

# 8600 VERBENA STREET - JBS PIPELINE PHASE 2

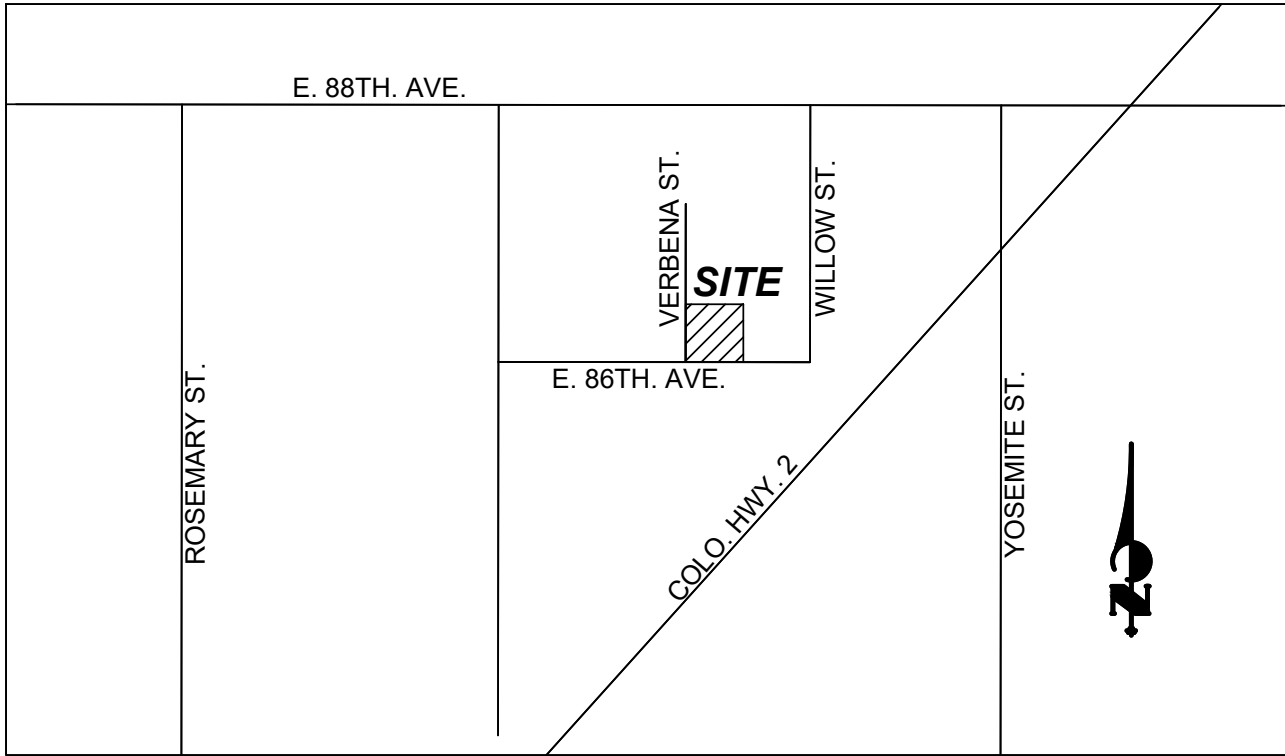
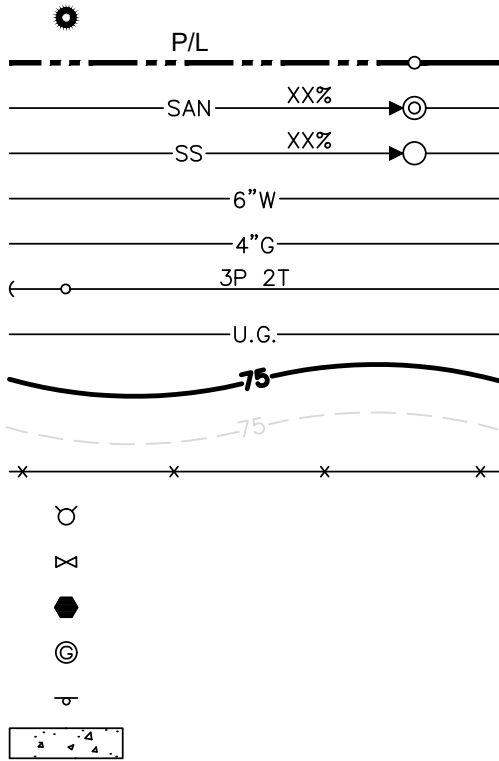
A PORTION OF BLOCK 28, IRONDALE  
LOCATED IN THE NE1/4, SECTION 28 T2S, R67W 6TH PM  
CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO  
DEVELOPMENT PLAN

GENERAL NOTES:

- LIGHTING NOTE:**  
IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE:**  
TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME OR COMPLEMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE:**  
ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE:**  
APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT DISTANCE TRIANGLES AND EASEMENTS. HOWEVER, NO SIGNS WILL BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY OF COMMERCE CITY'S SIGN CODE.
- FENCING NOTE:**  
APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY OF COMMERCE CITY'S FENCING REQUIREMENTS.
- DOWNSPOUT NOTE:**  
NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
- AMERICANS WITH DISABILITIES NOTE:**  
THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THE DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- CONSTRUCTION NOTE:**  
THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- UNDERGROUND UTILITY NOTE:**  
ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.

LEGEND

- FOUND PIN AND CAP  
MONUMENT  
PROPERTY LINE W/ SET PIN AND CAP  
SANITARY SEWER AND MANHOLE  
STORM SEWER AND MANHOLE  
WATER MAIN  
GAS MAIN  
GUY WIRE, POLE, NO. POWER AND TELE. LINES  
UNDERGROUND UTILITY (TYPE AS NOTED)  
PROPOSED CONTOUR LINE  
EXISTING CONTOUR LINE  
FENCE (TYPE AND HEIGHT AS NOTED)  
FIRE HYDRANT  
SERVICE STOP AND BOX  
WATER METER  
GAS VALVE  
SIGN  
CONCRETE



VICINITY MAP

SCALE: 1" = 1,000'

OWNER:

JAMES AND CATHY PARENT  
8600 VERBEENA STREET  
COMMERCE CITY, CO 80022  
303-289-4335

SITE DATA

CURRENT LOT SIZE	71,674 SF. (1.65 AC)
LOT SIZE (FOLLOWING PLAT RECORDING)	11,238.5 SF. (2.58 AC.)
BUILDING AREA	8,424 SF.
PAVED PARKING LOT AREA	5,927 SF.
PERVIOUS SURFACE/ STORAGE YARD	83,635 S.F.
LANDSCAPE AREA	14,399 SF.
DETENTION POND	9,805 SF.
FLOOR AREA RATIO	7.5%
PARKING STALLS REQUIRED (1 PER 300 OF OFFICE BLDG)	7 SPACES
PARKING STALLS PROVIDED	7 SPACES
EX. BUILDING CONSTRUCTION TYPE (PER APPR. SITE PLAN)	V-B
CURRENT ZONE	PORTION I-1, PORTION AG
REQUESTED ZONE	ALL I-2
ESTIMATED NUMBER OF EMPLOYEES	10 EMPLOYEES
PROPOSED BUILDING TYPE	V-B

SHEET INDEX

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05	LANDSCAPE DETAILS AND NOTES
6	PHOTOMETRIC SITE PLAN
7	LIGHTING CUT SHEETS
A0	FENCE ELEVATION
A4	EAST ELEVATIONS
A5	WEST ELEVATIONS
A6	SOUTH ELEVATIONS
A7	NORTH ELEVATIONS

BASIS OF BEARINGS

BEARINGS ARE BASED ON A LINE BETWEEN THE NORTH ONE-QUARTER CORNER OF SECTION 28 AND THE NORTHEAST CORNER OF SECTION 28 (ALL BEING TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN) MONUMENTED AS SHOWN ON SHEET 2 OF 2. SAID LINE IS ASSUMED TO BEAR N 89° 38' 49" E.

PROPERTY DESCRIPTION

LOT 1, BLOCK 1 8600 VERBENA SUBDIVISION (RECEPTION NO. 2014000014178), TOGETHER WITH LOT 15 THROUGH LOT 24, (INCLUSIVE) BLOCK 29 IRONDALE SUBDIVISION (FILE 8, 165), TOGETHER WITH THE WEST 7.5 FEET OF THE 15 FOOT WIDE NORTH/SOUTH ALLEY EAST OF AND ADJACENT TO SAID LOT 15 THROUGH LOT 24 (INCLUSIVE), TOGETHER WITH NORTH/SOUTH WABASH STREET WEST OF AND ADJACENT TO SAID LOT 15 THROUGH LOT 24 (INCLUSIVE).

CONTAINING 112,403.00 SQUARE FEET OR 2.58 ACRES MORE OR LESS.

BENCHMARK DATA

PROJECT BENCHMARK: 3 1/4" ALUM. CAP IN RANGE BOX, STAMPED: LS 17488, AT THE INTERSECTION OF EAST 88TH AVENUE AND DAHLIA STREET. ELEVATION: 5,078.2' (NAVD 88 DATUM).

SITE BENCHMARK: FINISHED FLOOR, SOUTH ENTRY DOOR TO THE MAIN OFFICE AT 8600 VERBENA STREET. ELEVATION: 5,132.34'



CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987 or 811**  
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CITY COUNCIL CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

CITY SIGNATURE

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

REVISION	DATE
No.	

**EES**  
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ENVIRONMENTAL  
SOLUTIONS, INC.  
501 S Cherry St, Suite 300  
Denver, CO 80246  
303-572-7397 www.ees.us.com

