSINESS
OCCUPANCY SEPARATION: B AND S-2, 2-HOUR FIRE RATING

APPLICABLE CODES
2012 International Building Code (IBC) and Amendments
2012 International Mechanical Code (IMC) and Amendments
2012 International Plumbing Code (IPC) and Amendments
2012 International Fuel Gas Code (IFGC) and Amendments
2012 International Energy Conservation Code (IECC) and Amendments
2014 National Electrical Code (PDF)
2009 ICC A117.1 STANDARDS

Occupant Load Using IBC Table 1004.1.2= 25 Total*

* See Area Schedule
2 exit's required
2 exits provided.

HANDICAP ACCESSIBILITY CODE: ANSI A117.1
2 STORIES 25' 4" HEIGHT
FIRE PROTECTION: NON-SPRINKLERED

TENANT AREA: 2,665 S.F.

OCCUPANT LOAD: GROSS AREA/OCCUPANT LOAD FACTOR
4560 SF / 100 = 46

MEANS OF EGRESS:
MAXIMUM TRAVEL DISTANCE: 200' (NON-SPRINKLED)

ACTUAL TRAVEL DISTANCE: 75'-0"
NUMBER OF EXITS REQUIRED: 2
NUMBER OF EXITS PROVIDED: 2
MINIMUM DOOR WIDTH: 0.2 X 26 = 5.2"
(ACTUAL) = 72"
MIN. DOOR IS 36"

DIAGONAL DISTANCE OF SPACE IS: 60'-3"
1/2 DIAGONAL DISTANCE OF SPACE IS: 30' - 1 1/2"
DISTANCE BETWEEN EXITS IS: 53'-10 1/2"

