

4150 E. 60TH AVE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

SITE DEVELOPMENT PLAN
COVER SHEET

DEVELOPMENT PLAN NOTES:

- LIGHTING PLAN: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6- FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THE DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- FENCING NOTE: APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.
- DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
- AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT.
- CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- EXISTING SECURITY FENCING WILL REMAIN IN PLACE AS CURRENTLY EXISTS. 6' CHAIN LINK WITH 3 STRANDS BARBED WIRE ABOVE.
- EXISTING 8' SHEET METAL FENCING TO REMAIN IN PLACE AND BE CONTINUED WITH SIMILAR MATERIAL AS DETAILED IN DRAWINGS.
- ANY FEATURE NOT IDENTIFIED WILL DEFAULT TO THE LDC.
- ACCESS IS PRELIMINARY AND SUBJECT TO FINAL APPROVAL BY CITY PUBLIC WORKS.
- DRAINAGE IS PRELIMINARY AND SUBJECT TO FINAL APPROVAL BY CITY PUBLIC WORKS.
- EXISTING AND PROPOSED SHEET METAL FENCING SHALL BE INSPECTED AND MAINTAINED BY SITE STAFF ON AN ONGOING BASIS TO REMOVE/PREVENT ANY GRAFFITI ON THE FENCING.
- THE MATERIALS ON THE PROPOSED NEW BUILDING (4220 E. 60TH AVE) WILL BE COMPATIBLE WITH THE EXISTING ADJACENT INDUSTRIAL BUILDING (4240 E. 60TH AVE) THAT IS TO REMAIN.

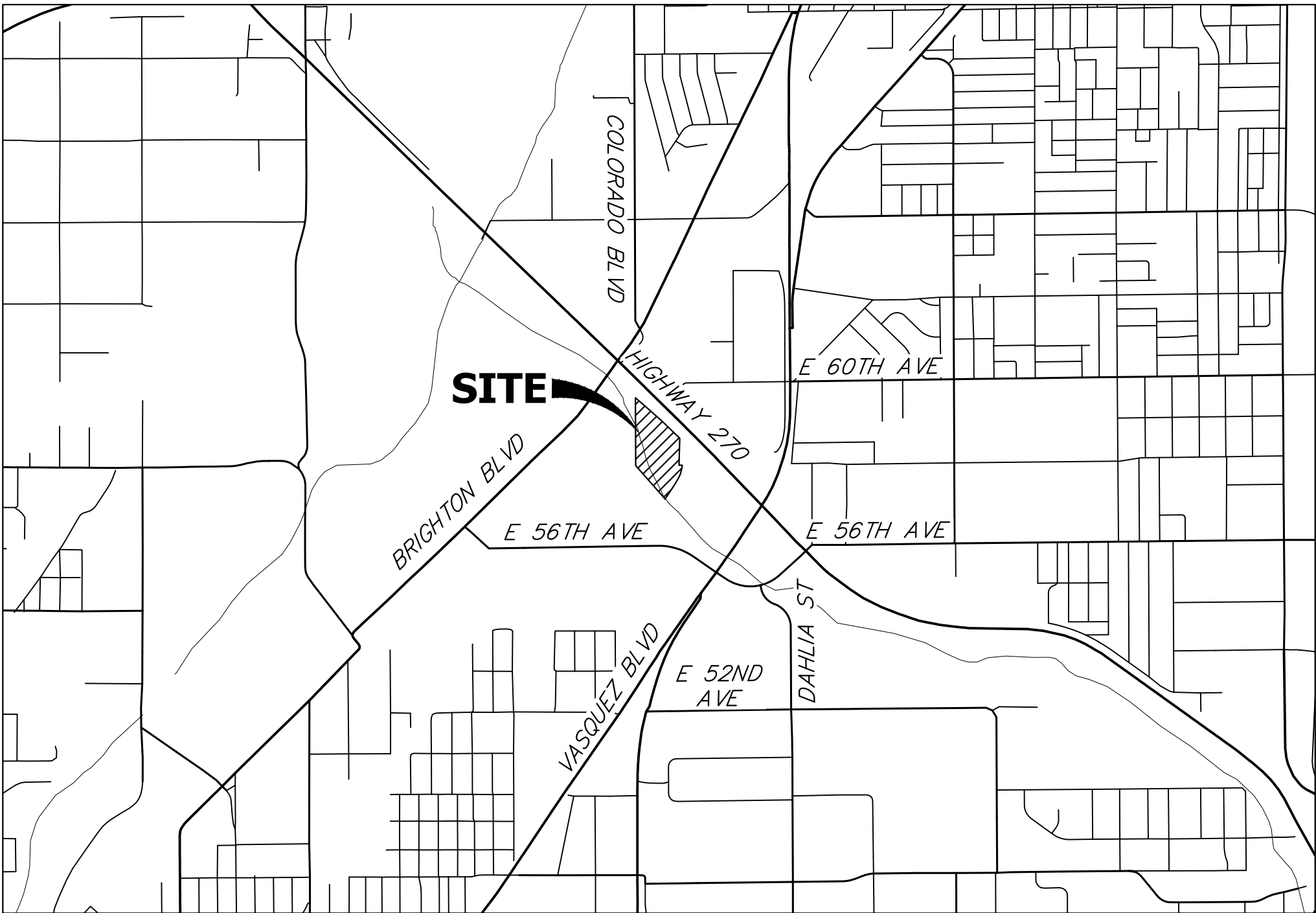
PROJECT STATISITICS

GROSS SITE ACREAGE:	16.92 ACRES
NET SITE ACREAGE:	16.92 ACRES
AREA OF EXISTING BUILDINGS:	29,410 SF
AREA OF EXISTING BUILDINGS TO REMAIN:	13,507 SF OFFICE 3,584 SF INDUSTRIAL
AREA OF PROPOSED BUILDINGS:	71,600 SF
GROSS DENSITY:	N/A
NET LANDSCAPING AREA:	98,388 SF
LOT COVERAGE / FLOOR AREA RATIO:	0.12
PARKING SPACES:	120
TYPE OF BUILDING CONSTRUCTION:	INDUSTRIAL
OCCUPANCY:	OFFICE/INDUSTRIAL
CURRENT ZONING:	I-3
ESTIMATED NUMBER OF EMPLOYEES:	90
LOT COVERAGE / FLOOR AREA RATIO:	0.12

PARKING SPACE CALCULATION

1 SPACE/1000 S.F. OF INDUSTRIAL +1 SPACE/300 S.F. FOR OFFICE
PROPOSED BUILDING (71,600 S.F.+ EXISTING 3,584 S.F./1000)
EXISTING BUILDING TO REMAIN (13,507 S.F./300)
TOTAL 75+45=120 SPACES

EV PARKING: 10 PROVIDED SPACES IN ADDITION TO REQUIRED PARKING SPACES.



VICINITY MAP
SCALE: 1"=2000'

SHEET INDEX

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18-20	LANDSCAPE PLAN
21-23	DETAILS
24	FENCING PLAN
24	TOTAL

APPLICANT/OWNER

WASTE CONNECTIONS
5500 FRANKLIN STREET
DENVER, CO 80216
MARK ADAMS — 405.206.5350

CIVIL ENGINEER/SURVEYOR

JR ENGINEERING
7200 SOUTH ALTON WAY, SUITE C400
CENTENNIAL, CO
JIM FITZMORRIS — 303.740.9393

PLANNER/ARCHITECT

INTERGROUP ARCHITECTS
2000 WEST LITTLETON BLVD.
LITTLETON, CO 80120
JOHN TWEEDY — 303.738.8877

LANDSCAPE ARCHITECT

KIRBY SMITH & ASSOCIATES, INC.
6201 SOUTH HUDSON CT.
CENTENNIAL, CO 80121
KIRBY SMITH — 303.694.9484

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT
OF THE CITY OF COMMERCE CITY,
THIS ____ DAY OF ____, 20__

DEPARTMENT OF COMMUNITY DEVELOPMENT

LEGAL DESCRIPTION

TRACT 1:
THAT PART OF THE NORTH 1/2 OF LOT 2 IN THE SW 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67WEST OF THE 6TH P.M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 2 THENCE SOUTH 211.9 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF I-270 AS DESCRIBED IN BOOK 1199 AT PAGE 41, WHICH IS ALSO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 1109.8 FEET TO THE SOUTHWEST CORNER OF THE NORTH 1/2 OF SAID LOT 2; THENCE EAST ALONG THE SOUTH LINE OF THE NORTH 1/2 OF LOT 2, A DISTANCE OF 337.6 FEET TO THE SOUTHWEST CORNER OF PROPERTY DESCRIBED IN BOOK 619 AT PAGE 92; THENCE NORTH 645.1 FEET TO THE NORTHWEST CORNER OF PROPERTY DESCRIBED IN BOOK 619 AT PAGE 92; THENCE EAST 80.2 FEET TO THE SOUTHWEST CORNER OF PROPERTY DESCRIBED IN BOOK 868 AT PAGE 496; THENCE NORTH ALONG THE WEST LINE OF PROPERTY DESCRIBED IN BOOK 868 AT PAGE 496; A DISTANCE OF 46 FEET TO THE SOUTHWEST LINE OF I-270 AS DESCRIBED IN BOOK 1199 AT PAGE 41; THENCE NORTHWESTERLY ALONG SAID SOUTHWEST LINE 592.4 FEET TO THE TRUE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT 2:
A PARCEL OF LAND LOCATED IN THE SW 1/4 OF THE SW 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SW 1/4 OF SW 1/4;
THENCE NORTH 89 DEGREES 20 MINUTES EAST, ALONG THE NORTH LINE OF SAID SW 1/4 OF SW 1/4 A DISTANCE OF 748.7 FEET MORE OR LESS TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF THE CHICAGO, BURLINGTON & QUINCY RY. MARKET ST. SPUR; THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY RIGHT OF WAY LINE OF THE CHICAGO, BURLINGTON & QUINCY RY. MARKET ST. SPUR ON A CURVE TO THE RIGHT HAVING A RADIUS OF 691.7 FEET, A DISTANCE OF 288.37 FEET TO A POINT OF TANGENT, THE LONG CHORD OF SAID CURVE BEARING SOUTH 20 DEGREES 05 MINUTES WEST, A DISTANCE OF 286.26 FEET; THENCE SOUTH 33 DEGREES 02 MINUTES WEST, ALONG THE NORTHWESTERLY RIGHT OF WAY LINE OF THE CHICAGO, BURLINGTON & QUINCY RY. MARKET ST. SPUR, A DISTANCE OF 327.17 FEET; THENCE NORTH 41 DEGREES 27 MINUTES WEST A DISTANCE OF 713.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO

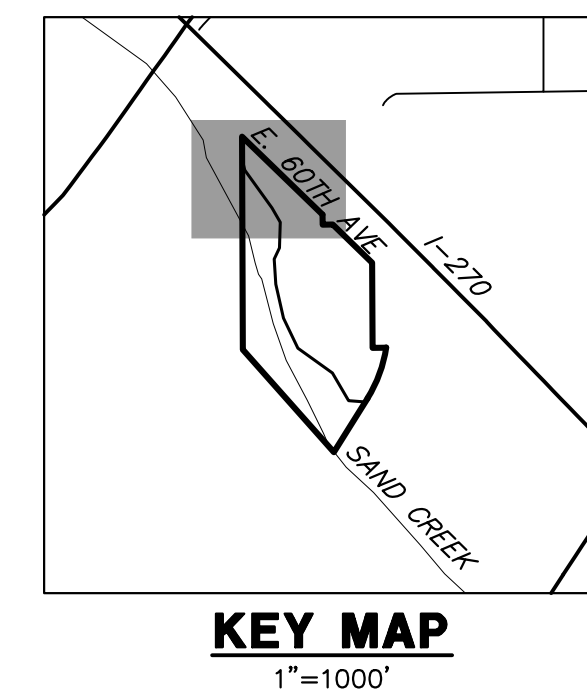
TRACT 3:
ALL THAT PORTION OF THE NORTH 1/2 OF LOT 2 OF THE SW 1/4 OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A STAKE SET AT THE WEST ¼ CORNER OF SAID SECTION 7;
THENCE SOUTH ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 1321.7 FEET;
THENCE SOUTH 90 DEGREES 30 MINUTES EAST, A DISTANCE OF 337.6 FEET, TO THE TRUE POINT OF BEGINNING; THENCE EAST ON THE LAST MENTIONED COURSE, A DISTANCE OF 337.6 FEET; THENCE NORTH ALONG A LINE PARALLEL WITH SAID WEST LINE OF SAID SECTION 7, A DISTANCE OF 645.1 FEET; THENCE WEST 337.6 FEET; THENCE SOUTH 645.1 FEET TO THE TRUE POINT OF BEGINNING,