JBS PIPELINE - PHASE 2

8600 VERBENA ST. COMMERCE CITY, CO

COVER SHEET

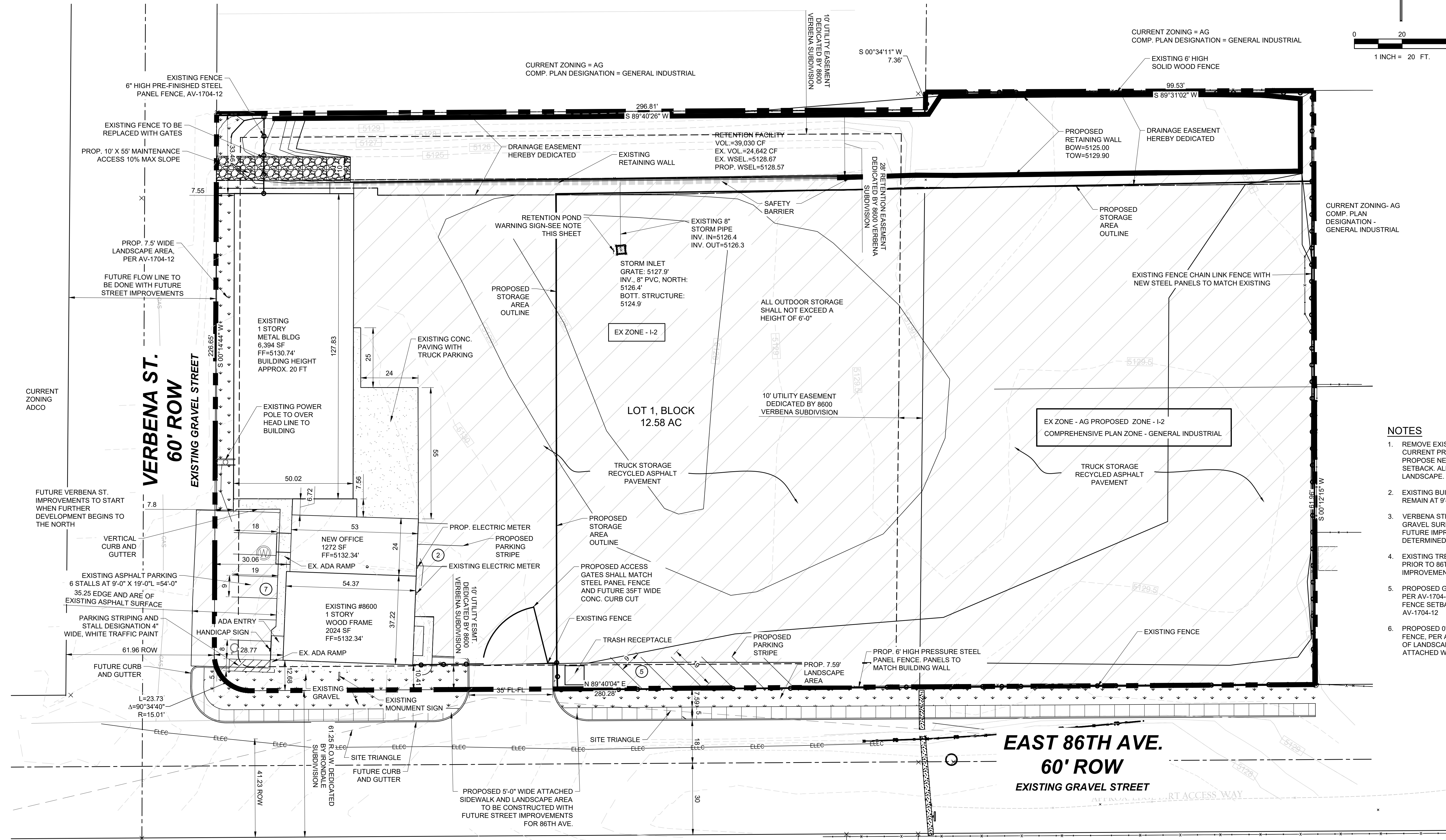
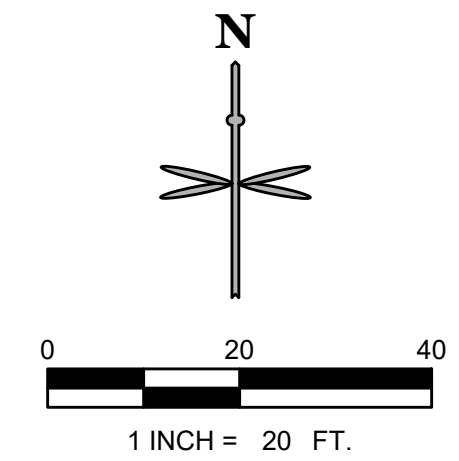
PROJECT NO: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_ DLA  
DRAWN BY: \_\_\_\_\_ LCG  
DATE: \_\_\_\_\_ 07/19/18

**P1.0**  
SHEET 1 OF 12



# 8600 VERBENA STREET - JBS PIPELINE PHASE 2

A PORTION OF BLOCK 28, IRONDALE  
LOCATED IN THE NE1/4, SECTION 28 T2S, R67W 6TH PM  
CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO  
SITE PLAN

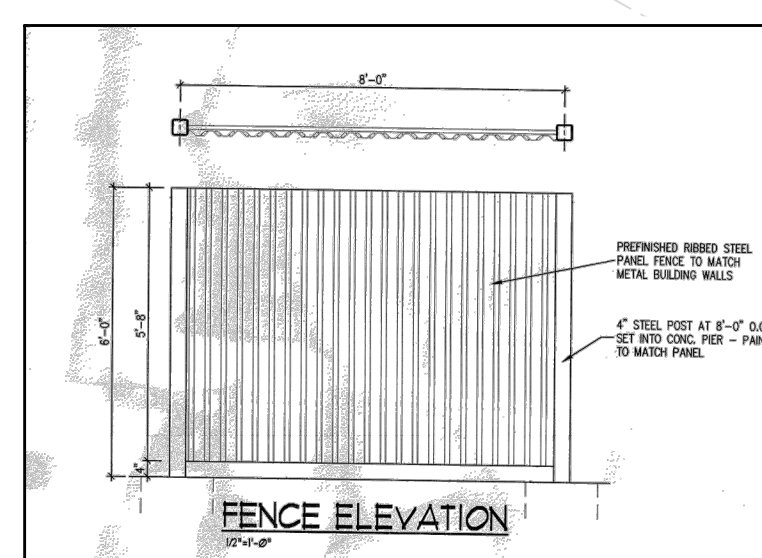


## NOTES

1. REMOVE EXISTING FENCE ON CURRENT PROPERTY LINE. PROPOSE NEW FENCE AT 10' SETBACK. ALLOW FOR FUTURE LANDSCAPE. PER AV-1704-12
2. EXISTING BUILDING SETBACK TO REMAIN AT 9'-2"
3. VERBENA STREET CURRENTLY GRAVEL SURFACE. TIME OF FUTURE IMPROVEMENTS IS NOT DETERMINED.
4. EXISTING TREE TO BE REMOVED PRIOR TO 86TH AVENUE IMPROVEMENTS
5. PROPOSED GATE IS 12' SETBACK, PER AV-1704-12. PROPOSED FENCE SETBACK VARIES, PER AV-1704-12
6. PROPOSED 0' SETBACK FOR THE FENCE, PER AV-1704-12 ALLOWS 7' OF LANDSCAPE PLUS THE 5' ATTACHED WALK.

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**811**  
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CURRENT ZONING- I-2

## FLOOD HAZARD WARNING SIGN

THIS AREA IS A RETENTION POND  
AND IS SUBJECT TO PERIODIC  
FLOODING TO A DEPTH OF 8".