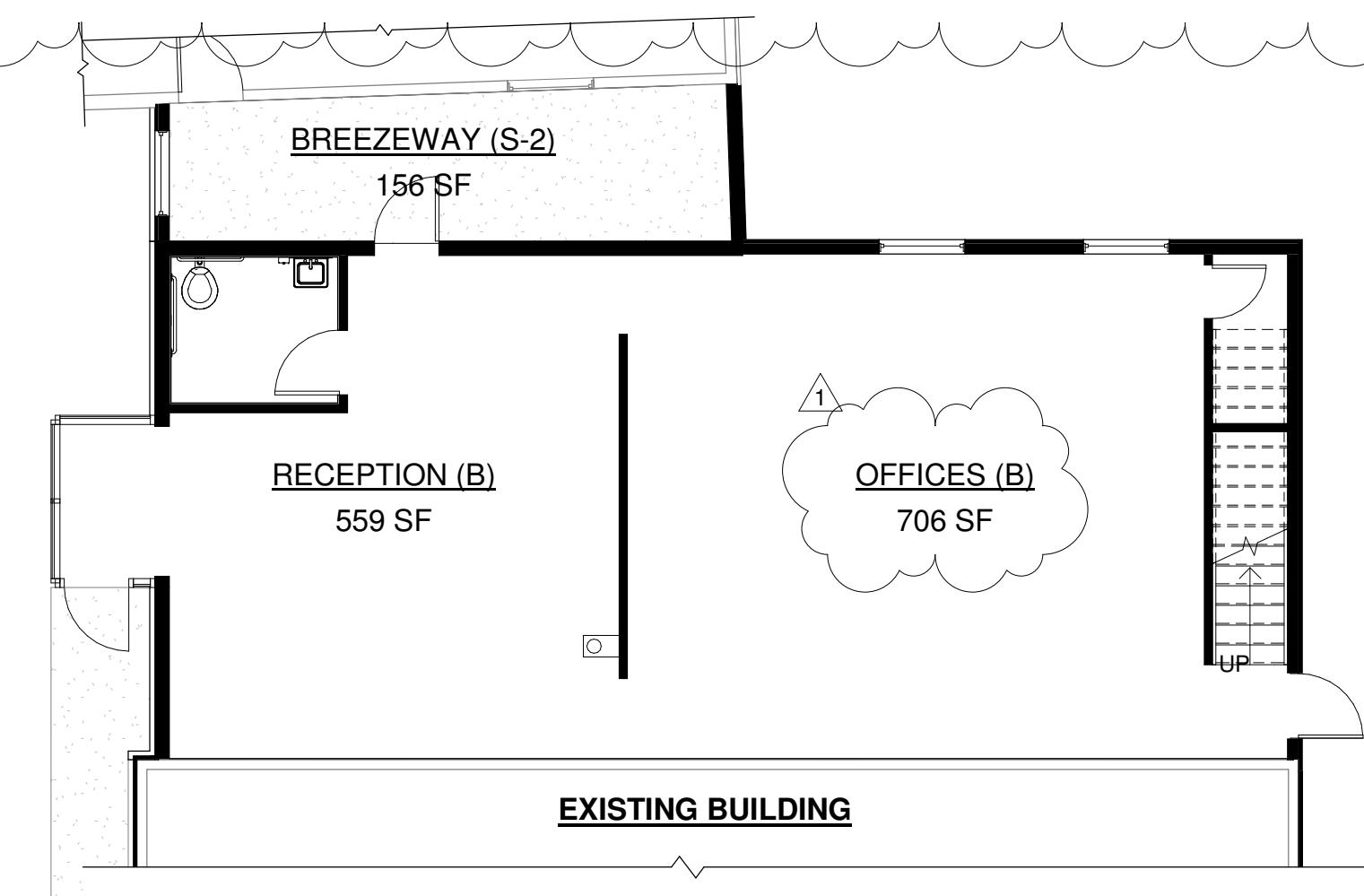
PLUMBING FIXTURES: PER TABLE 2902.1
SEE PLUMBING FIXTURE SCHEDULE

ALLOWABLE AREAS:
B OCCUPANCY: 9,000 SF, 2 STORIES
S-2 OCCUPANCY: 13,500 SF, 2 STORIES

ACTUAL BUILDING AREAS:
EXISTING OFFICES SOUTH + PROPOSED BUSINESS ADDITION:
4,560 SF, 2 STORIES
EXISTING BUILDING NORTH:
6400 SF, 1 STORY