EXCEPT THAT PORTION OF SAID PARCEL OF LAND CONVEYED TO THE DEPARTMENT OF HIGHWAYS, STATE OF COLORADO BY DEED RECORDED MARCH 2, 1965 IN BOOK 1211 AT PAGE 345, COUNTY OF ADAMS, STATE OF COLORADO

4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 1 OF 24

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TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
SITE PLAN



NOTE:
SEE SHEETS 12-13 FOR
PARKING LAYOUT PLAN

ADAMS COUNTY PIN: 182307300043

LEGEND

	CURB & GUTTER W/ PAN
	EXISTING EDGE OF ASPHALT
	PROPOSED EDGE OF ASPHALT
	EXISTING FLOODWAY
	PARKING COUNT
	EV CHARGING STATION PARKING STALL
	ACCESSIBLE PARKING STALL
	EXISTING SIGN
	PROPOSED SIGN
	EXISTING LIGHT
	PROPOSED LIGHT
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	EXISTING ROW
	PROPOSED ROW
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING PROPERTY LINE
	SETBACK LINE
	PROPOSED TOE OF SLOPE
	PROPOSED TOP OF SLOPE
	EXISTING CHAIN LINK FENCE
	EXISTING SHEET METAL FENCE
	PROPOSED SHEET METAL FENCE

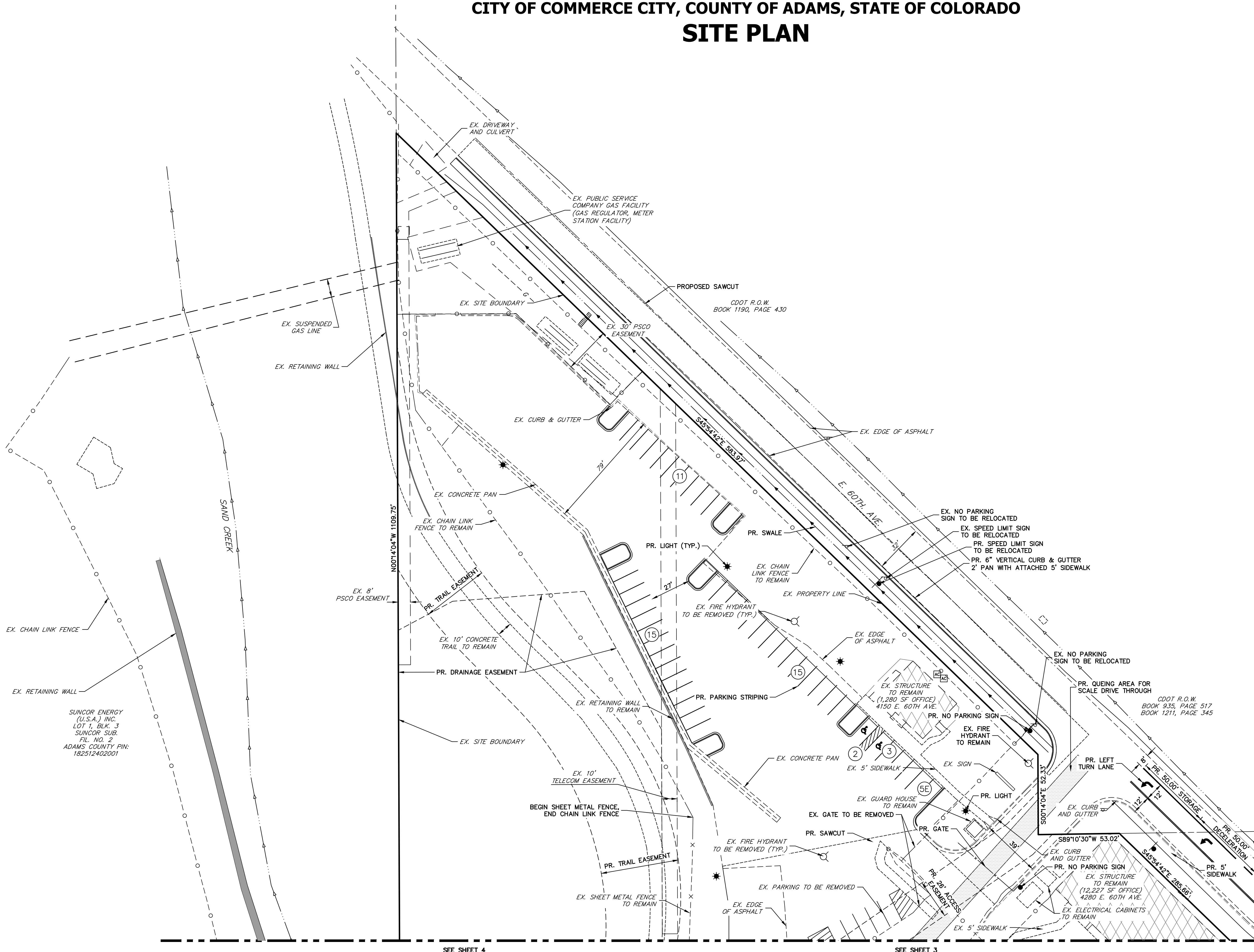
30 15 0 30
ORIGINAL SCALE: 1" = 30'



SITE PLAN
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 2 OF 24

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A Westrian Company

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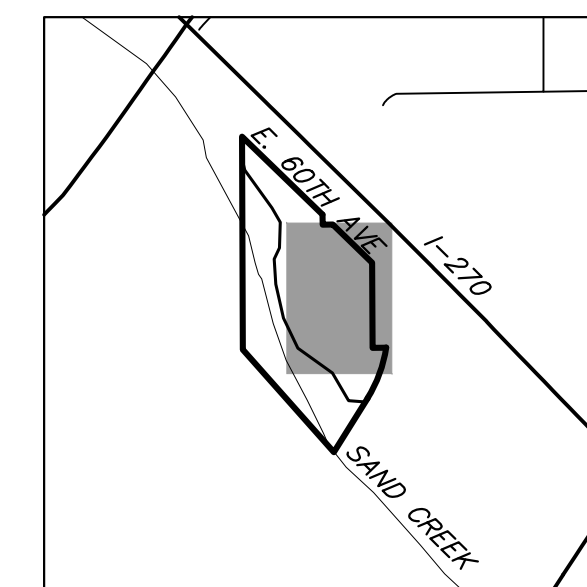
SEE SHEET 4

SEE SHEET 3

4150 E. 60TH AVE

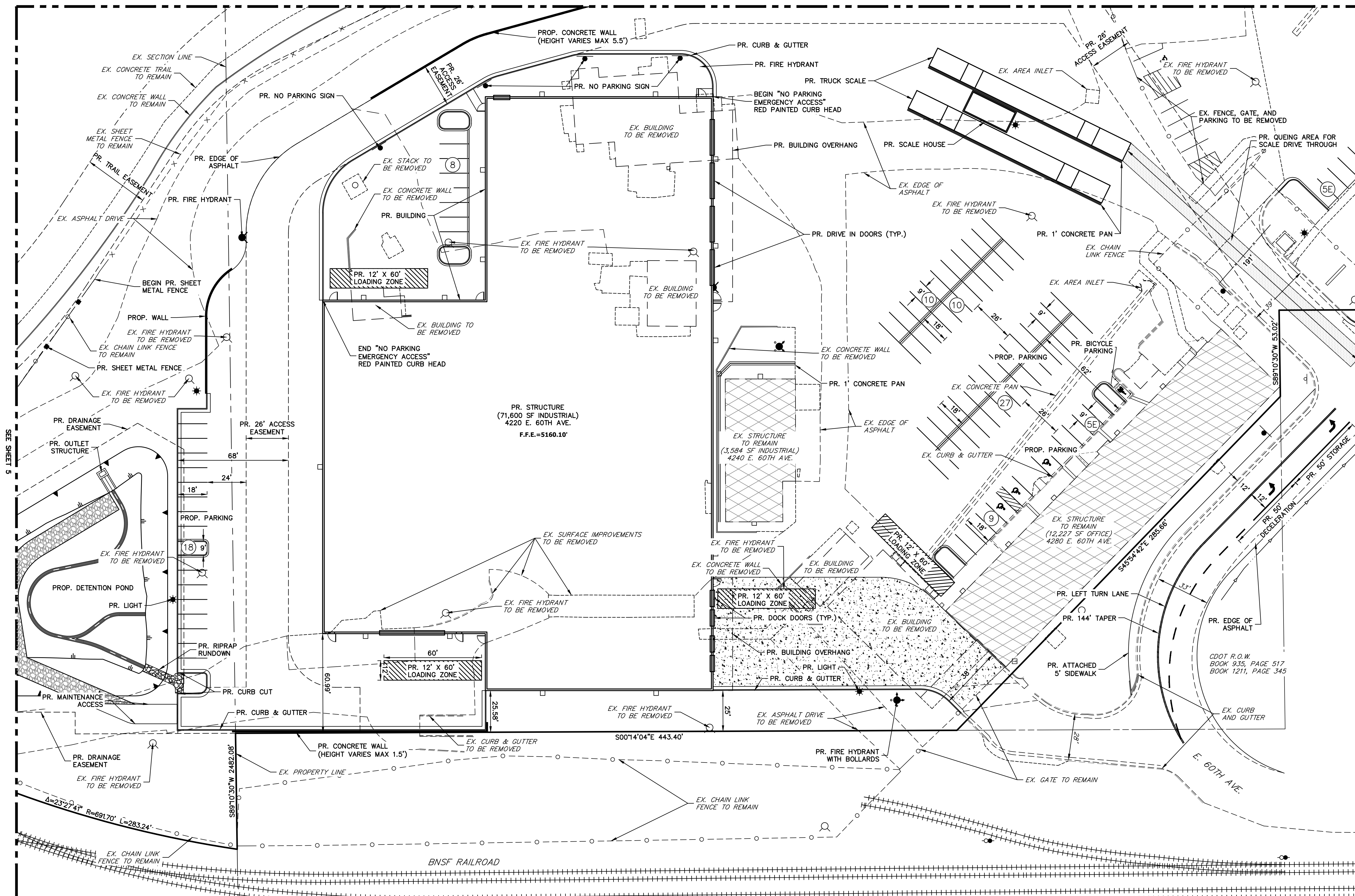
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SITE PLAN



KEY MAP
1"=1000'