CURRENT ZONING- R-1

## CITY COUNCIL CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CITY SIGNATURE \_\_\_\_\_

## CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

JBS PIPELINE - PHASE 2

SITE PLAN

PROJECT NO: \_\_\_\_\_  
DESIGNED BY: DLA  
DRAWN BY: LCG  
DATE: 07/19/18

**P1.1**  
SHEET 2 OF 12

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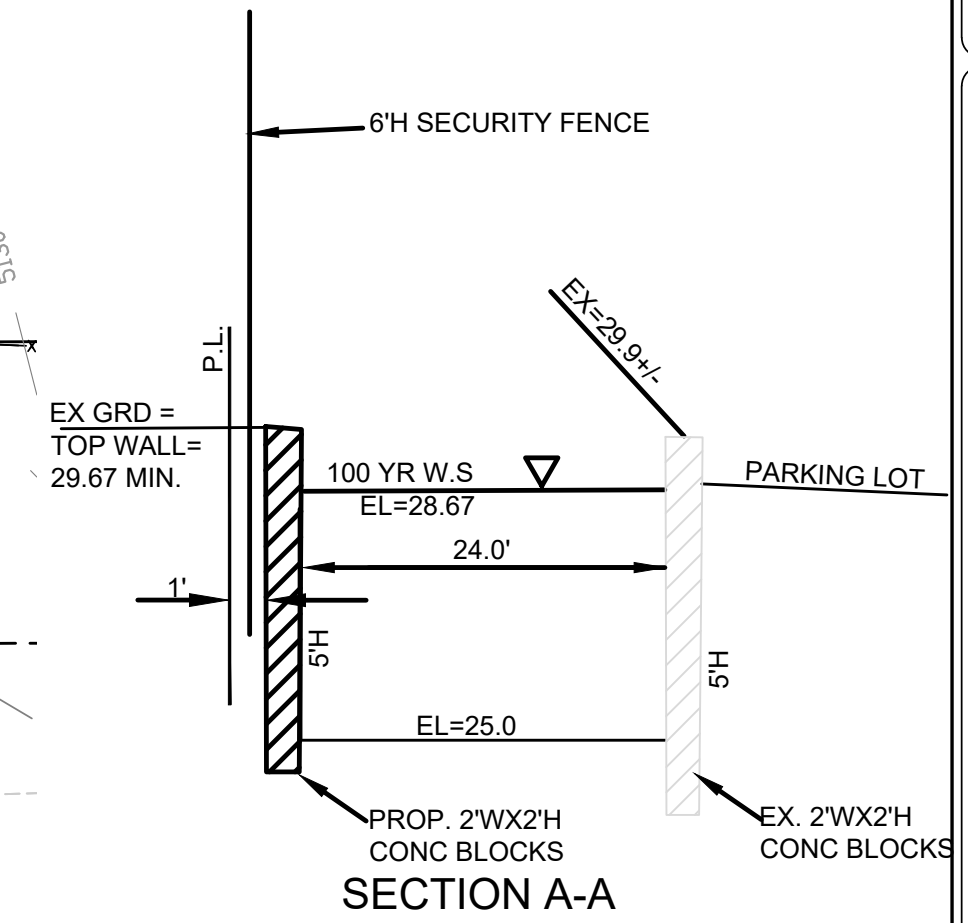
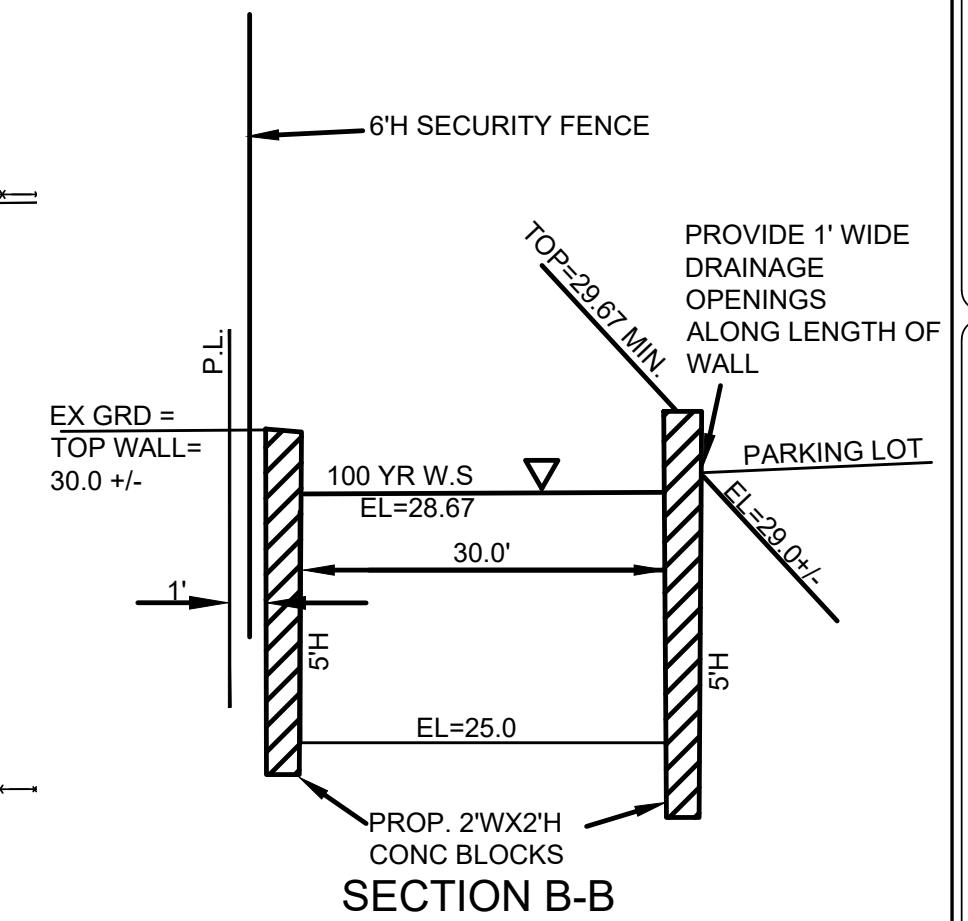
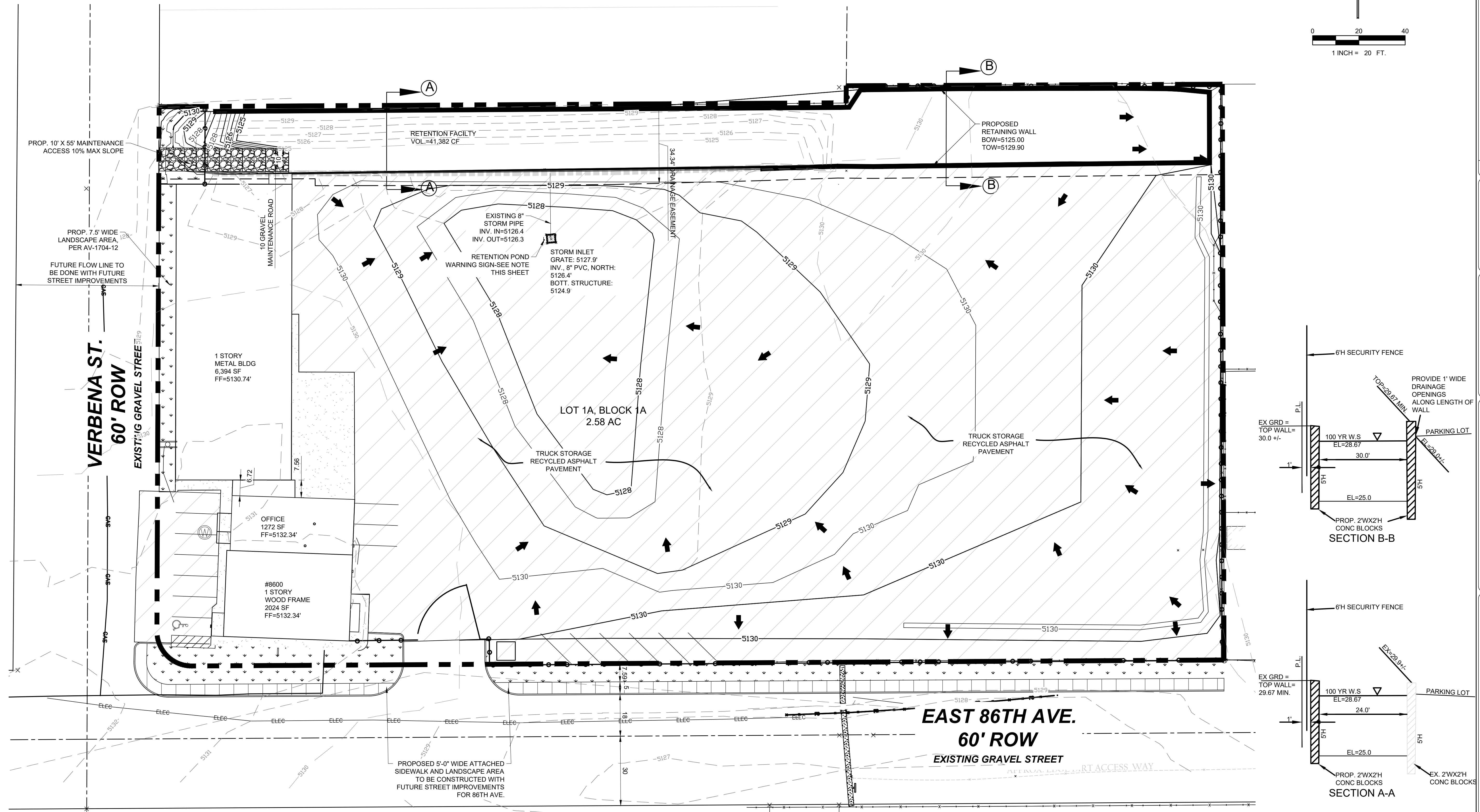
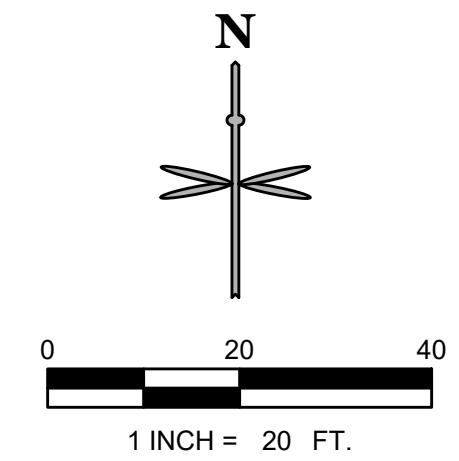


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PLUMB PIPELINE CONTRACTORS CO. COMMERCIAL CITY - 8600 VERBENA CAD/CADD GRADING PLANNING

# 8600 VERBENA STREET - JBS PIPELINE PHASE 2

A PORTION OF BLOCK 28, IRONDALE  
LOCATED IN THE NE1/4, SECTION 28 T2S, R67W 6TH PM  
CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO  
GRADING PLAN



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**Know what's below.  
Call before you dig.**

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CENTER OF COLORADO  
**1-800-922-1987 or 811**

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FLOOD HAZARD WARNING SIGN						
Cut/Fill Summary						
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
fg va eg	1.000	1.000	86072.85 Sq. Ft.	1393.22 Cu. Yd.	798.54 Cu. Yd.	594.69 Cu. Yd.<cut>
Totals			86072.85 Sq. Ft.	1393.22 Cu. Yd.	798.54 Cu. Yd.	594.69 Cu. Yd.<cut>

CITY COUNCIL CERTIFICATE:	CITY STAFF CERTIFICATE:
APPROVED BY THE DEPARTMENT OF COMMUNITY, THIS _____ DAY OF _____, 20____.	APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY
CITY SIGNATURE _____	THIS _____ DAY OF _____ A.D. _____

PROJECT NO: \_\_\_\_\_  
DESIGNED BY: DLA  
DRAWN BY: LCG  
DATE: 07/19/18

**P1.2**  
SHEET 3 OF 12

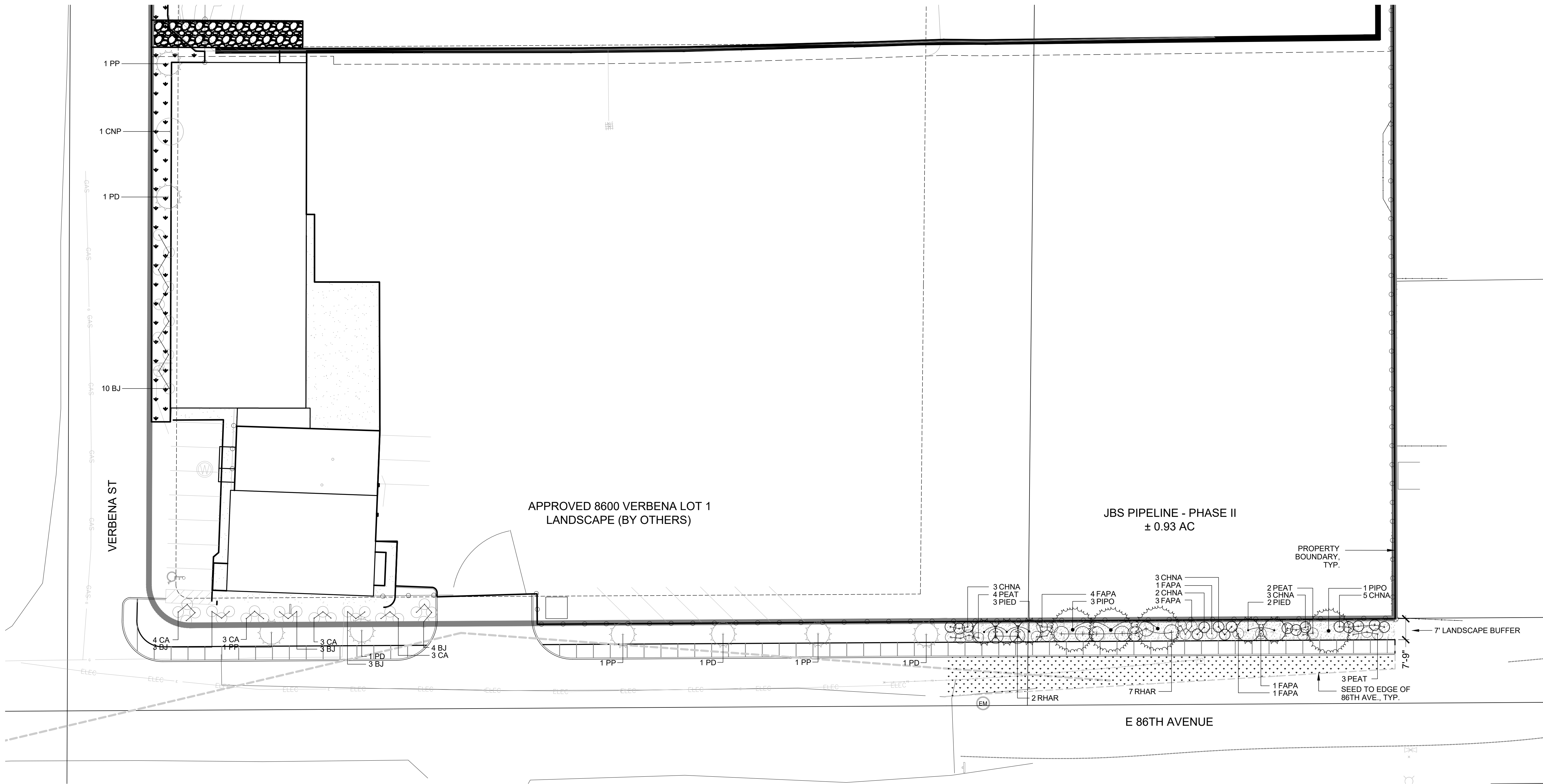
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SURVEILLANCE  
SOLUTIONS, INC.  
501 S Cherry St, Suite 300  
Denver, CO 80246  
303-572-7997 www.ees.us.com

DATE	
BY	
REVISION	
No.	