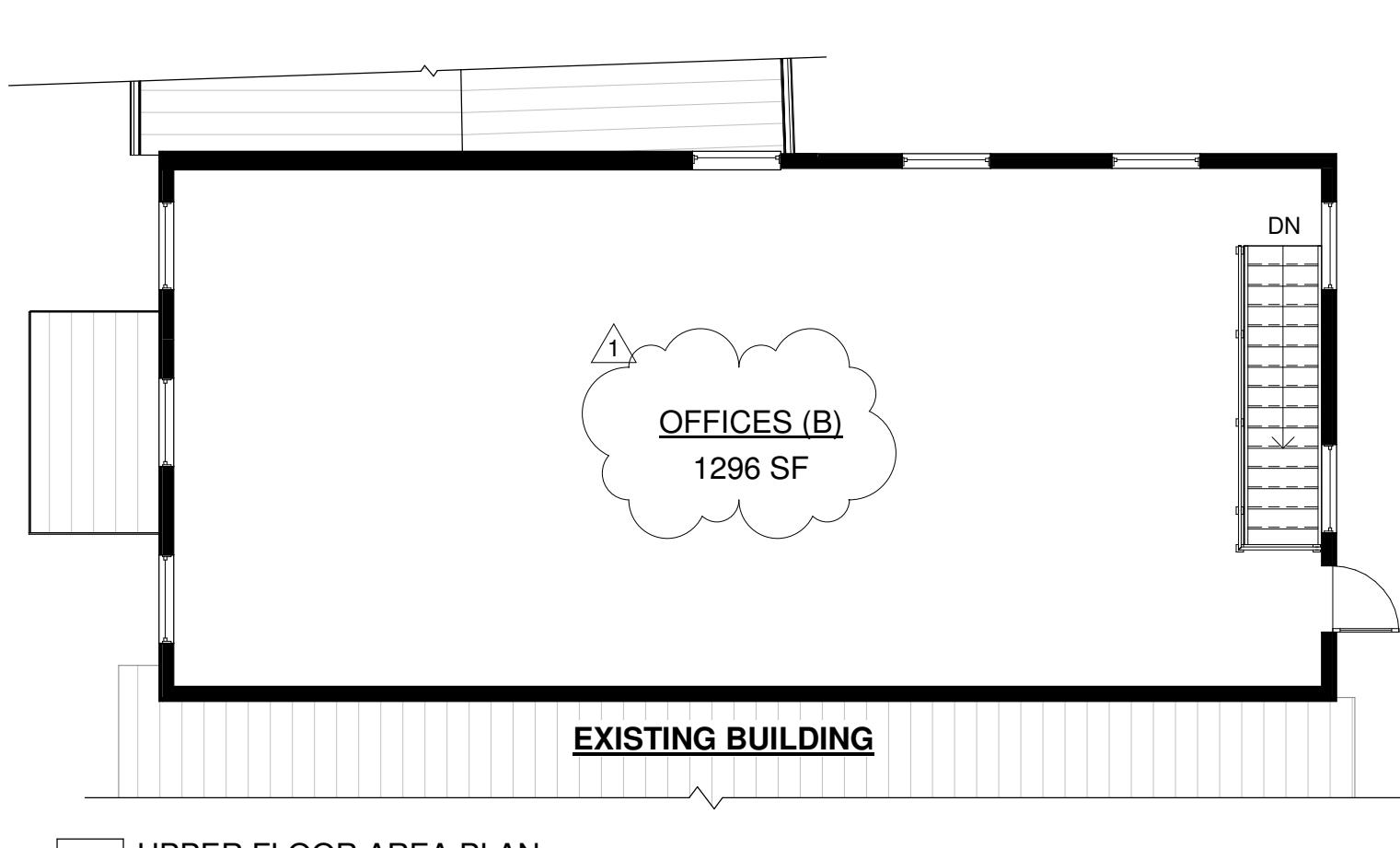
AREA SCHEDULE

NAME	AREA
OFFICES (B)	706 SF
OFFICES (B)	1296 SF
RECEPTION (B)	559 SF
BREEZEWAY (S-2)	156 SF
Grand total: 4	2717 SF / 100 GROSS = 27



1 MAIN FLOOR AREA PLAN

1/8" = 1'-0"



3 UPPER FLOOR AREA PLAN

1/8" = 1'-0"

BUILDING INFORMATION

JURISDICTION: COMMERCE CITY, CO

ZONING: I-2

HEIGHT RESTRICTIONS: 15'-0" MIN. - 50'-0" MAX.

SETBACKS: 20'-0" FRONT SETBACK
20'-0" SIDE SETBACKS
25'-0" REAR SETBACK

FOR CLIMATE ZONE 5 PER 2012 IECC

MAXIMUM GLAZING U-FACTOR
FIXED 0.38
OPERABLE 0.45
MAXIMUM SHGC 0.4
CEILINGS R-38
ABOVE-GRADE WALLS R-20 or
1 BELOW-GRADE WALLS R-13+R3.8ci
FLOORS R-7.5ci
FOR 24" BELOW R-10
U-0.37
R-4.75

ci = CONTINUOUS INSULATION

CODE INFORMATION

1/2" = 1'-0"

DRAWING LIST

NO.	NAME
A0	COVER
A1	MAIN FLOOR PLAN
A2	UPPER FLOOR PLAN
A3	ROOF PLAN
A4	EAST ELEVATIONS
A5	WEST ELEVATIONS
A6	SOUTH ELEVATIONS
A7	NORTH ELEVATION
A8	SECTIONS AND DETAILS
A9	WALL SECTIONS AND DETAILS
A10	BREEZEWAY DETAILS
A11	UL DETAILS
A12	UL DETAILS
E1	CONCEPTUAL ELECTRICAL PLANS