SEE SHEET 4

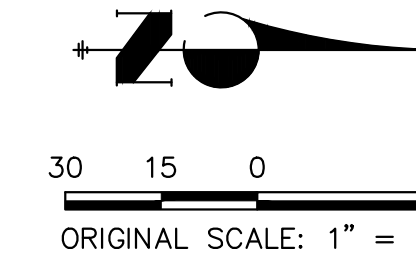


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PARKING LAYOUT PLAN

ADAMS COUNTY PIN: 182307300043

LEGEND

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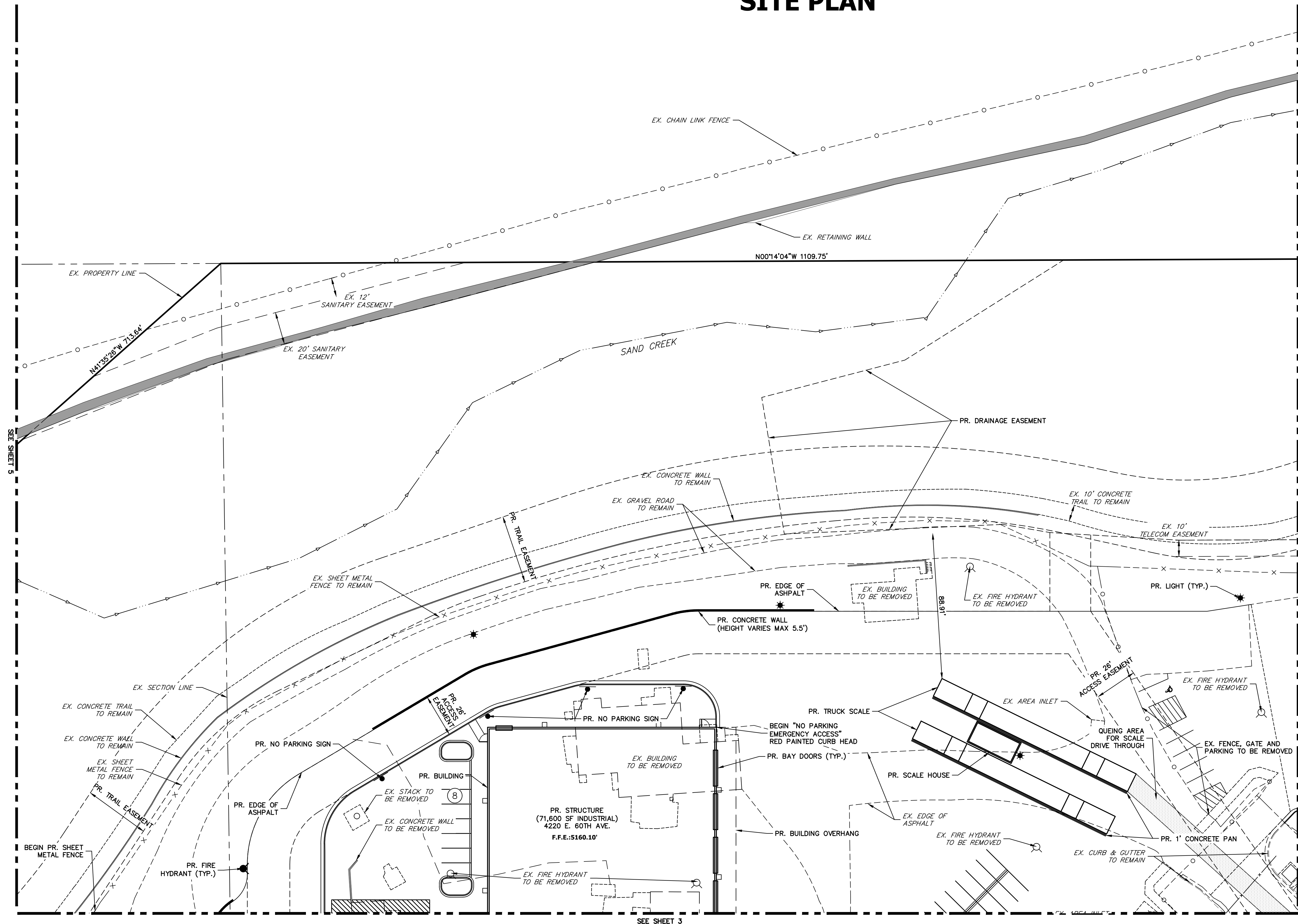
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SHEET 3 OF 24

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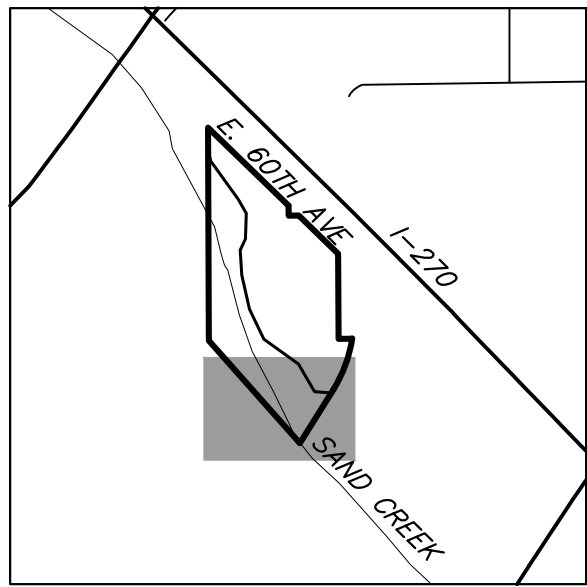
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A map of the study area showing the location of the study site (shaded gray) relative to E. 60th Ave, I-270, and Sand Creek. The study site is located south of E. 60th Ave and west of I-270, near Sand Creek.

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SITE PLAN



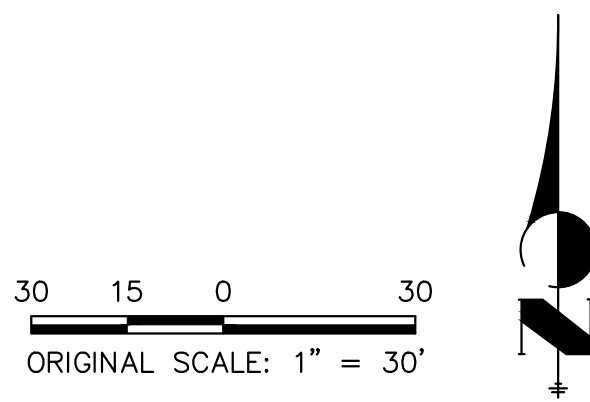
KEY MAP
1"=1000'

NOTE:
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PARKING LAYOUT PLAN

ADAMS COUNTY PIN: 182307300043

LEGEND

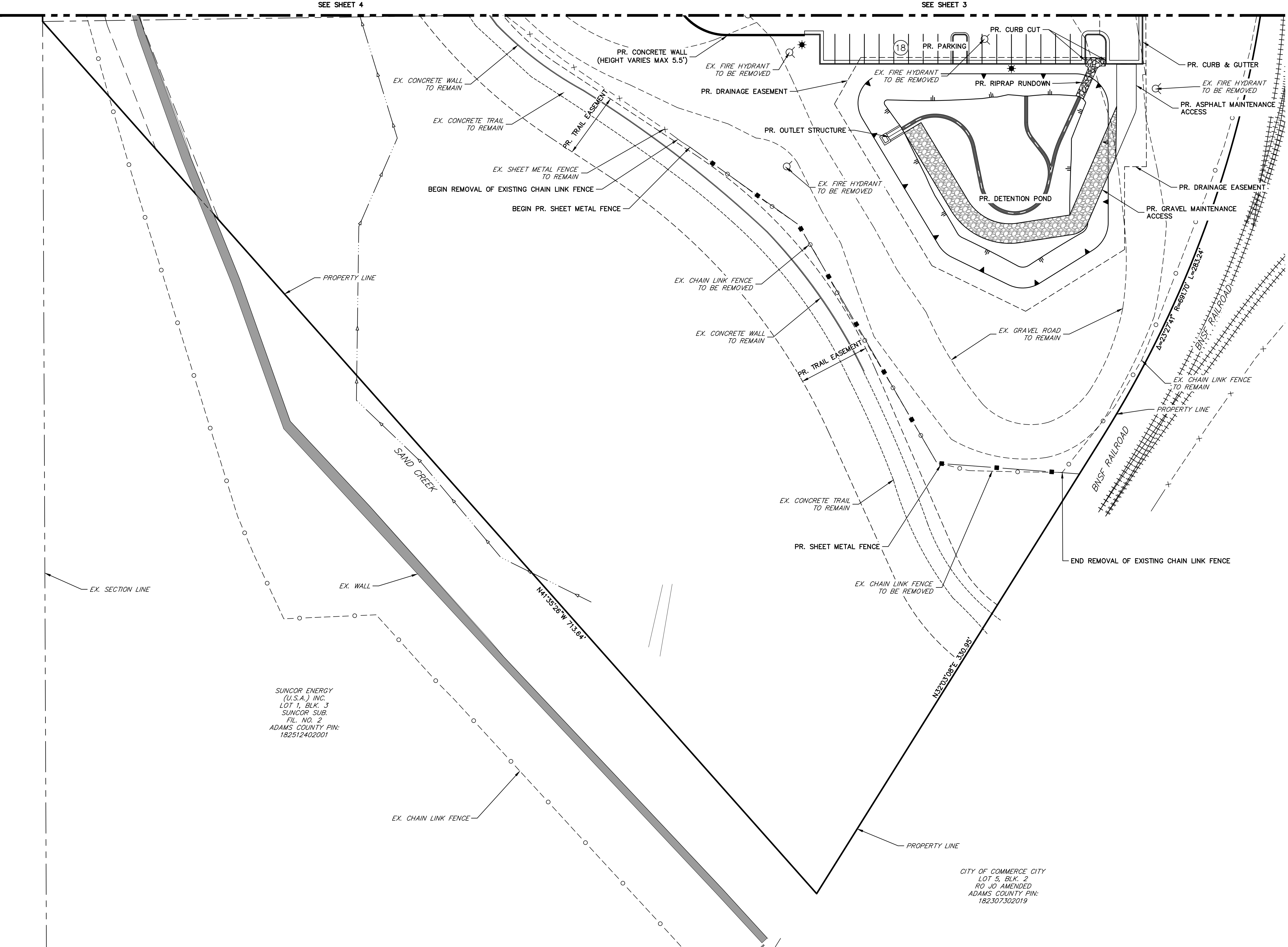
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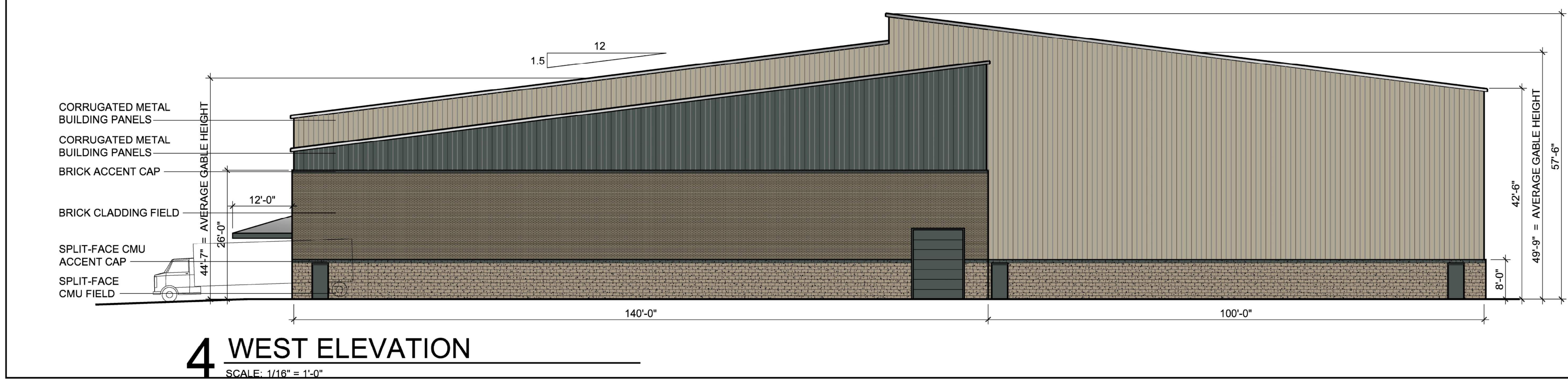
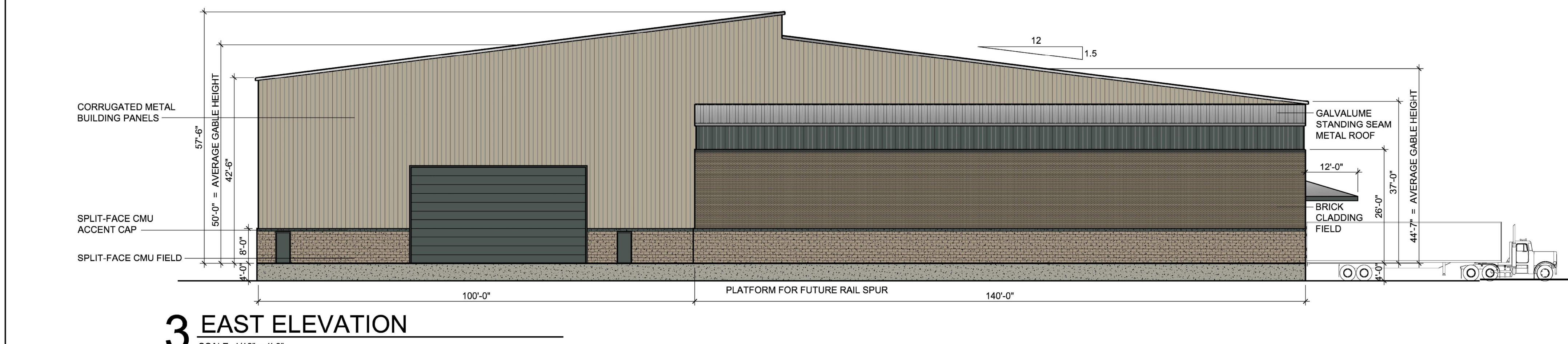
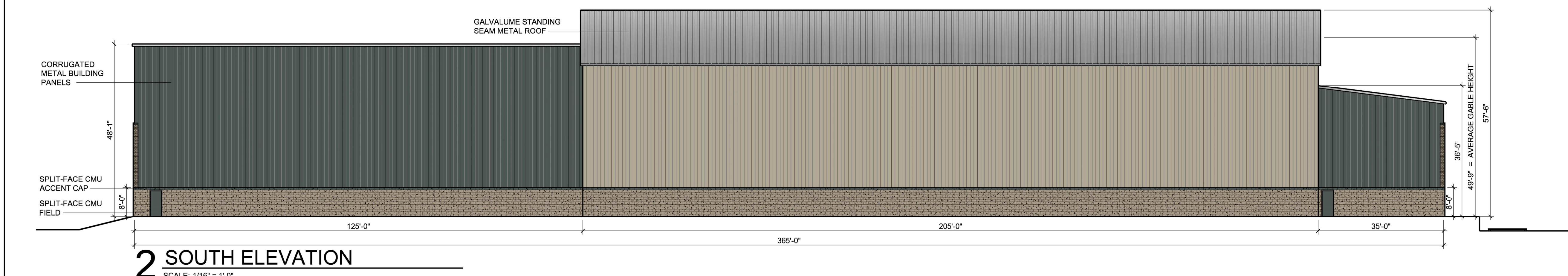
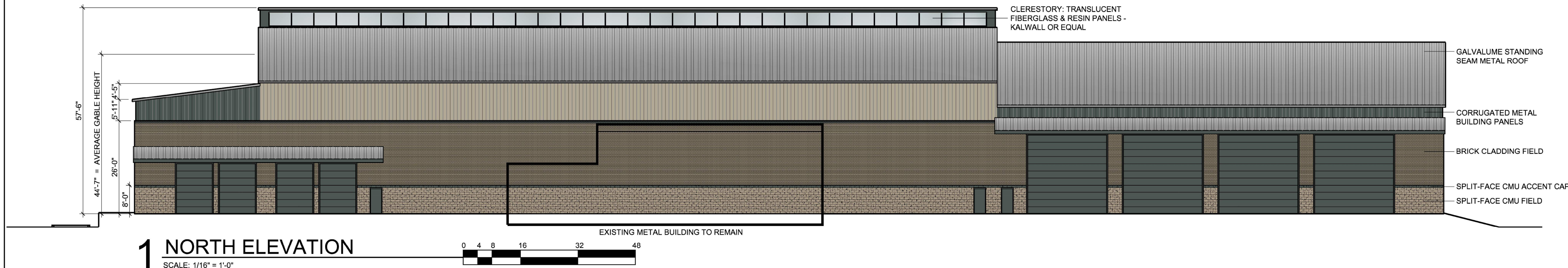
SITE PLAN
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 5 OF 24