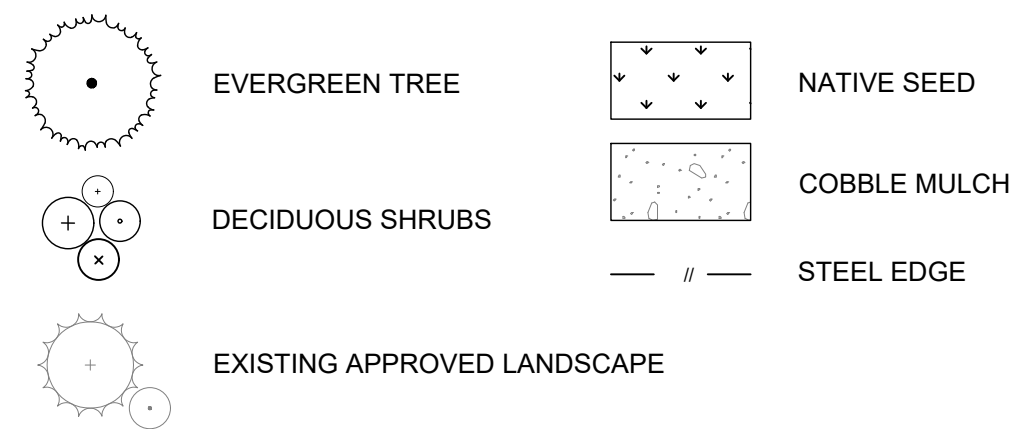
**JBS PIPELINE - PHASE 2**  
8600 VERBENA ST. COMMERCE CITY, CO

**GRADING PLAN**






LEGEND:



APPROVED VERBENA LOT 1 PLANT SCHEDULE (D-188-14)

<u>DECIDUOUS TREES</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
CNP		1	ACER PLATANOIDES 'COLUMNAR'	COLUMNAR NORWAY MAPLE
<u>EVERGREEN TREES</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
PP		4	PINUS EDULIS	PINON PINE
PD		4	PINUS PONDEROSA	PONDEROSA PINE
<u>SHRUBS</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>
BJ		23	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER
CA		13	CATONEASTER APICULATUS	CRANBERRY CATONEASTER

PLANT SCHEDULE

<u>EVERGREEN TREES</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>DETAIL</u>
PIED		5	PINUS EDULIS	PINON PINE	
PIPO		4	PINUS PONDEROSA	PONDEROSA PINE	
<u>DECIDUOUS SHRUBS</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>DETAIL</u>
CHNA		16	CHRYSOTHAMNUS NAUSEOSUS	RUBBER RABBITBRUSH	
FAPA		10	FALLUGIA PARADOXA	APACHE PLUME	
PEAT		9	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	
RHAR		9	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	
<u>SOD/SEED</u>		<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>DETAIL</u>
		1,648 SF	NATIVE SEED MIX	NATIVE SEED MIX	

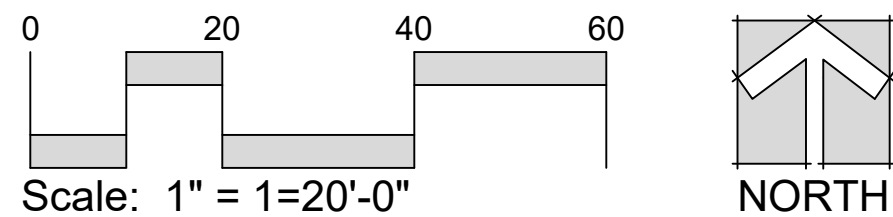
PAWNEE BUTTES LOW GROW MIX  
(25%) CANADA BLUEGRASS  
(25%) SANDBERG BLUEGRASS  
(25%) ROCKY MOUNTAIN FESCUE  
(25%) SHEEP FESCUE  
5 LBS/1,000 SF

PLANT REQUIREMENTS:

USE	AREA	TREES REQ.	SHRUBS REQ.	TREE PROV.	SHRUB PROV.
OVERALL LAND	3,840 SF	6.4 TREES	13 SHRUBS	4 TREES	36
LAND. BUFFER	163 LF	4.9 TREES	8 SHRUBS	5 TREES	8

TOTAL TE'S REQ.	134
TOTAL TE'S PROV.	134

NOTE:  
1. TREE EQUIVALENTS (TE'S): 1 TREE = 10 SHRUBS (5 GAL).





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Know what's below.  
Call before you dig.



**VALERIAN**  
Landscape Architecture | Urban Design  
Irrigation Design | Planning

970 Yuma Street | Suite 130 | Denver, CO 80204

PROJECT NO:

DESIGNED BY:

DRAWN BY:

DATE:

10032018

NR

NR

09/06/18

LANDSCAPE PLAN REVISIONS

LANDSCAPE PLAN REVISIONS

3

4

REVISION

BY

DATE

LANDSCAPE PLAN REVISIONS

NR

10/03/2018


LANDSCAPE PLAN REVISIONS

NR

01/25/2019

PRELIMINARY  
NOT FOR  
CONSTRUCTION

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SOLUTIONS, INC.



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JBS PIPELINE - PHASE 2

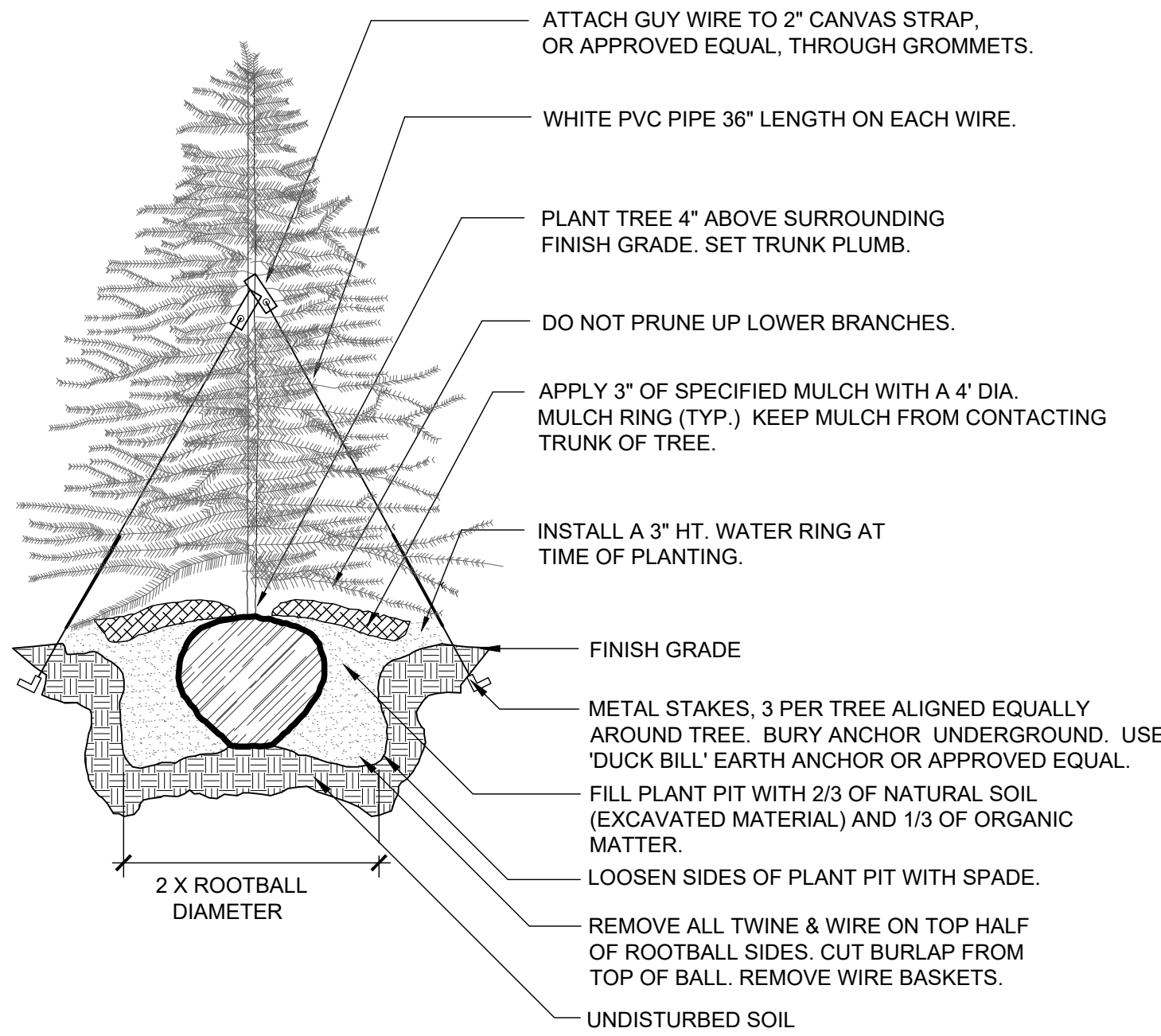
COMMERCE CITY, CO

LANDSCAPE PLAN

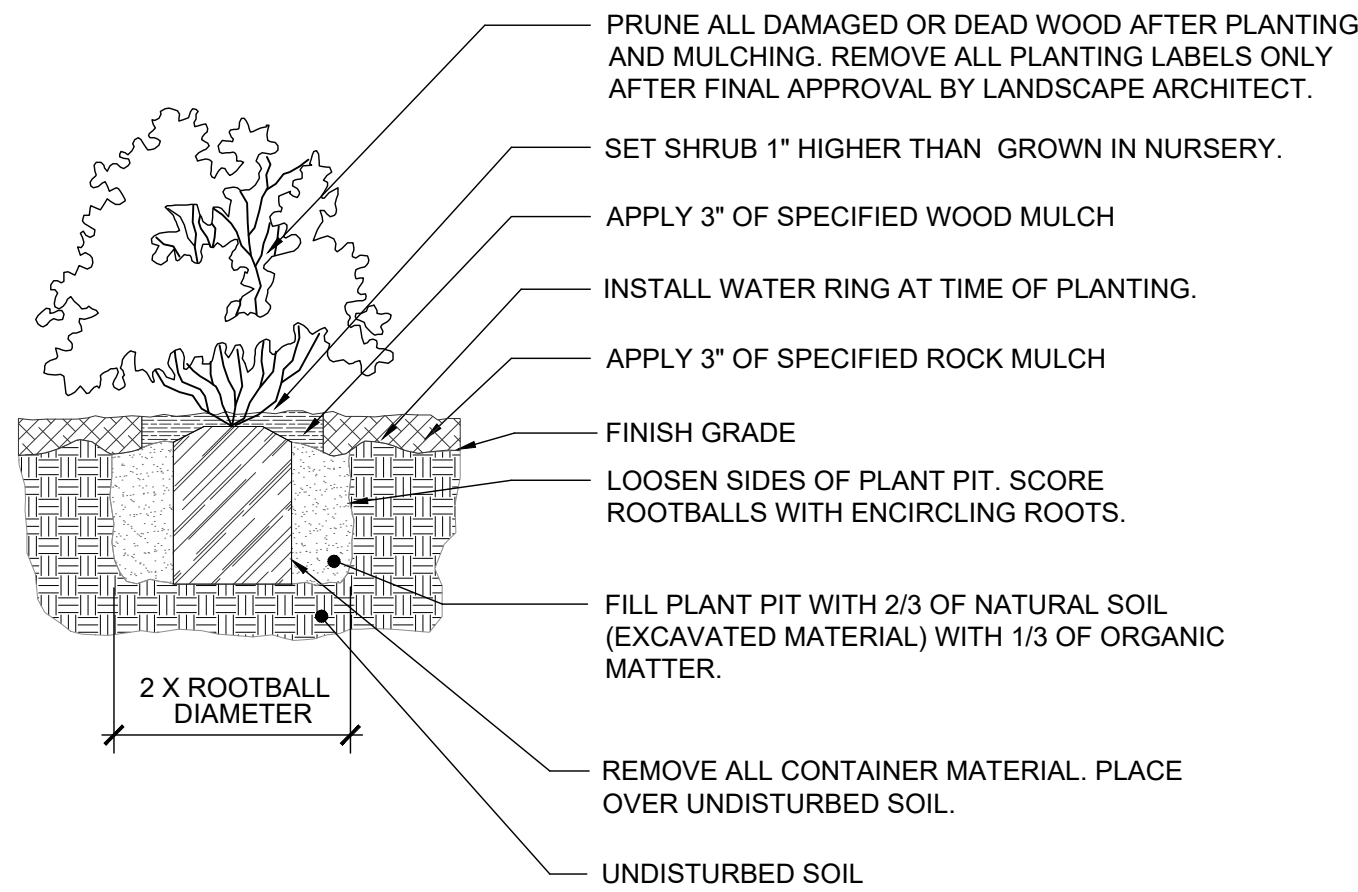
SHEET  
04 OF 11



- NOTES:
1. DO NOT REMOVE OR CUT LEADER.
  2. PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
  3. DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
  4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  5. REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