REVISION SCHEDULE

REVISION #	DATE
1	5/25/18
2	7/20/18

REVISION SCHEDULE

ROOM NAME

ROOM NAME WITH FLOOR FINISH

FLOOR FINISH

FLOOR FINISH

WINDOW TAG

DOOR TAG

REVISION TAG

NAME

LEVEL NAME

ELEVATION

LEVEL TAGS

NAME

ELEVATION

NAME

ELEVATION

WALL SECTION

DETAIL NUMBER

Sheet Number

Detail Callout

1 SIM

Building Section Number

BUILDING SECTION (PLAN)

A101

Building Section (Elevation)

A101

Elevations

A101

WALL SECTION

A101

DRAWING TITLE

1 DRAWING NAME

SCALE

1

Detail Callout

1 SIM

Building Section Number

BUILDING SECTION (ELEVATION)

A101

Elevations

A101

WALL SECTION

A101

DRAWING TITLE

1 DRAWING NAME

SCALE

1

Detail Callout

1 SIM

Building Section Number

BUILDING SECTION (ELEVATION)

A101

Elevations

A101

WALL SECTION

A101

DRAWING TITLE

1 DRAWING NAME

SCALE

1

Detail Callout

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BUILDING SECTION (ELEVATION)

A101

Elevations

A101

WALL SECTION

A101

DRAWING TITLE

1 DRAWING NAME

SCALE

1

Detail Callout

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A101

Elevations

A101

WALL SECTION

A101

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1 DRAWING NAME

SCALE

1

Detail Callout

1 SIM

Building Section Number

BUILDING SECTION (ELEVATION)

A101

Elevations

A101

WALL SECTION

A101

DRAWING TITLE

1 DRAWING NAME

SCALE

1

Detail Callout

1 SIM

Building Section Number

BUILDING SECTION (ELEVATION)

A101

Elevations

A101

WALL SECTION

A101

DRAWING TITLE

1 DRAWING NAME

SCALE

1

Detail Callout

1 SIM

Building Section Number

BUILDING SECTION (ELEVATION)

A101

Elevations

A101



A

B

C

1

E

F

6

1

1

J

This architectural cross-section diagram illustrates the construction details of a building addition. The diagram shows a brick foundation, a main subfloor, and an addition with a brick wall and a metal siding exterior. The roof is a gabled structure with a 5" overhang on both sides. Key dimensions and materials are labeled throughout the drawing.

EXISTING T.O. PLATE 108' - 0"

EXISTING BUILDING RE-SIDED TO MATCH METAL SIDING ON ADDITION

T.O. BRICK 102' - 9 7/8"

EXISTING BRICK

MAIN T.O. SUBFLOOR 100' - 0"

T.O. FOUNDATION 98' - 9 7/8"

EXISTING T.O. PLATE 108' - 0"

T.O. BRICK 102' - 9 7/8"

MAIN T.O. SUBFLOOR 100' - 0"

T.O. FOUNDATION 98' - 9 7/8"

1' - 0"

1' - 2 1/8"

4' - 0"

8' - 0"

1' - 2 1/8"

4' - 0"

8' - 0"

1' - 0"

1' - 0"

5"

5"

1'-0"

1'-0"