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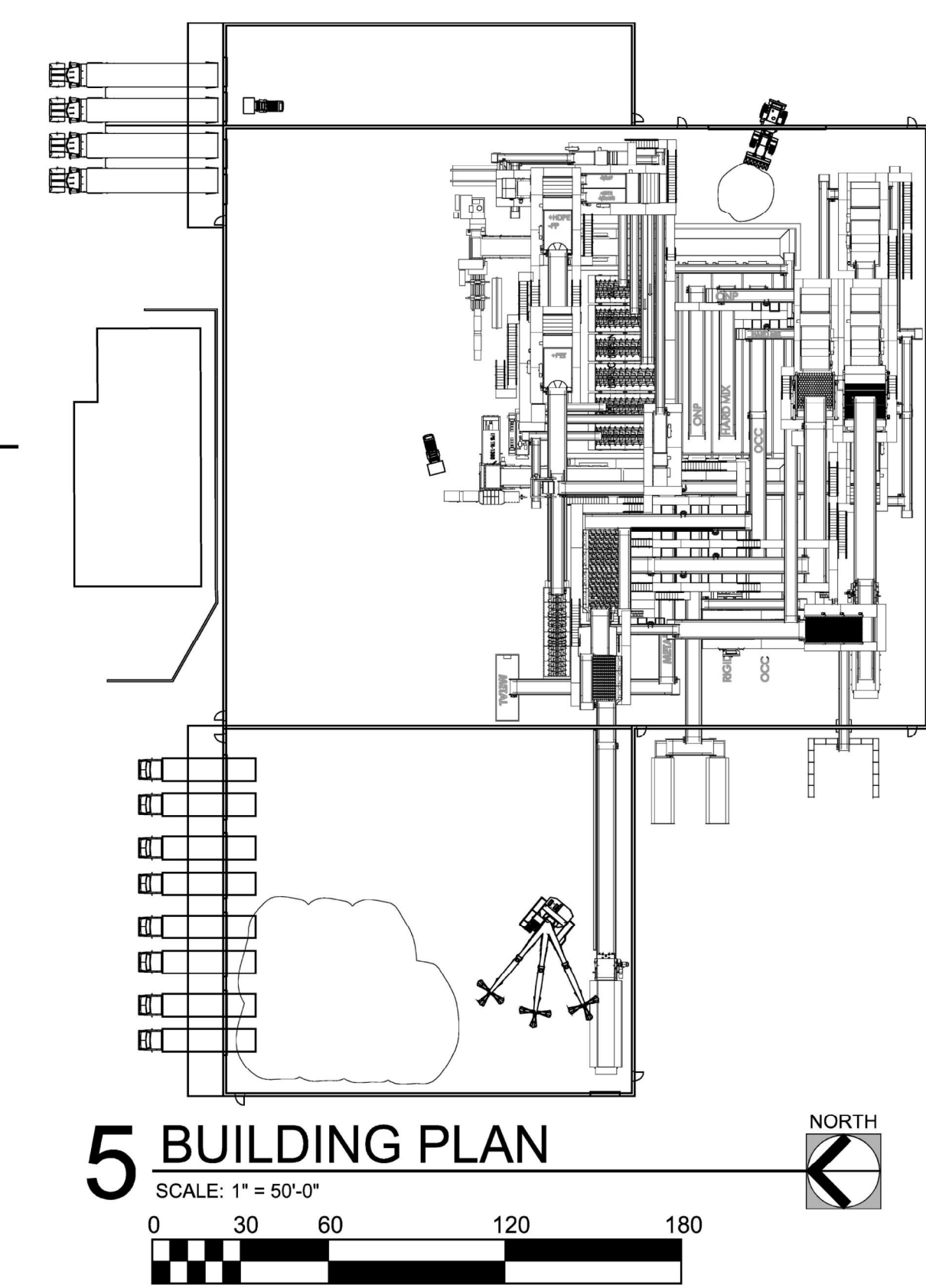


4150 E. 60TH AVE
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TOWNSHIP 3 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
ELEVATIONS



EXTERIOR FINISHES

	STANDING SEAM METAL ROOF: BERRIDGE "PREWEATHERED GALVALUME"
	CORRUGATED METAL BUILDING PANELS: MBCI "BROWNSTONE"
	CORRUGATED METAL BUILDING PANELS & PAINT AT ALL DOORS: MBCI "CHARCOAL GRAY"
	BRICK CLADDING ACCENT CAP: LAKEWOOD BRICK "ONYX GRAIN"
	BRICK CLADDING FIELD: LAKEWOOD BRICK "DARK GRAY GRAIN"
	SPLIT-FACE CMU ACCENT CAP: BEST BLOCK "CHARCOAL"
	SPLIT-FACE CMU FIELD: BEST BLOCK "SILVERTHORNE"



ELEVATIONS
4150 E. 60TH AVE
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SHEET 6 OF 24

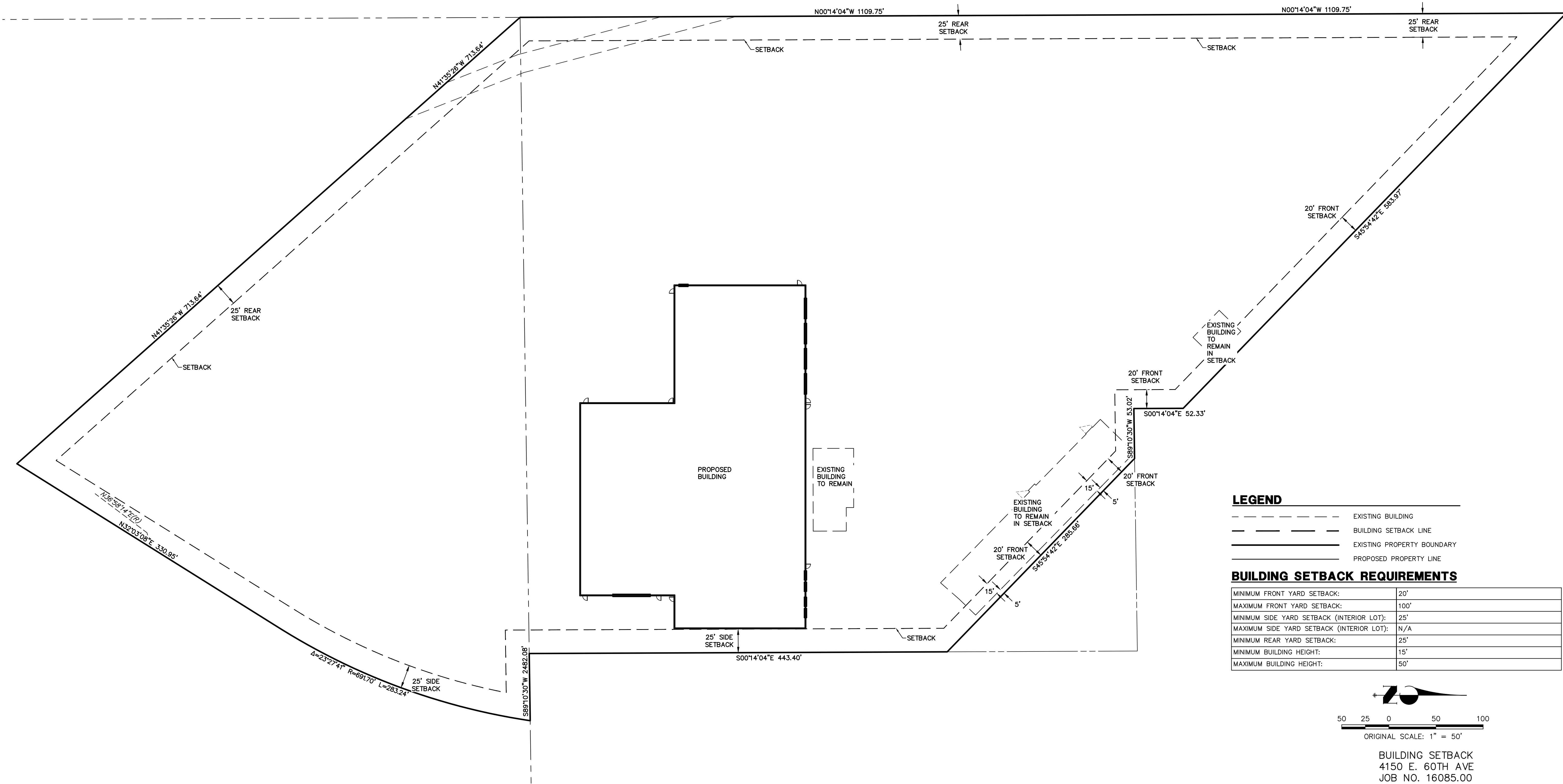
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4150 E. 60TH AVE

ADAMS COUNTY PIN: 182307300043

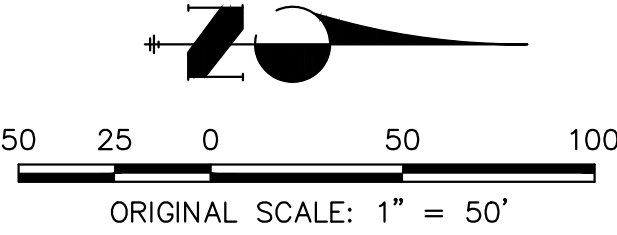
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BUILDING SETBACK



LEGEND

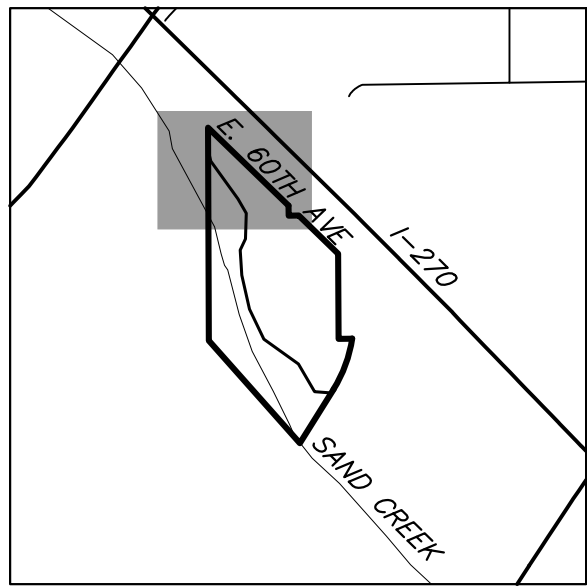
- EXISTING BUILDING
- - - BUILDING SETBACK LINE
- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY LINE