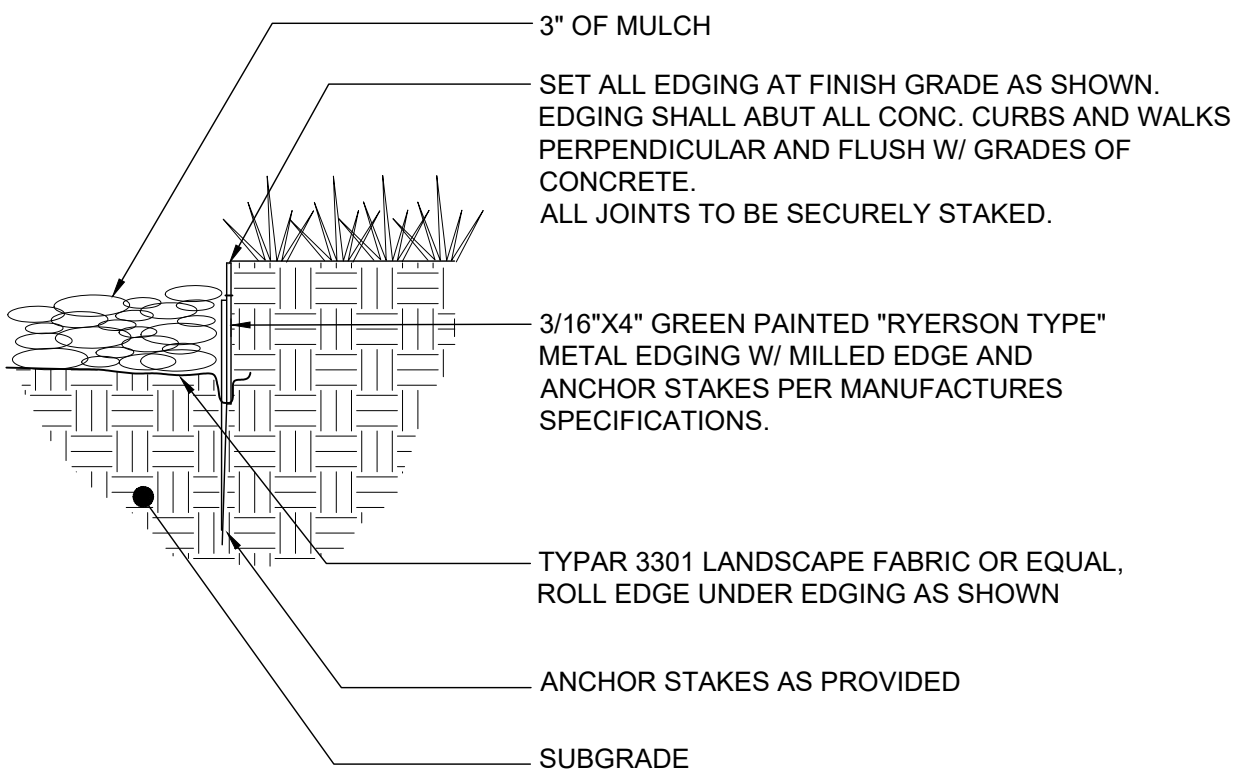


1 EVERGREEN TREE PLANTING  
1" = 1'-0" 323129.23-10



NOTE: ANY PLANT NOT IN ACCORDANCE WITH COLORADO NURSERY ACT REQUIREMENTS WILL BE REJECTED. HOLD MULCH GRADE 1" BELOW EDGE OF WALK, EDGING AND CURB. JUNIPER PLANTS SHALL BE PLANTED WITH TOP OF ROOTBALL AT FINISH GRADE OF MULCH LAYER.

2 SHRUB / ORNAMENTAL GRASS PLANTING W/MULCH RING  
1" = 1'-0" 32 9333.13-11



3 STEEL EDGING  
1" = 1'-0" 323129.23-10

## GENERAL NOTES:

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
2. COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
4. NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

## CLEARING & GRADING:

1. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES AND DEVELOPMENT STANDARDS; UNIFORM BUILDING CODES; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, STANDARDS, AND POLICIES.
2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER RELATED OR REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR (1) TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND (2) TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

## SOIL SPECIFICATIONS:

1. ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS REPRESENTATIVES DISCRETION.
2. LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANYTIME PRIOR TO INITIAL ACCEPTANCE.
3. LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24 HOURS AFTER DELIVERY.
4. IMPORTED TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM FROM THE 2' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH.
5. ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS I TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES, PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE **NOT ACCEPTABLE**. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
6. SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
7. PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/ SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

## PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
2. THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS.
  - A) ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
  - B) PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
  - C) LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
  - D) PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
  - E) PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
4. CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
5. LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
6. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/D RIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION.

## EDGING:

1. ALL EDGING SHALL BE 3/16" X 5 1/2" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURE'S SPECIFICATIONS OR EQUAL

## MULCH

1. PLANTING BEDS SHALL CONTAIN 2"-4" RIVER ROCK COBBLE MULCH OVER FABRIC AT A MINIMUM DEPTH OF 3" WITH A DOUBLE SHREDDED WOOD MULCH RING AROUND EACH TREE, SHRUB, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUB, GRASS OR PERENNIAL. TREE MULCH RING SHALL BE GREEN INDUSTRY STANDARD SIZE.
2. GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

## COMMERCE CITY NOTES:

1. REFERENCE THE COMMERCE CITY LANDSCAPE STANDARDS "FACTS TO KNOW" DOCUMENT FOR ALL LANDSCAPE STANDARDS AND SPECS.
2. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5 INCH DIAMETER FOR ORNAMENTAL TREES AND 6" HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER, PERENNIALS AND SOUND COVERS 2-3" POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% CONIFEROUS (EVERGREEN) AND 50% DECIDUOUS (TREE LAWN AREAS BETWEEN CURBS AND DETACHED WALKS SHALL BE ALL DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6 INCHES FOR EVERY 1,000 SF OF LANDSCAPE AREA.
3. STREET TREES: THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
4. WEED BARRIER: POROUS WEED FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
5. EDGING-PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
6. IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
7. IRRIGATION: ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
8. MAINTENANCE:
  - 8.1. THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
  - 8.2. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
  - 8.3. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
12. VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
13. SIGHT LINE CONSIDERATIONS: ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT - DISTANCE-TRIANGLES. INFORMATION ON THE SIGHTDISTANCE-TRIANGLES MAY BE OBTAINED FROM THE
14. CITY OF COMMERCE CITY ENGINEERING STANDARDS IMPLEMENTATION AND COORDINATION OF LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
15. NATIVE GRASS NOTE: ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED, SHALL BE, AT A MINIMUM, SEEDDED WITH NATIVE GRASSES.



Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



VALERIAN  
Landscape Architecture | Urban Design  
Irrigation Design | Planning

970 Yuma Street | Suite 130 | Denver, CO 80204

DATE	10/03/2018
BY	NR
REVISION	LANDSCAPE PLAN REVISIONS
No.	3
REVISION	LANDSCAPE PLAN REVISIONS
No.	4
REVISION	
No.	
REVISION	

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ENTITLEMENT AND  
ENGINEERING  
SOLUTIONS, INC.

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Denver, CO 80202  
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303-672-7997



JBS PIPELINE - PHASE 2

COMMERCE CITY, CO

LANDSCAPE DETAILS AND NOTES

PROJECT NO:	
DESIGNED BY:	CK
DRAWN BY:	NR
DATE:	09/06/18

SHEET  
05 OF 11



PARKING STALLS	
AVERAGE	1.26 ft
MAXIMUM	3.0 ft
MINIMUM	0.5 ft

OVERALL PHOTOGRAPHIC STATISTICS	
AVERAGE	0.1 ft
MAXIMUM	4.5 ft
MINIMUM	0.1 ft



681 Sierra Rose Dr., Ste. B | Reno, Nevada 89511 | 775.826.9010  
5105 DTC Parkway Suite 420 | Greenwood Village, Colorado 80111 | 720.481.3290  
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APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY

THIS DAY OF A.D.

**Know what's below.**  
**Call before you dig.**

**811**

**CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.**

**P.C.C. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.**

Know what's **below**.  
Call before you dig.  
**811**

**CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.**

**P.C.C. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.**

COMMERCE CITY, CO

INITIAL PLAN  
RELEASE: 9/2018  
DESIGNED BY: RP  
DRAWN BY: RP  
CHECKED BY: MG

SHEET  
6 of 11







CODE INFORMATION

TYPE OF CONSTRUCTION: V-B  
OCCUPANCY CLASSIFICATION: B  
CHANGE OF OCCUPANCY USE OR GROUP: NO  
TYPE OF USE: BUSINESS  
OCCUPANCY SEPARATION: B AND S-2, 2-HOUR FIRE RATING

APPLICABLE CODES

2012 International Building Code (IBC) and Amendments  
2012 International Mechanical Code (IMC) and Amendments  
2012 International Plumbing Code (IPC) and Amendments  
2012 International Fuel Gas Code (IFGC) and Amendments  
2012 International Energy Conservation Code (IECC) and Amendments  
2014 National Electrical Code (NEC)  
2009 ICC A117.1 STANDARDS

Occupant Load Using IBC Table 1004.1.2= 25 Total\*

\* See Area Schedule

2 exit's required

2 exits provided.

HANDICAP ACCESSIBILITY CODE: ANSI A117.1

2 STORIES 25' 4" HEIGHT

FIRE PROTECTION: NON-SPRINKLERED

TENANT AREA: 2,665 S.F.