**2 EAST ELEVATION - EXISTING
1/4" = 1'-0"**

19

1 EAST ELEVATION - NEW
1/4" = 1'-0"

ARCHITECTURE | CONSTRUCTION | DEVELOPMENT

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OFFICE ADDITION
8600 VERBENA STREET
COMMERCIAL CITY, CO 80022

A4

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A5



A

B

C

D

E

F

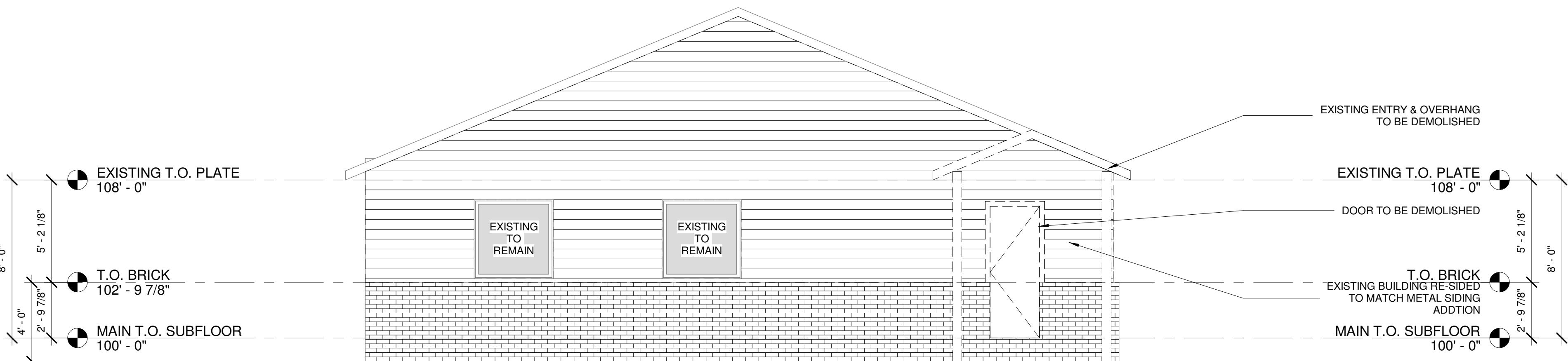
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H

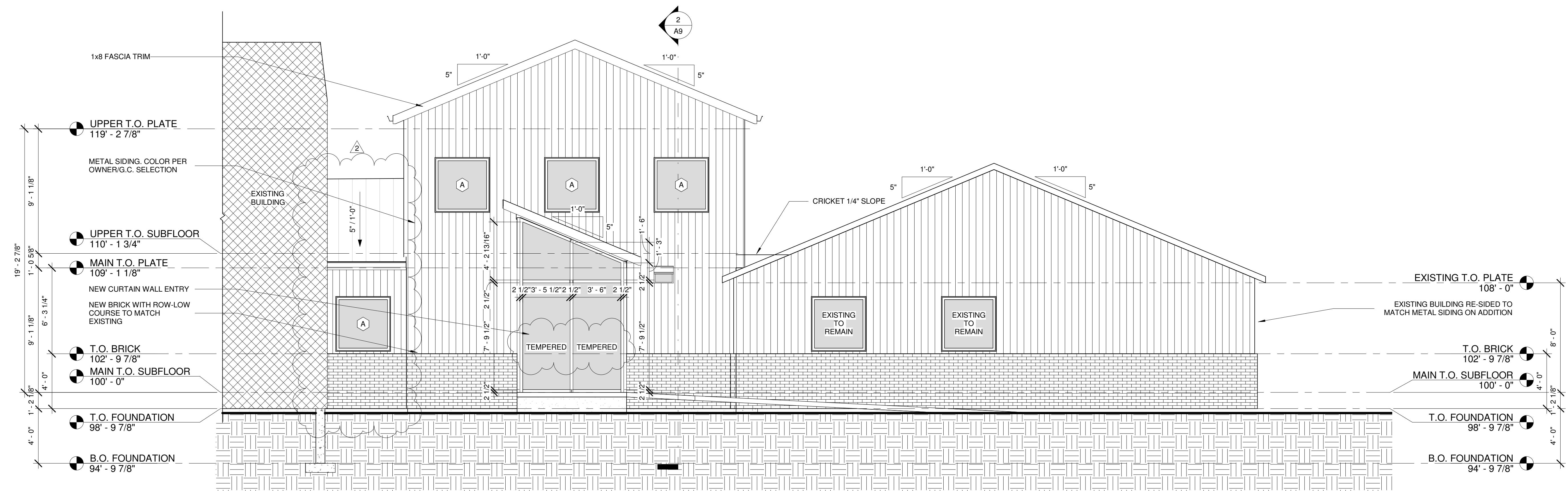
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1 WEST ELEVATION - EXISTING
1/4" = 1'-0"