BUILDING SETBACK REQUIREMENTS	
MINIMUM FRONT YARD SETBACK:	20'
MAXIMUM FRONT YARD SETBACK:	100'
MINIMUM SIDE YARD SETBACK (INTERIOR LOT):	25'
MAXIMUM SIDE YARD SETBACK (INTERIOR LOT):	N/A
MINIMUM REAR YARD SETBACK:	25'
MINIMUM BUILDING HEIGHT:	15'
MAXIMUM BUILDING HEIGHT:	50'



BUILDING SETBACK
4150 E. 60TH AVE
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SHEET 7 OF 24

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CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
GRADING AND UTILITY PLAN

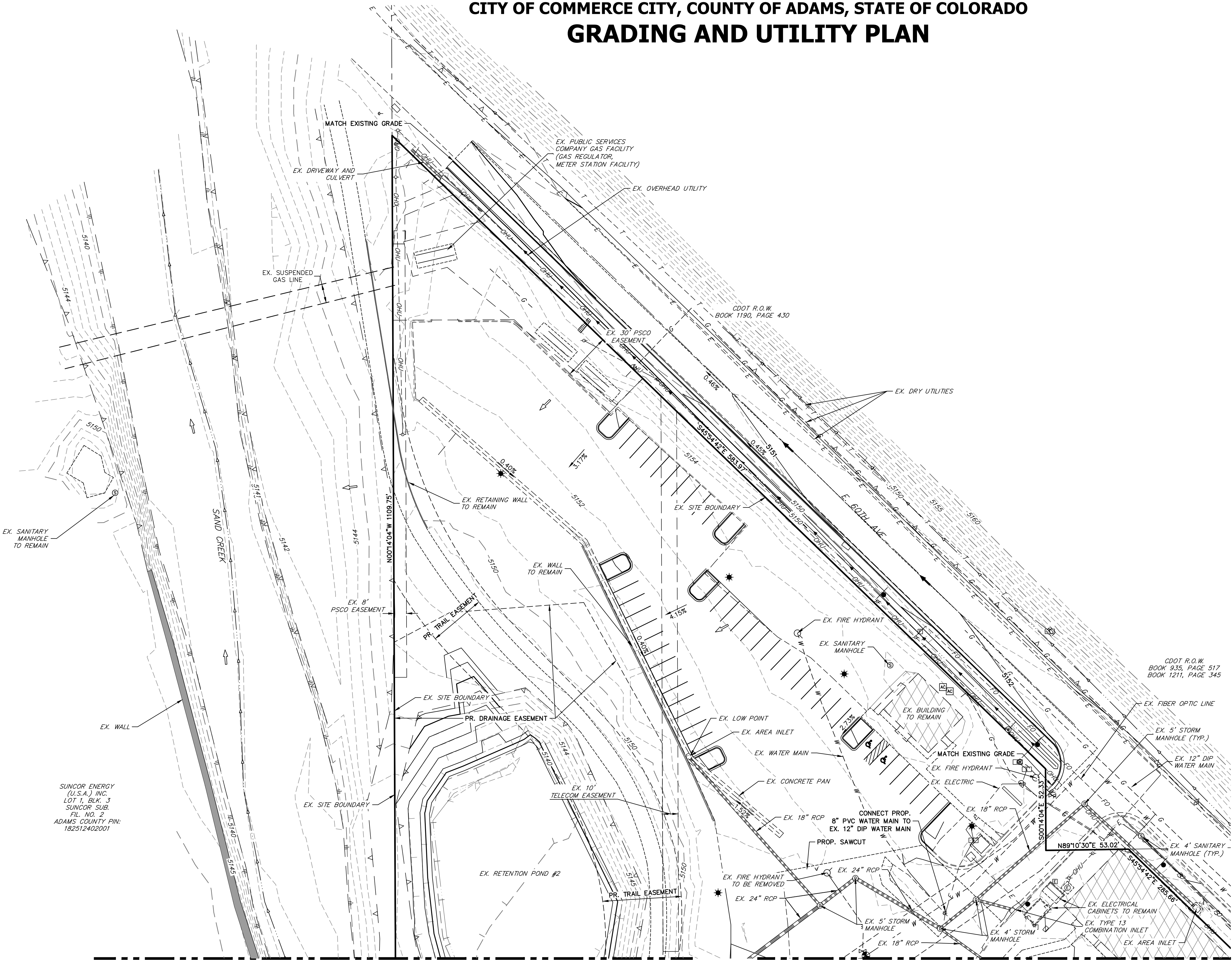


KEY MAP
1"=1000'

ADAMS COUNTY PIN: 182307300043

LEGEND

	EX. STORM SEWER
	EX. WATER LINE
	EX. SANITARY SEWER LINE
	EX. ELECTRIC LINE
	EX. FIBER OPTIC LINE
	EX. TELECOM LINE
	EX. GAS LINE
	EX. OVERHEAD UTILITY
	PR. SANITARY SEWER
	PR. WATER LINE
	PR. FIRE HYDRANT
	PR. STORM SEWER
	PR. STORM INLET
	EX. RETAINING WALL
	PR. RETAINING WALL
	PR. LOW POINT / HIGH POINT ELEVATION
	PR. ELEVATION
	PR. SLOPE
	EX. FLOW ARROW
	PR. FLOW ARROW
	EX. CONTOURS
	PR. CONTOURS
	EX. TOE OF SLOPE
	EX. TOP OF SLOPE
	PR. TOE OF SLOPE
	PR. TOP OF SLOPE



SUNCOR ENERGY
(U.S.A.) INC.
LOT 1, BLK. 3
SUNCOR SUB.
FIL. NO. 2
ADAMS COUNTY PIN:
182512402001

CDOT R.O.W.
BOOK 935, PAGE 517
BOOK 1211, PAGE 345

30 15 0 30
ORIGINAL SCALE: 1" = 30'

GRADING AND UTILITY PLAN
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 8 OF 24

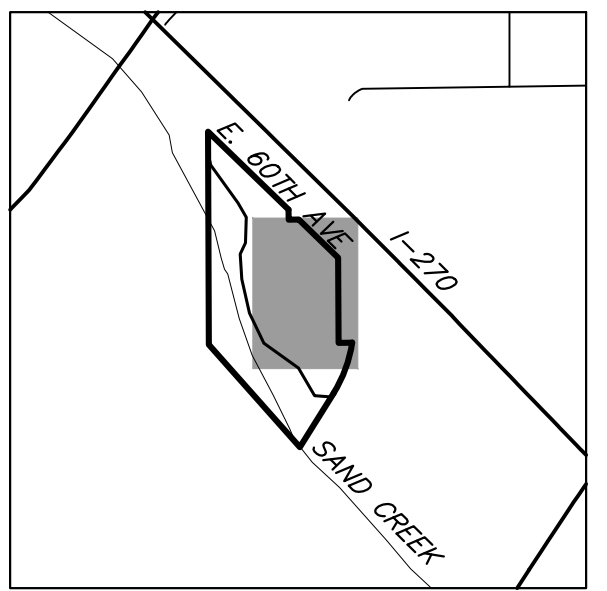
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GRADING AND UTILITY PLAN

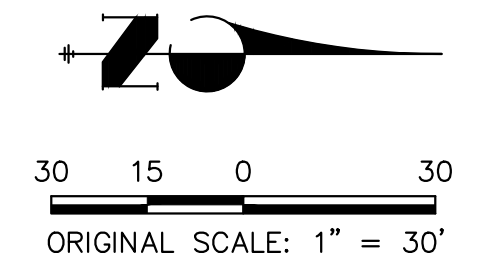
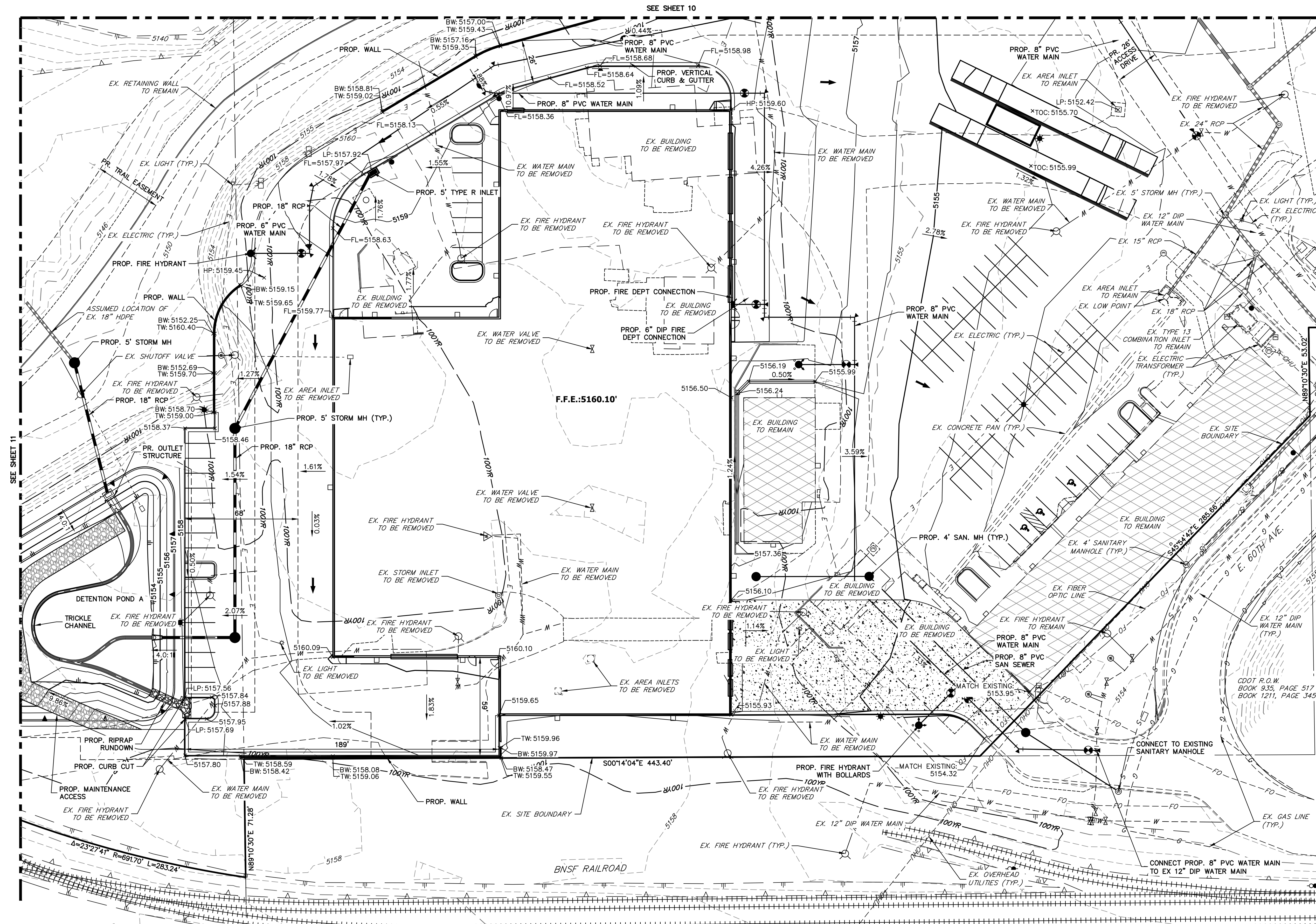


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ADAMS COUNTY PIN: 182307300043

LEGEND

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	EX. SANITARY SEWER LINE
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	PR. ELEVATION
	PR. SLOPE
	EX. FLOW ARROW
	PR. FLOW ARROW
	EX. CONTOURS
	PR. CONTOURS
	EX. TOE OF SLOPE
	EX. TOP OF SLOPE
	PR. TOE OF SLOPE
	PR. TOP OF SLOPE

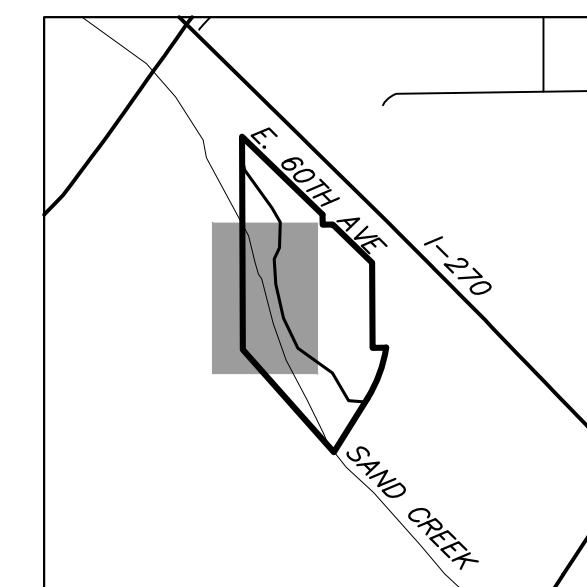


GRADING AND UTILITY PLAN
4150 E. 60TH AVE
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SHEET 9 OF 24