OCCUPANT LOAD: GROSS AREA/OCCUPANT LOAD FACTOR

4560 SF / 100 = 46

MEANS OF EGRESS:

MAXIMUM TRAVEL DISTANCE: 200' (NON-SPRINKLED)

ACTUAL TRAVEL DISTANCE: 75' - 0"

NUMBER OF EXITS REQUIRED: 2

NUMBER OF EXITS PROVIDED: 2

MINIMUM DOOR WIDTH: 0.2 X 26 = 5.2'

(ACTUAL) = 72"

MIN. DOOR IS 36"

DIAGONAL DISTANCE OF SPACE IS: 60'-3"

1/2 DIAGONAL DISTANCE OF SPACE IS: 30' - 1 1/2"

DISTANCE BETWEEN EXITS IS 53'-10 1/2"

PLUMBING FIXTURES: PER TABLE 2002.1

SEE PLUMBING FIXTURE SCHEDULE

ALLOWABLE AREAS:

B OCCUPANCY: 9,000 SF, 2 STORIES

S-2 OCCUPANCY: 13,500 SF, 2 STORIES

ACTUAL BUILDING AREAS:

EXISTING OFFICES SOUTH + PROPOSED BUSINESS ADDITION:

4,560 SF, 2 STORIES

EXISTING BUILDING NORTH:

6400 SF, 1 STORY

AREA SCHEDULE

NAME	AREA
------	------

OFFICES (B)	706 SF
OFFICES (B)	1296 SF
RECEPTION (B)	559 SF
BREEZEWAY (S-2)	156 SF

Grand total: 4 2717 SF / 100 GROSS = 27

BUILDING INFORMATION

JURISDICTION:

COMMERCE CITY, CO

ZONING:

I-2

HEIGHT RESTRICTIONS:

15'-0" MIN. - 50'-0" MAX.

SETBACKS:

20' -0" FRONT SETBACK  
20'-0" SIDE SETBACKS  
25'-0" REAR SETBACK

FOR CLIMATE ZONE 5 PER 2012 IECC

MAXIMUM GLAZING U-FACTOR

0.38

FIXED

0.45

OPERABLE

0.4

MAXIMUM SHGC

R-38

CEILINGS

R-20 or

ABOVE-GRADE WALLS

R-13 or R-8 ci

BELOW-GRADE WALLS

R-7.5 ci

FLOORS

R-10

OPAQUE DOORS

U-0.37

SWINGING

R-4.75

ROLL-UP OR SLIDING

ci = CONTINUOUS INSULATION

CODE INFORMATION

1/2" = 1'-0"

BUILDING SECTION NUMBER

BUILDING SECTION (PLAN)

BUILDING SECTION (ELEVATION)

ELEVATIONS

WALL SECTION

DETAIL CALLOUT

DETAIL NUMBER

SHEET NUMBER

DRAWING SYMBOL LEGEND

AREA SCHEDULE - EXISTING

NAME

AREA

EXISTING OFFICES SOUTH (B)

1999 SF

EXISTING BUILDING NORTH (S-2)

6495 SF

/ 100 GROSS = 20

/ 300 GROSS = 22

DRAWING LIST

NO.	NAME
-----	------

A0	COVER
A1	MAIN FLOOR PLAN
A2	UPPER FLOOR PLAN
A3	ROOF PLAN
A4	EAST ELEVATIONS
A5	WEST ELEVATIONS
A6	SOUTH ELEVATIONS
A7	NORTH ELEVATION
A8	SECTIONS AND DETAILS
A9	WALL SECTIONS AND DETAILS
A10	BREEZEWAY DETAILS
A11	UL DETAILS
A12	UL DETAILS
E1	CONCEPTUAL ELECTRICAL PLANS

REVISION SCHEDULE

REVISION #	DATE
1	5/25/18
2	7/20/18

REVISION SCHEDULE

REVISION #	DATE
1	5/25/18
2	7/20/18

ROOM NAME WITH FLOOR FINISH

WINDOW TAG

DOOR TAG

REVISION TAG

LEVEL TAGS

DRAWING TITLE

ROOM NAME

FLOOR FINISH

LEVEL NAME

LEVEL ELEVATION

NAME ELEVATION

NAME ELEVATION

DRAWING NAME

SCALE

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WORKING

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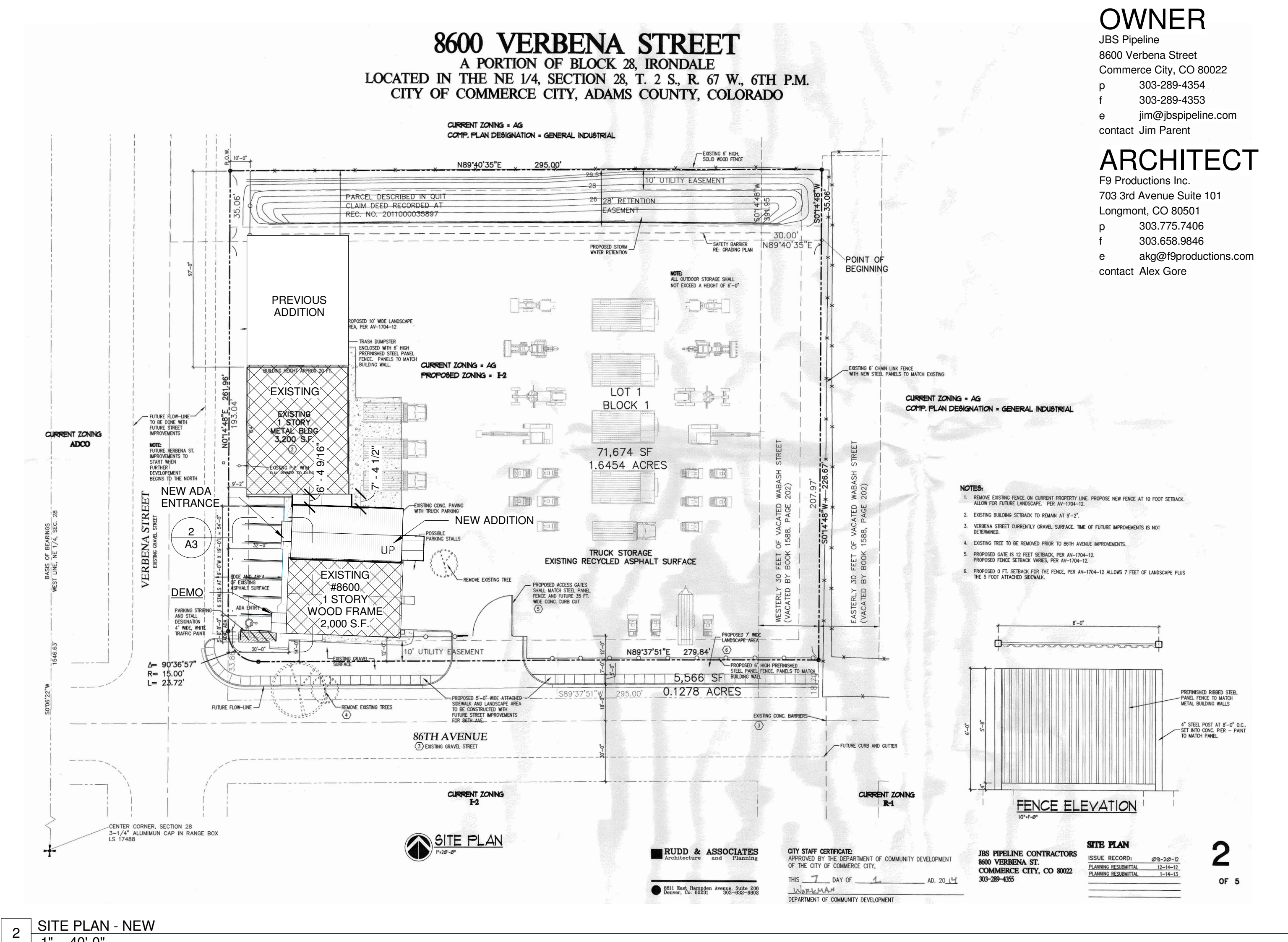
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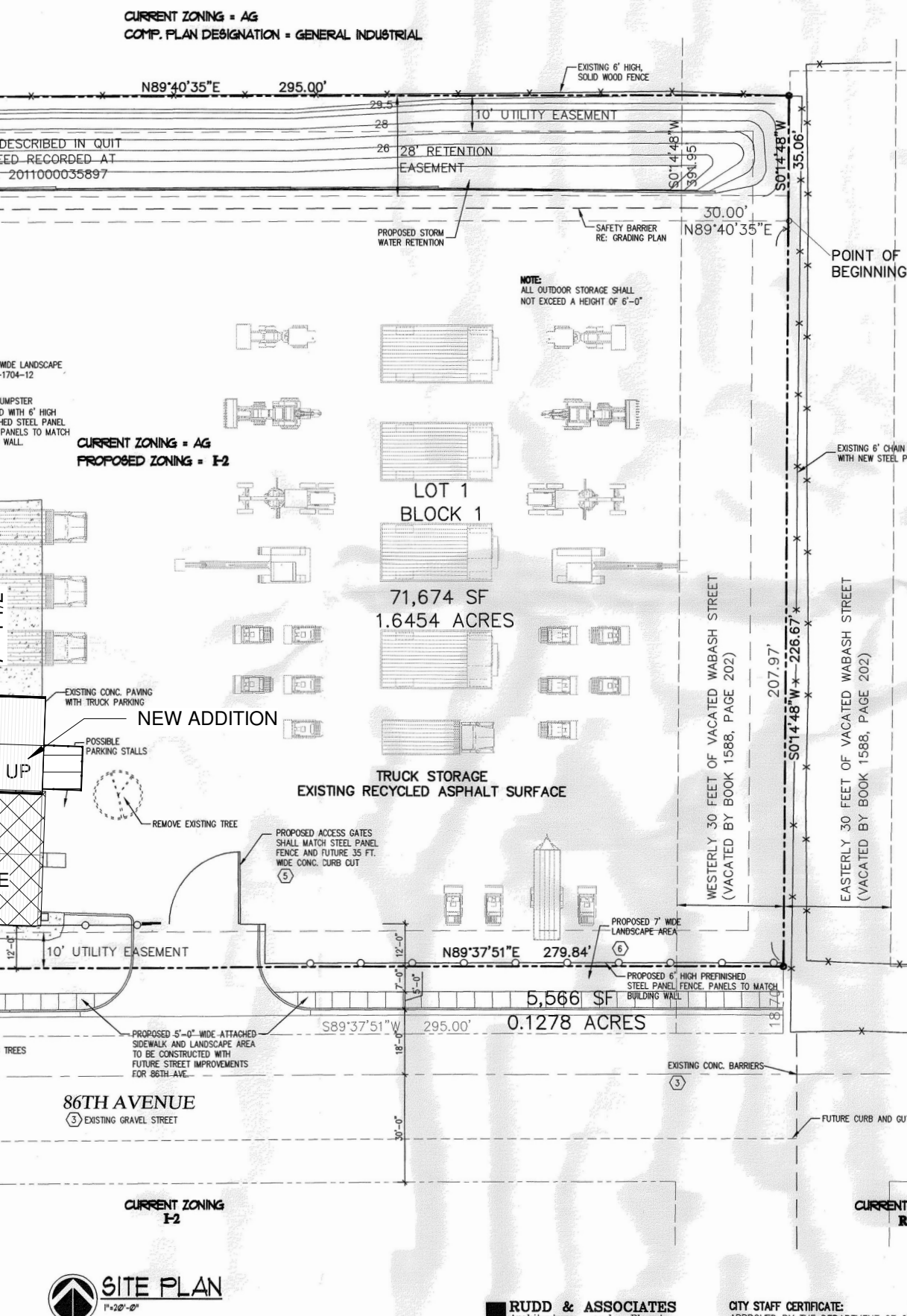