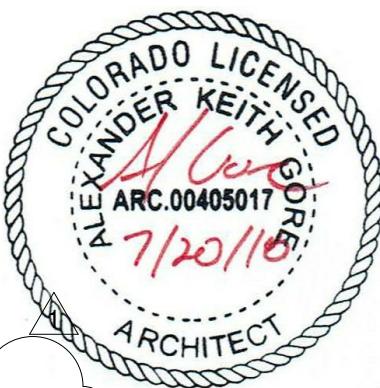
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8600 VERBENA STREET
COMMERCE CITY, CO 80022

F9 PRODUCTIONS INC.
ARCHITECTURE | CONSTRUCTION | DEVELOPMENT

A5

WEST ELEVATIONS



A

B

4

1

E

F

1

8

1

1

Diagram illustrating the calculation of the maximum allowable opening area for a building elevation. The elevation is labeled 'NORTH ELEVATION' with a total wall area of 1,109 SQFT. A 10% opening area is indicated by a shaded square representing 100 SQFT, which is 9.0% of the total wall area.

IBC FIRE AND SMOKE PROTECTION 705.8

For unprotected, nonsprinklered walls more than 5' and less than 10' from neighboring exterior wall will have a maximum allowable opening area of 10%.

2

Symbol	Area
Diagonal lines	1,009 SQFT
Shaded square	100 SQFT

NORTH ELEVATION
TOTAL WALL = 1,109 SQFT
100 SQFT / 1,109 SQFT = 9.0%

UPPER T.O. PLATE
119' - 2 7/8"

UPPER T.O. SUBFLOOR
110' - 1 3/4"

MAIN T.O. PLATE
109' - 1 1/8"

MAIN T.O. SUBFLOOR
100' - 0"

T.O. FOUNDATION
98' - 9 7/8"

B.O. FOUNDATION
94' - 9 7/8"

UPPER T.O. PLATE
119' - 2 7/8"

UPPER T.O. SUBFLOOR
110' - 1 3/4"

MAIN T.O. PLATE
109' - 1 1/8"

MAIN T.O. SUBFLOOR
100' - 0"

T.O. FOUNDATION
98' - 9 7/8"

B.O. FOUNDATION
94' - 9 7/8"

NORTH ELEVATION - OPENING
CALCULATIONS
1/8" = 1'-0"

IBC FIRE AND SMOKE PROTECTION 705.8

For unprotected, nonsprinklered walls more than 5' and less than 10' from neighboring exterior wall will have a maximum allowable opening area of 10%.

2

= 1,124 SQFT

= 52 SQFT

SOUTH ELEVATION

TOTAL WALL = 1,176 SQFT

52 SQFT / 1,176 SQFT = 4.4%

This architectural cross-section diagram illustrates the vertical profile of a house. The roof is a steep gable roof with a vent located at the peak. A window is positioned on the upper level, and a door is on the ground level. The foundation is shown as a stepped base. The main floor height is 100' 0", and the foundation height is 98' 9 7/8". A callout detail labeled '2' shows a cross-section of the wall, revealing an interior cavity with insulation. The overall width of the house is 100' 0", and the foundation width is 98' 9 7/8".

3 EXISTING NORTH BUILDING - SOUTH
ELEVATION OPENING CALCULATIONS
1/8" = 1'-0"

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ARCHITECTURE | CONSTRUCTION | DEVELOPMENT

A7