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4150 E. 60TH AVE
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
GRADING AND UTILITY PLAN

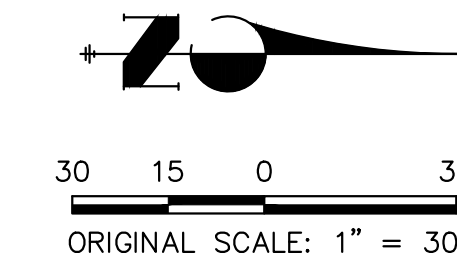
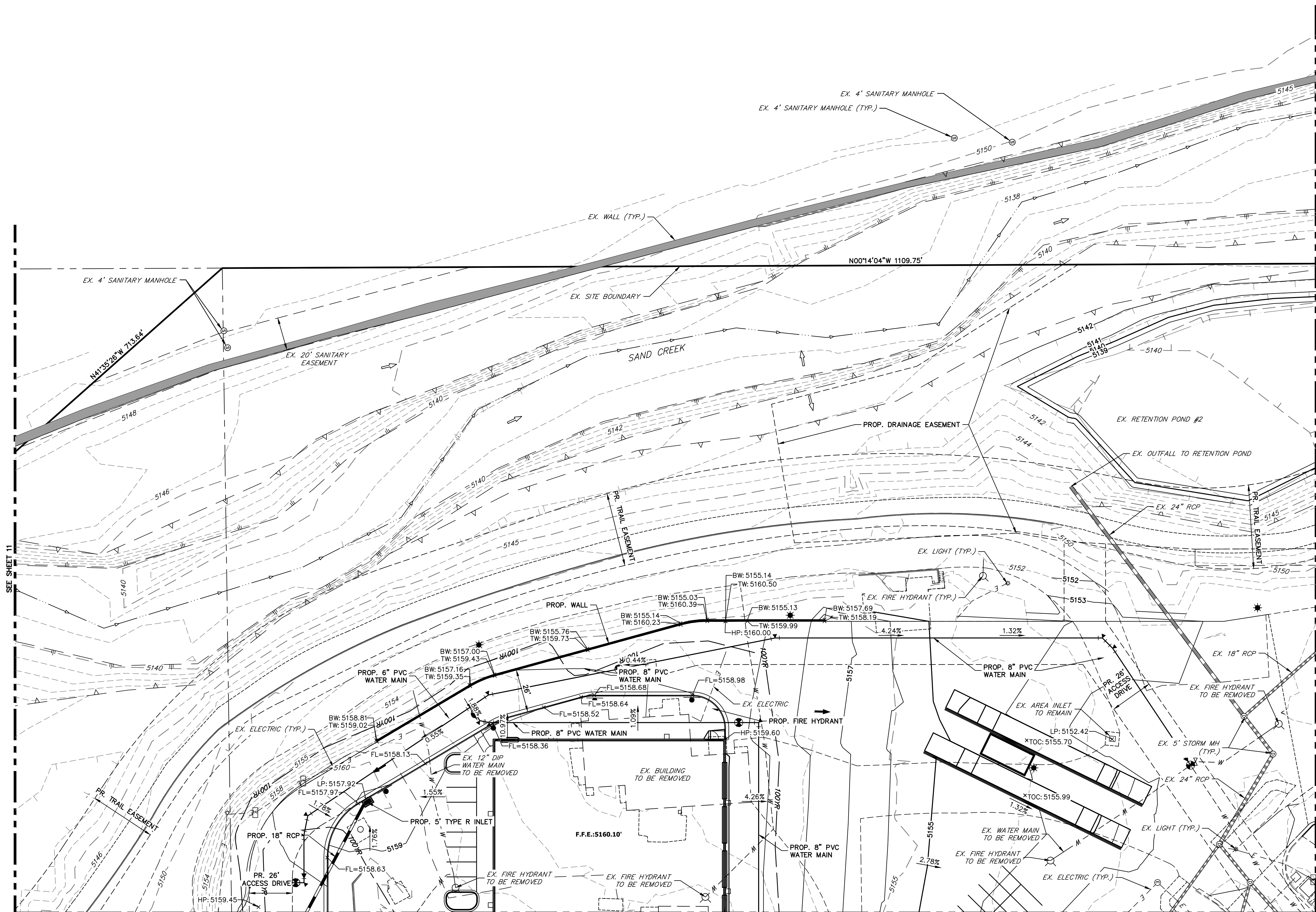


KEY MAP
1"=1000'

ADAMS COUNTY PIN: 182307300043

LEGEND

	EX. STORM SEWER
	EX. WATER LINE
	EX. SANITARY SEWER LINE
	EX. ELECTRIC LINE
	EX. FIBER OPTIC LINE
	EX. TELECOM LINE
	EX. GAS LINE
	EX. OVERHEAD UTILITY
	PR. SANITARY SEWER
	PR. WATER LINE
	PR. FIRE HYDRANT
	PR. STORM SEWER
	PR. STORM INLET
	EX. RETAINING WALL
	PR. RETAINING WALL
	PR. LOW POINT / HIGH POINT ELEVATION
	PR. ELEVATION
	PR. SLOPE
	EX. FLOW ARROW
	PR. FLOW ARROW
	EX. CONTOURS
	PR. CONTOURS
	EX. TOE OF SLOPE
	EX. TOP OF SLOPE
	PR. TOE OF SLOPE
	PR. TOP OF SLOPE

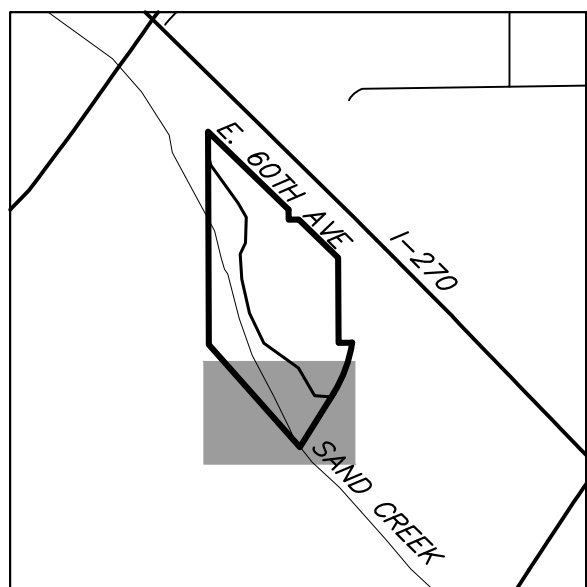


GRADING AND UTILITY PLAN
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 10 OF 24



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4150 E. 60TH AVE
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
GRADING AND UTILITY PLAN



KEY MAP
1"=1000'

ADAMS COUNTY APN: 182307300043

LEGEND

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	PR. FLOW ARROW
	EX. CONTOURS
	PR. CONTOURS
	EX. TOE OF SLOPE
	EX. TOP OF SLOPE
	PR. TOE OF SLOPE
	PR. TOP OF SLOPE

30 15 0 30
ORIGINAL SCALE: 1" = 30'



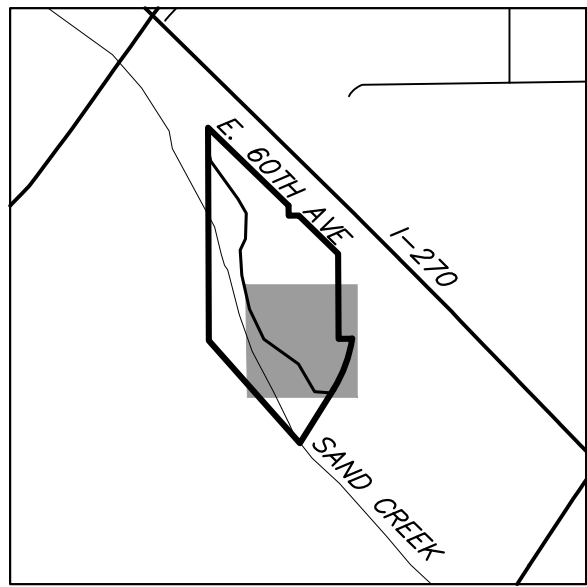
GRADING AND UTILITY PLAN
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 11 OF 24

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A Westrian Company

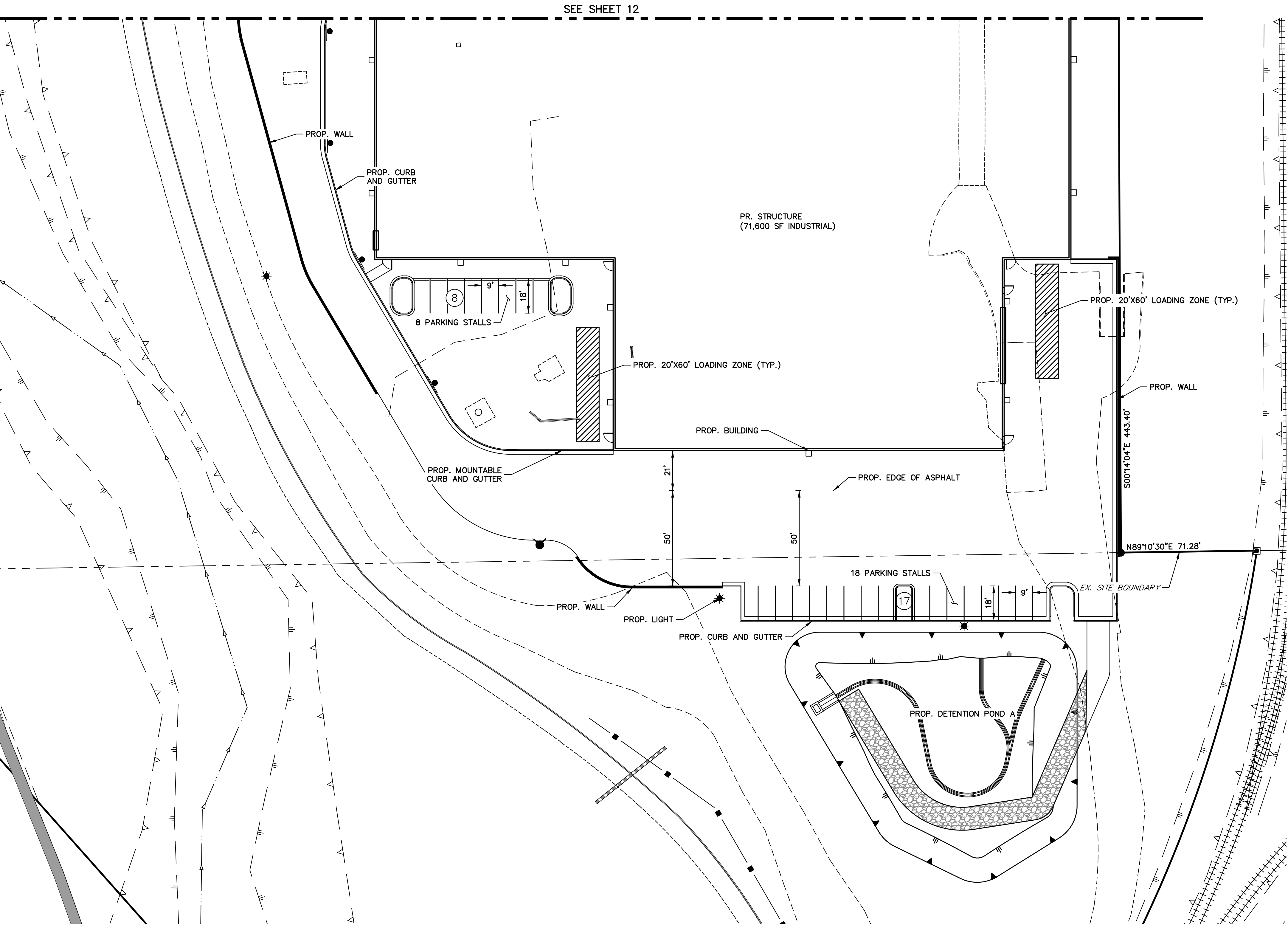
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CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
PARKING PLAN



KEY MAP
1"=1000'