SITE PLAN - NEW

1" = 40'-0"

8600 VERBENA STREET

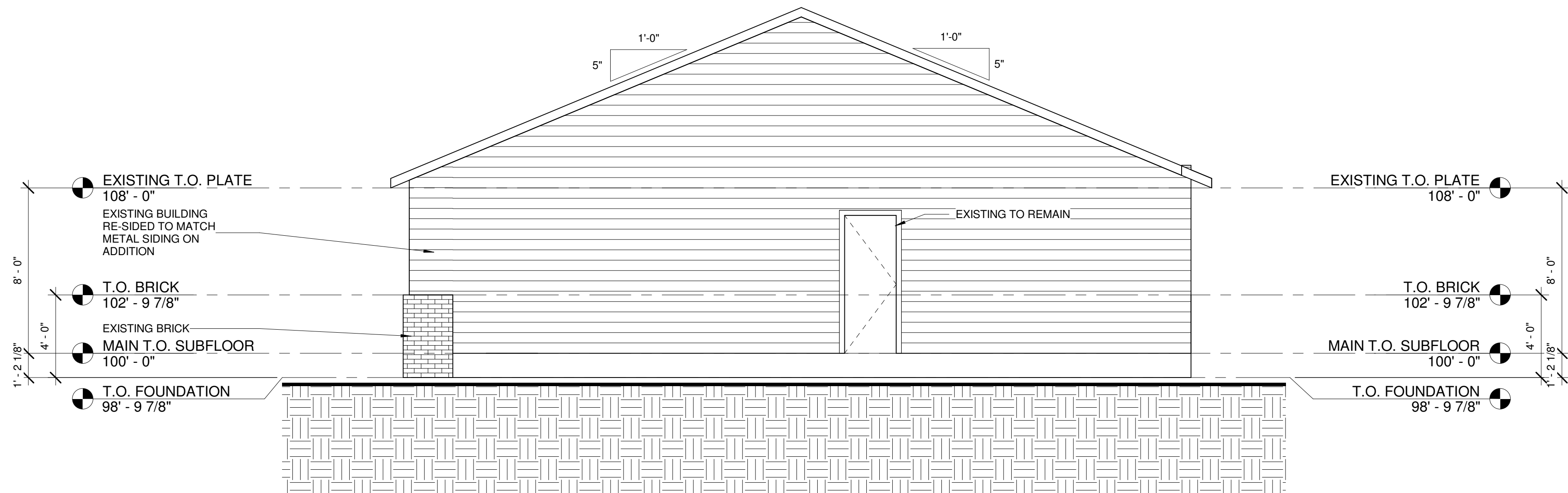
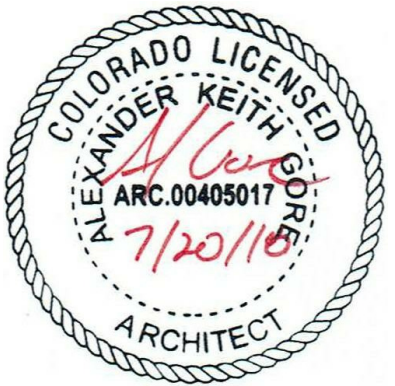
A PORTION OF BLOCK 28, IRONDALE  
LOCATED IN THE NE 1/4, SECTION 28, T. 2 S., R. 67 W., 6TH P.M.  
CITY OF COMMERCE CITY, ADAMS COUNTY, COLORADO



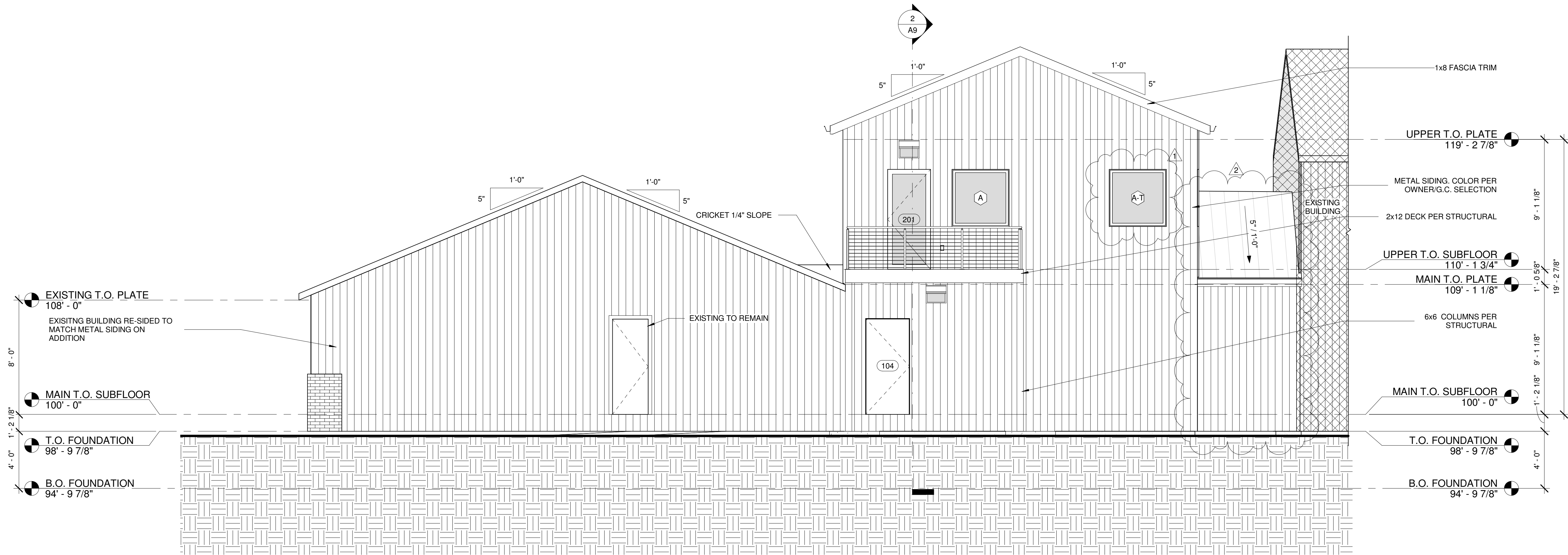
SITE PLAN

1" = 40'-0"





2 EAST ELEVATION - EXISTING  
1/4" = 1'-0"



1 EAST ELEVATION - NEW  
1/4" = 1'-0"

F9

ISSUE NUMBER 1805025  
TIME STAMP 7/20/2018 9:51:48 AM

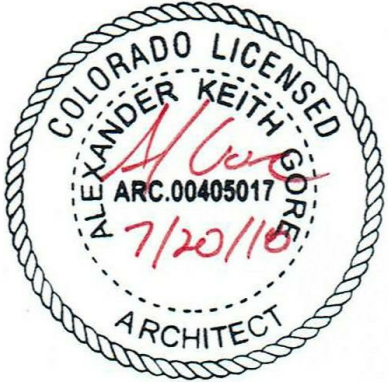
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COMMERCE CITY, CO 80022

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F9 PRODUCTIONS INC.

A4

EAST ELEVATIONS





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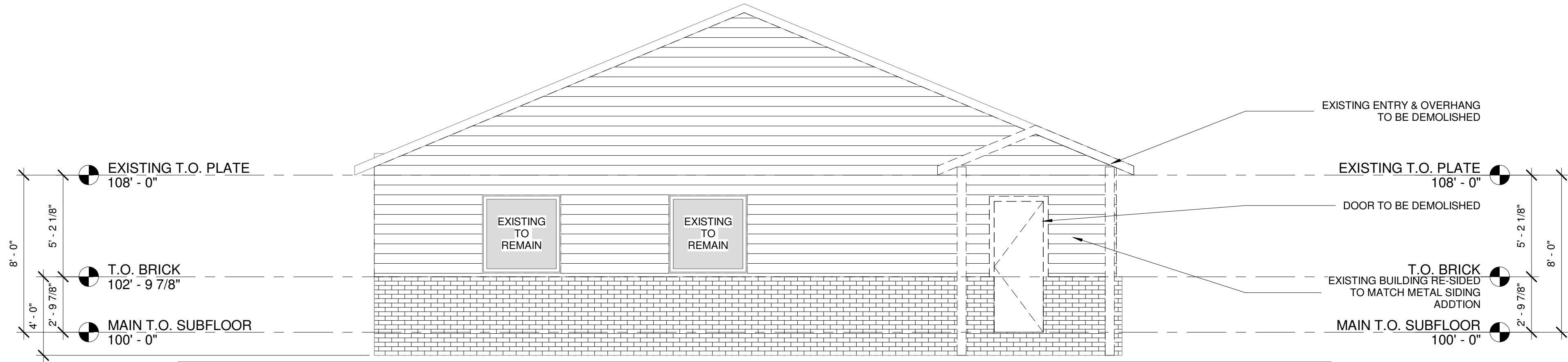
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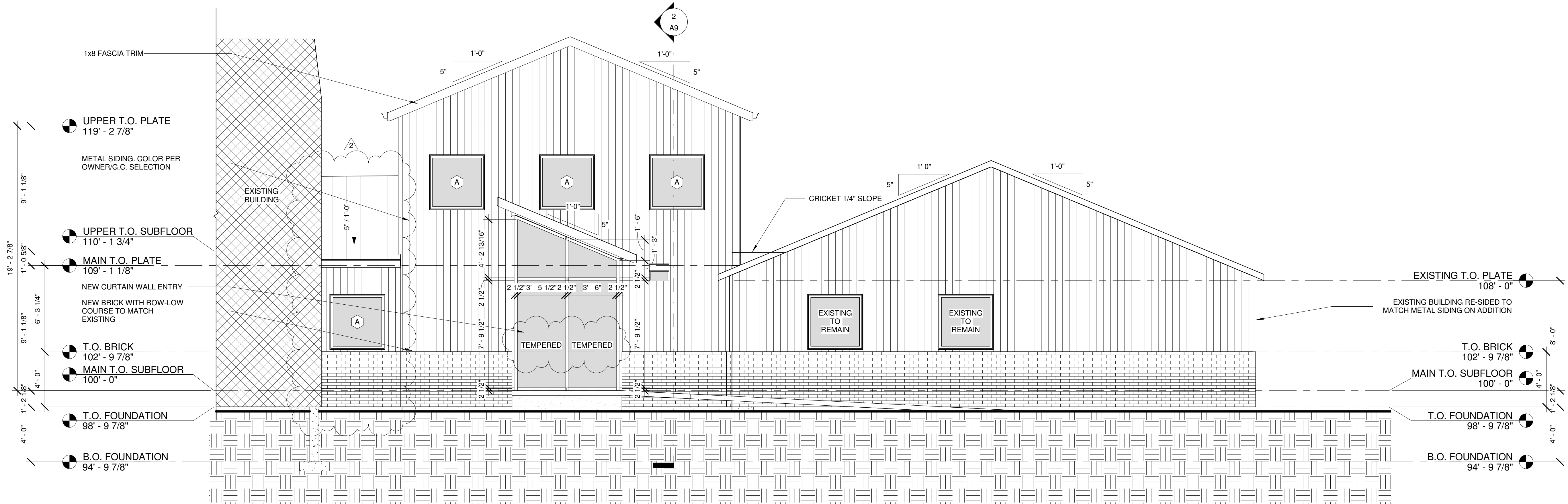
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1 WEST ELEVATION - EXISTING  
1/4" = 1'-0"