ADAMS COUNTY PIN: 182307300043

PARKING SPACE INFORMATION

PARKING SPACES:	126
EV PARKING SPACES:	10
ACCESSIBLE PARKING SPACES:	5
BICYCLE PARKING SPACES:	6 (1 FOR EVERY 20 MOTOR VEHICLE SPACES)
TYPE OF BUILDING CONSTRUCTION:	INDUSTRIAL
OCCUPANCY:	OFFICE/INDUSTRIAL
CURRENT ZONING:	I-3
ESTIMATED NUMBER OF EMPLOYEES:	90
LOT COVERAGE / FLOOR AREA RATIO:	0.12

PARKING SPACE CALCULATION

1 SPACE/1000 S.F. OF INDUSTRIAL +1 SPACE/300 S.F. FOR OFFICE
PROPOSED BUILDING (71,600 S.F.+ EXISTING 3,584 S.F./1000)
EXISTING BUILDING TO REMAIN (13,507 S.F./300)
TOTAL 75+45=120 SPACES

LEGEND

PROVIDED SPACES IN ADDITION TO REQUIRED PARKING	PARKING LANE STRIPING
#	PARKING SPACE COUNT
#E	ELECTRIC VEHICLE PARKING SPACE COUNT
♿	ACCESSIBLE PARKING SPACE
▨	LOADING ZONE AREA



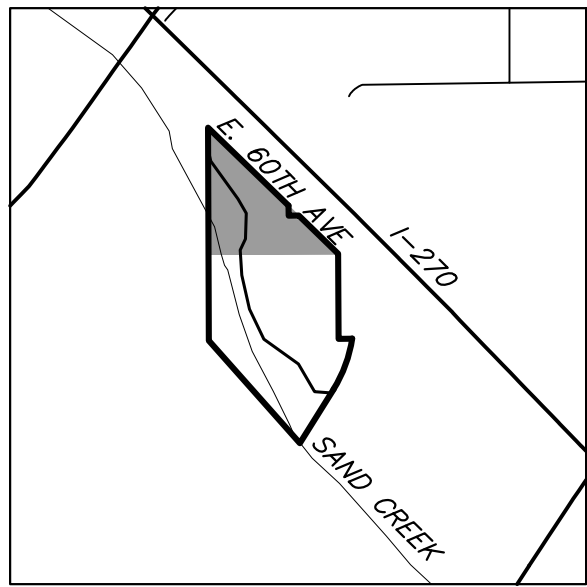
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ORIGINAL SCALE: 1" = 30'

PARKING PLAN
4150 E. 60TH AVE
JOB NO. 16085.00
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SHEET 13 OF 24








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CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
PHOTOMETRIC PLAN



KEY MAP
1"=1000'

Luminaire Schedule												
KEY	QTY	BRAND	SERIES	BULB TYPE	FINISH	WATTS	DISTRIBUTION	VOLTAGE	LUMEN OUTPUT	MANUFACTURER	CATALOG NUMBER	HEADS/MOUNTING
 R2	4	LITHONIA	KAD	METAL HALIDE	BLACK	400	R2 - IES TYPE II ASYMMETRIC	277*	38,000	ACUITY BRANDS LIGHTING	KAD 400M R2 277 SCWA SPD04 HS DBL LPI	SINGLE HEAD ON SQUARE 4" POLE
 R2-D	3	LITHONIA	KAD	METAL HALIDE	BLACK	400	R2 - IES TYPE II ASYMMETRIC	277*	38,000	ACUITY BRANDS LIGHTING	KAD 400M R2 277 SCWA SPD04 HS DBL LPI	DOUBLE HEAD ON SQUARE 4" POLE
 R3	4	LITHONIA	KAD	METAL HALIDE	BLACK	400	R3 - IES TYPE III ASYMMETRIC	277*	38,000	ACUITY BRANDS LIGHTING	KAD 400M R3 277 SCWA SPD04 HS DBL LPI	SINGLE HEAD ON SQUARE 4" POLE
 R4	3	LITHONIA	KAD	METAL HALIDE	BLACK	400	R4 - IES TYPE IV FORWARD THROW	277*	38,000	ACUITY BRANDS LIGHTING	KAD 400M R4 277 SCWA SPD04 DBL LPI	SINGLE HEAD ON SQUARE 4" POLE
 WST-VF	25	LITHONIA	WST LED	METAL HALIDE	BLACK	50	VF - VISUAL COMFORT FORWARD THROW	277*	6,609	ACUITY BRANDS LIGHTING	WST LED P3 40K VF 277 DBLXD	WALL MOUNTED ON BUILDING
 SSS	11	LITHONIA	SSS	-	BLACK	-	-	-	-	ACUITY BRANDS LIGHTING	SSS 30 4G DM19AS DBL	-
 SSS	3	LITHONIA	SSS	-	BLACK	-	-	-	-	ACUITY BRANDS LIGHTING	SSS 30 4G DM28AS DBL	-

*VOLTAGE TO BE CONFIRMED BY DEVELOPER

ADAMS COUNTY PIN: 182307300043

LEGEND

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---	EX. WATER LINE
---	EX. SANITARY SEWER LINE
---	EX. ELECTRIC LINE
---	EX. FIBER OPTIC LINE
---	EX. TELECOM LINE
---	EX. GAS LINE
---	EX. OVERHEAD UTILITY
---	PR. SANITARY SEWER
---	PR. WATER LINE
---	PR. FIRE HYDRANT
---	PR. STORM SEWER
---	PR. STORM INLET
---	EX. RETAINING WALL
---	PR. RETAINING WALL

NOTE:

- ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
- THE LIGHT POSTS SHALL BE INSTALLED PER THE DETAILS ON SHEET 16-17. THE ELEVATION OF THE LIGHT SHALL NOT EXCEED THE SPECIFIED HEIGHTS SHOWN IN THE PLAN.

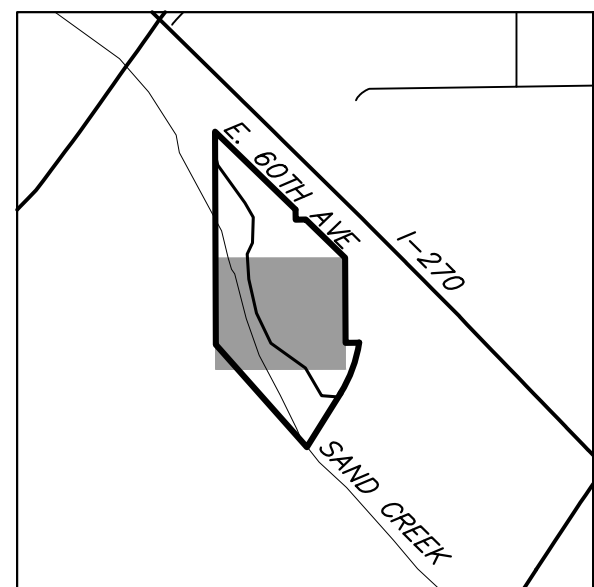
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ORIGINAL SCALE: 1" = 30'

4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 14 OF 24

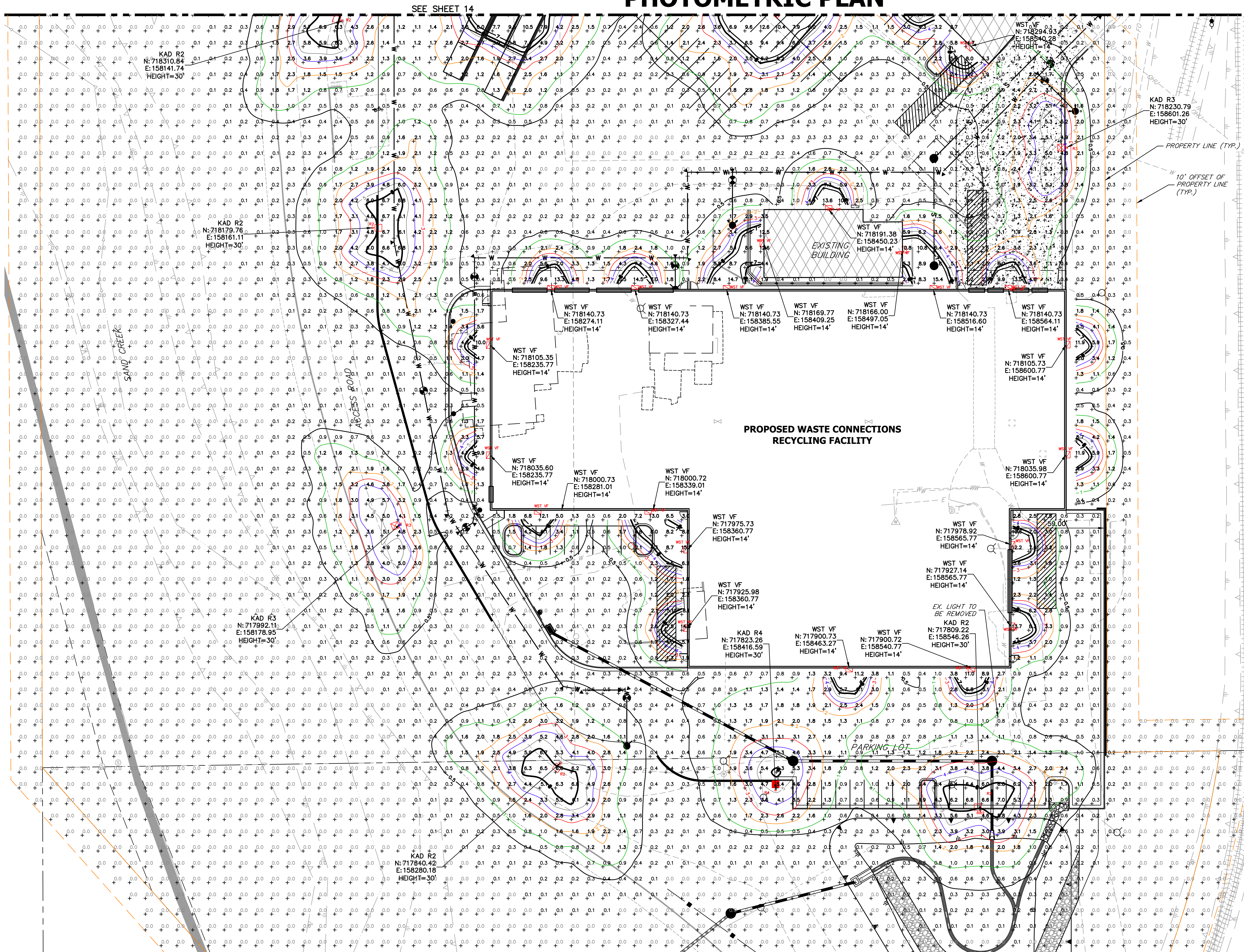
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PHOTOMETRIC PLAN



KEY MAP
1"=1000'



ADAMS COUNTY PIN: 182307300043

LEGEND

---	EX. STORM SEWER
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30 15 0 30
ORIGINAL SCALE: 1" = 30'

4150 E. 60TH AVE
JOB NO. 16085.00
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SHEET 15 OF 24

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ADAMS COUNTY PIN: 182307300043



FEATURES & SPECIFICATIONS

INTENDED USE — Square straight steel pole for up to 30-foot mounting height.

CONSTRUCTION — Weldable-grade, hot-rolled, commercial-quality carbon steel tubing with a minimum yield of 55,000 psi (11-gauge), or 50,000 psi (7-gauge). Uniform wall thickness of .1186" or .1793". Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4, 5 and 6 inches.

Anchor base is fabricated from hot-rolled carbon steel plate conforming to ASTM A36, that meets or exceeds a minimum yield strength of 36,000 psi. Base plate and shaft are circumferentially welded top and bottom. Base cover is finished to match pole.

A handhole having nominal dimensions of 3" x 5" for all shafts. Included is a cover with attachment screws. Top cap provided with all drill-mount and open "PT" poles.

Fasteners are high-strength galvanized, zinc-plated or stainless steel.

Finish: Must specify finish.


Grounding: Provision located immediately inside handhole rim. Grounding hardware is not included (provided by others).


Anchor bolts: Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel not requiring a minimum yield strength of 55,000 psi.

Note: Specifications subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

Catalog Number	
Notes	
Type	



BASE DETAIL	POLE DATA					
	Shaft base size	Bolt circle A	Bolt projection B	Base square C	Template description	Anchor bolt description
	4" C	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE P150004	AB18-0
	4" C	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE P150010	AB30-0
	5"	10"-12"	3-3/8"-4"	11"	ABTEMPLATE P150010	AB36-0
	6"	11"-13"	3-3/8"-4"	12-1/2"	ABTEMPLATE P150011	AB36-0
	6"	11"-13"	3-3/8"-4"	12-1/2"	ABTEMPLATE P150011	N/A

Notes

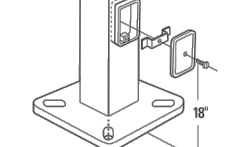
1. Photometric data for other distributions can be accessed at www.litdata.com.
2. In order to current IES and IESNA standards under stabilized laboratory conditions, various operating factors can cause differences between laboratory data and actual field measurements. Dimensions and specifications on this sheet are based on the most current available data and are subject to change without notice.
3. For electrical characteristics, consult current technical data specification sheets at www.litdata.com.