F9



2 WEST ELEVATION - NEW  
1/4" = 1'-0"

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A5

WEST ELEVATIONS



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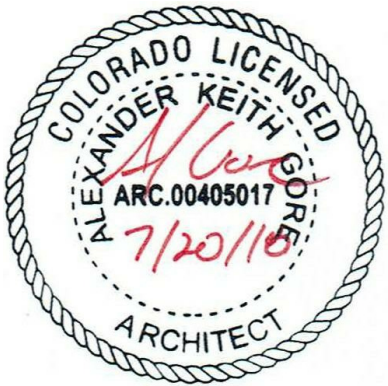
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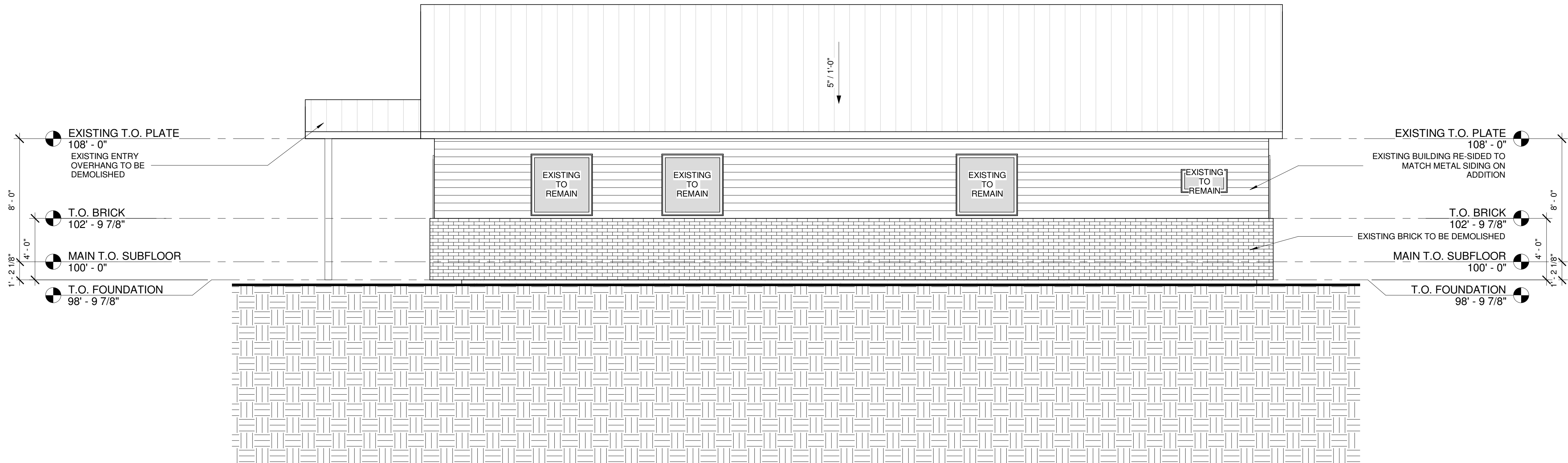
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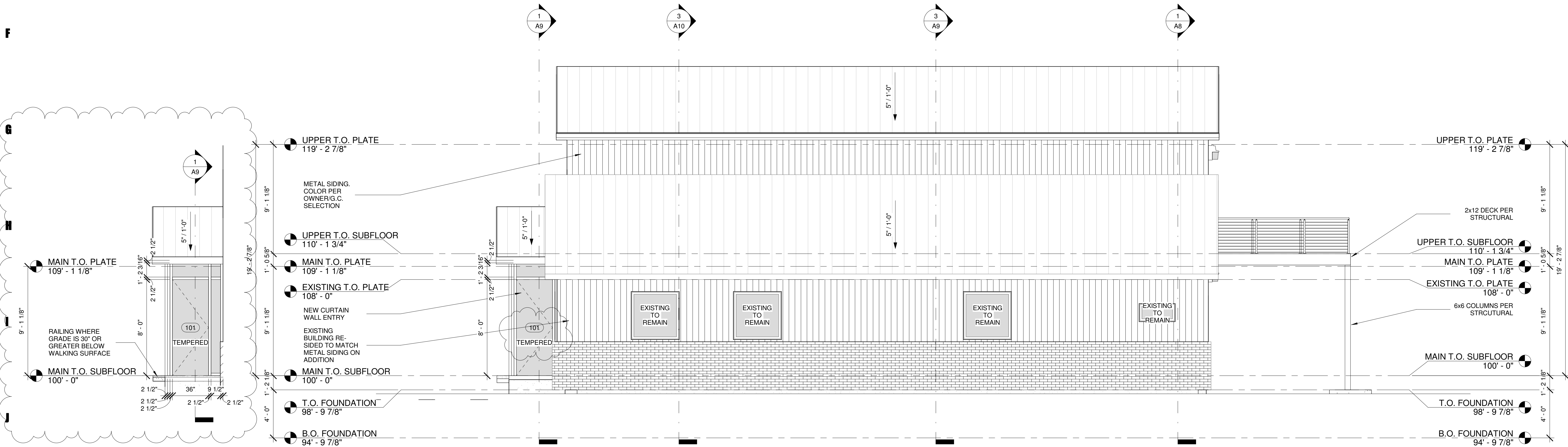
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1 SOUTH ELEVATION - EXISTING  
1/4" = 1'-0"



3 SOUTH ELEVATION - ENTRY  
1/4" = 1'-0"

2 SOUTH ELEVATION - NEW  
1/4" = 1'-0"

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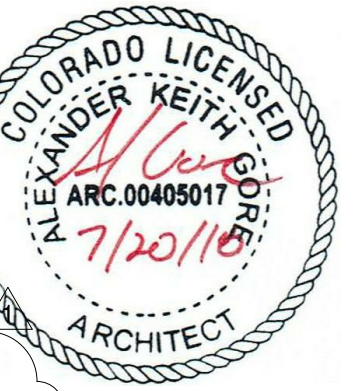
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F9 PRODUCTIONS INC.

A6

SOUTH ELEVATIONS





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## IBC FIRE AND SMOKE PROTECTION 705.8

For unprotected, nonsprinklered walls more than 5' and less than 10' from neighboring exterior wall will have a maximum allowable opening area of 10%.

- ▣ = 1,009 SQFT  
▣ = 100 SQFT

**NORTH ELEVATION**  
TOTAL WALL = 1,109 SQFT  
100 SQFT / 1,109 SQFT = 9.0%

UPPER T.O. PLATE  
119' - 2 7/8"

UPPER T.O. SUBFLOOR  
110' - 1 3/4"  
MAIN T.O. PLATE  
109' - 1 1/8"

MAIN T.O. SUBFLOOR  
100' - 0"

T.O. FOUNDATION  
98' - 9 7/8"

B.O. FOUNDATION  
94' - 9 7/8"

**NORTH ELEVATION - OPENING CALCULATIONS**  
1/8" = 1'-0"

UPPER T.O. PLATE  
119' - 2 7/8"

UPPER T.O. SUBFLOOR  
110' - 1 3/4"  
MAIN T.O. PLATE  
109' - 1 1/8"

MAIN T.O. SUBFLOOR  
100' - 0"

T.O. FOUNDATION  
98' - 9 7/8"

B.O. FOUNDATION  
94' - 9 7/8"

MAIN T.O. SUBFLOOR  
100' - 0"

T.O. FOUNDATION  
98' - 9 7/8"

**EXISTING NORTH BUILDING - SOUTH ELEVATION OPENING CALCULATIONS**  
1/8" = 1'-0"

## IBC FIRE AND SMOKE PROTECTION 705.8

For unprotected, nonsprinklered walls more than 5' and less than 10' from neighboring exterior wall will have a maximum allowable opening area of 10%.

- ▣ = 1,124 SQFT  
▣ = 52 SQFT

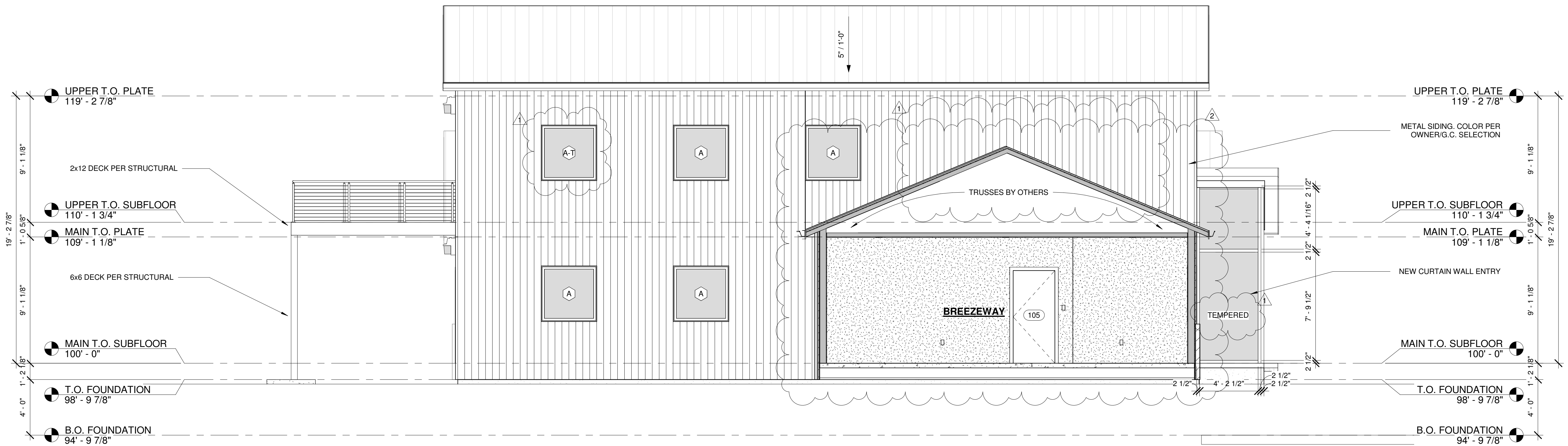
**SOUTH ELEVATION**  
TOTAL WALL = 1,176 SQFT  
52 SQFT / 1,176 SQFT = 4.4%

VENT

WINDOW

MAIN T.O. SUBFLOOR  
100' - 0"

T.O. FOUNDATION  
98' - 9 7/8"



**1 NORTH ELEVATION - NEW**  
1/4" = 1'-0"

ISSUE NUMBER 1805025  
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**OFFICE ADDITION**  
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**F9 PRODUCTIONS INC.**  
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