Mounting Height Correction Factor
(Multiply the fc level by the correction factor)

25 ft. - 6 ft.4	0.76 - 0.84
30 ft. - 6 ft.8	0.78 - 0.82
40 ft. - 6 ft.8	0.80 - 0.85

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction Factor}$$

ORDERING INFORMATION			Lead times will vary depending on options selected. Consult with your sales representative.		Example: SSS 20 5S DM19 DDB	
SSS	Nominal fixture mounting height 12" - 39 1/2" (See back page.)	Nominal shaft base size/wall thickness (See back page.)	Mounting		Options	Finish
SSS			3mm mounting JT Open top (includes open top) Includes T20 T20 2-3/8" O.D. (1" WP) T20 2-7/8" O.D. (2-1/2" WP) T30 3-1/2" O.D. (1" WP) T30 4" O.D. (1-1/2" WP) Drill mounting DM19 1 1/4" 90° DM28 2 1/4" 90° DM28 PL 2 1/4" 90° with side flange DM29 2 1/4" 90° DM39 3 1/4" 90° DM49 4 1/4" 90° CNC/3D/MAKES™/POWER® Drill mounting DM13AS 1 1/4" 90° DM28AS 2 1/4" 90° DM28AS 2 1/4" 90° DM39AS 3 1/4" 90° DM49AS 4 1/4" 90°	AGNCS™ Suspend drill mounting DM19AS1 1 1/4" 90° DM28AS1 2 1/4" 90° DM28AS1 2 1/4" 90° DM39AS1 3 1/4" 90° DM49AS1 4 1/4" 90° AGNCS™ Suspend drill mounting DM19M1 1 1/4" 90° DM28M1 2 1/4" 90° DM28M1 2 1/4" 90° DM39M1 3 1/4" 90° DM49M1 4 1/4" 90°	Standard installed L160 L160 1/2" threaded nipple V8 Vibration dampener TP Tamper proof H1-185X Horizontal arm bracket (1 flange) FD12X Flange outletless electrical FD12X 1/2" threaded nipple CP134X 3/4" coupling CP134X 1" coupling NH12X 1/2" threaded nipple NH13X 3/4" threaded nipple NH13X 1" threaded nipple HAEK Extra handpiece UPHUB Match existing USP400 United States point of manufacture IC Interior coating	Standard colors 20R White 40R White 60R Black DDB Medium bronze DMA Natural aluminum Classic colors DSS Sandstone DCC Charcoal gray PTG Teal green DBR Bright red DDB Steel blue Architectural colors (pander card)

	4" G	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE P150004	AB18-0	ABSS5-4C
	4" G	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE P150004	AB30-0	ABSS5-4G
	5"	10"-12"	3-3/8"-4"	11"	ABTEMPLATE P150010	AB36-0	ABSS5-5
	6"	11"-13"	3-3/8"-4"	12-1/2"	ABTEMPLATE P150011	AB36-0	N/A

 **LITHONIA LIGHTING®**
An Acuity Brands Company

KAD-M-S

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OUTDOOR	POLE-SSE
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PHOTOMETRIC DETAILS



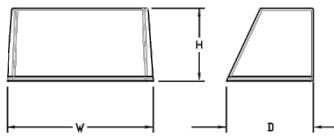
WST LED
Architectural Wall Sconce



Specifications

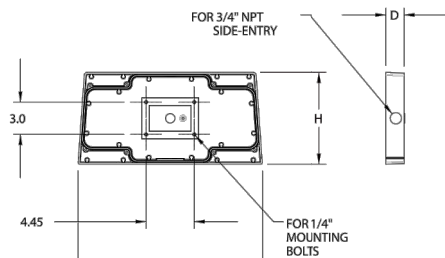
Luminaire

Height: 8-1/2" (21.59 cm)
Width: 17" (43.18 cm)
Depth: 10-3/16" (26.9 cm)
Weight: 20 lbs (9.1 kg)



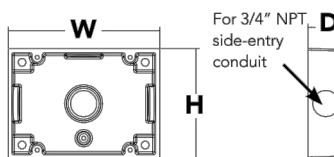
Optional Back Box (PBBW)

Height: 8.49" (21.56 cm)
Width: 17.01" (43.21 cm)
Depth: 1.70" (4.32 cm)



Optional Back Box (BBW)

Height: 4" (10.2 cm)
Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)



Catalog Number
Notes
Type

Fit the Tab key or mouse over the page to see all interactive elements.

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

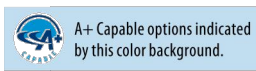
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability

- This luminaire is part of an A+ Certified solution for ROAM® or Point™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit www.acuitybrands.com/aplus.

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD						
Series	Performance Package	Color temperature	Distribution	Voltage	Mounting	
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 2700 K 30K 3000 K 40K 4000 K 50K 5000 K	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 120V 208V 240V	347' 480' 800'	Shipped included Roam® Surface mounting bracket Shipped separately BBW Surface-mounted back box PBBW Premium surface-mounted back box

Options	Finish (optional)
NLMAR2 PIR Night AR Wireless enabled motion/ambient sensor for 8'-15' mounting heights ⁽¹⁴⁾	DBRZD Dark bronze
NLMAR2 PIRH Night AR Wireless enabled motion/ambient sensor for 15'-30' mounting heights ⁽¹⁴⁾	DBRZD Black
PE Photometric cell, button type ⁶	DNALD Natural aluminum
PER NEMA twist-lock receptacle only (controls ordered separately) ⁹	DWHD White
PER5 Five-wire receptacle only (controls ordered separately) ⁹	DSND Sandstone
PER7 Seven-wire receptacle only (controls ordered separately) ⁹	DSND Textured dark bronze
PIR Motion/Ambient Light Sensor, 8'-15' mounting height ⁽¹⁴⁾	DSND Textured black
PIR5 Motion/Ambient sensor, 8'-15' mounting height, ambient sensor enabled at 16'	DNALD Textured natural aluminum
PIR5FCV 180° motion/ambient light sensor, 15'-30' mounting height ⁽¹⁴⁾	DWHD Textured white
PIR5FCV Motion/Ambient sensor, 15'-30' mounting height, ambient sensor enabled at 16'	DSND Textured sandstone
SF Single fuse (120, 277, 347V) ⁷	
DF Double fuse (208, 240, 480V) ⁷	
DS Dual switching ¹¹	
DMG 0-10V dimming extend out back of housing for external control (control ordered separately) ¹¹	
E7WH Emergency battery backup, Non CEC compliant (7W) ¹	

Accessories

Ordered and shipped separately.

NOCTPBBW DBRZD P1 Premium Surface - mounted back box
WSTPBBW DBRZD P1 Surface - mounted back box
BBW DBRZD P1 Retrofit back plate
DLL12ZF 1.5 UL IU Photocell - SSL twist-lock (120-277V) ¹²
DLL34ZF 1.5 UL IU Photocell - SSL twist-lock (347V) ¹²
DLL48ZF 1.5 UL IU Photocell - SSL twist-lock (480V) ¹²

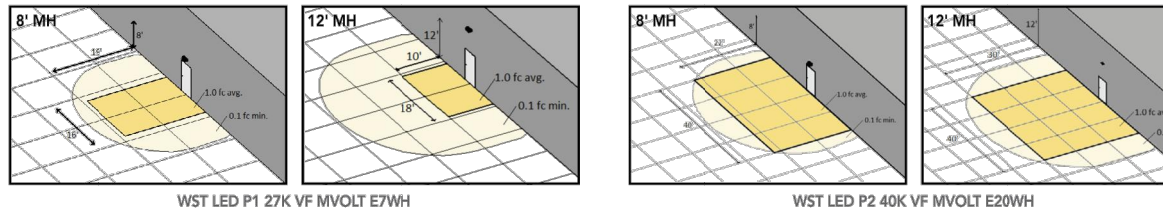
NOTES

- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 2 Single fuse (SF) requires 120V, 277V or 347V Double fuse (DF) requires 208V, 240V or 480V.
- 3 Also available as a separate accessory; see accessories information.
- 4 Tap conduit entry standard.
- 5 Not available with VG or WG. See PER Table.
- 6 Reference Motion Sensor table.
- 7 Not available with 347V/480V.
- 8 Need to specify 120, 208, 240 or 277 voltage.
- 9 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shunting Cap included.
- 10 Not available with Emergency options, PE or PER options.
- 11 DMG option not available with standalone or networked sensors/controls.
- 12 Battery pack rated for -20° to 40°C.
- 13 Comes with PBBW.
- 14 Warranty period is 3 years.
- 15 Not available with BBW.
- 16 Must order with fixture; not an accessory.
- 17 Requires luminaire to be specified with PER, PERS or PER7 option. See PER Table.

Emergency Battery Operation

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency backup configurations include an independently integrated driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70/NEC 2008 - 700.16. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines
8' and 12' Mounting Height



Performance Data

Lumen Ambient Temperature (LAT) Multipliers
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C 32°F	1.03
10°C 50°F	1.02
20°C 68°F	1.01
25°C 77°F	1.00
30°C 86°F	0.99
40°C 104°F	0.98

Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>6.9%	>9.2%	>8.7%

Electrical Load

Performance package	Current (A)	120	208	240	277	347	480
P1	11	0.1	0.6	0.8	0.9	—	—
P1 D5	14	—	—	—	—	0.04	0.05
P2	25	0.21	0.13	0.11	0.1	—	—
P2 D5	30	—	—	—	—	0.08	0.06
P3	56	—	—	—	—	—	0.12
P3 D5	52	0.41	0.26	0.21	0.21	—	—

Motion Sensor Default Settings

Option	Default State	High Level (select triggered)	Photocontrol Operation	Setup Time	Reset Time	Empty Room Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled at 5FC	3 sec	5 min	5 min
PIR5FCV or PIRH5FCV	3V (37%) Output	10V (100%) Output	Enabled at 5FC	3 sec	5 min	5 min

*For use with side wide Dock to Dawn control

PER Table

Control	PIR (3 wire)	PERS (5 wire)	PER7 (7 wire)
Photocontrol Only (On/Off)	✓	Wired to dimming leads on driver	Wired to dimming leads on driver
ROAM	✗	Wired to dimming leads on driver	Wired to dimming leads on driver
ROAM with Motion	✗	Wired to dimming leads on driver	Wired to dimming leads on driver
Futuroproof®	✗	Wired to dimming leads on driver	Wired to dimming leads on driver
Futuroproof® with Motion	✗	Wired to dimming leads on driver	Wired to dimming leads on driver



*Futuroproof means: Ability to change controls in the future.

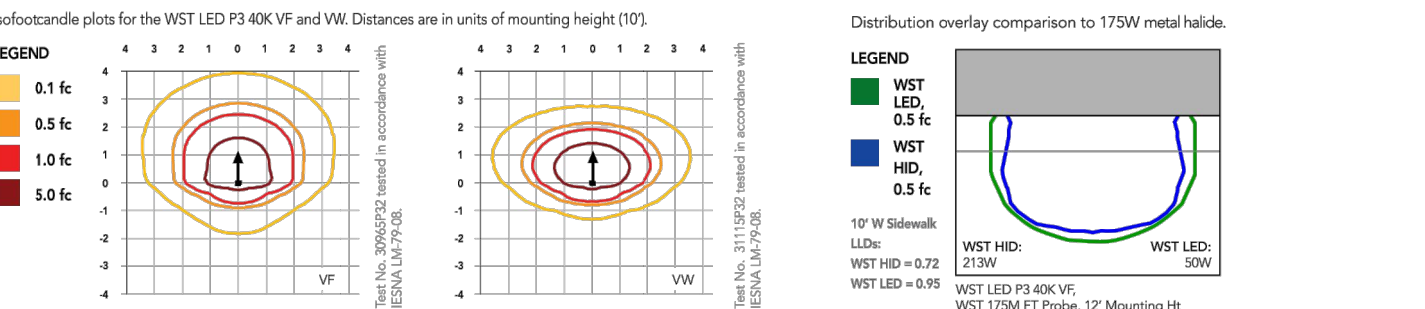
Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Performance Package	System Ambient Temperature (°C/°F)	Dist. Type	27K (2700 K)						30K (3000 K)						40K (4000 K)						50K (5000 K)						
			120V			208V			240V			277V			347V			480V			500V						
			lumens	A	ft	lumens	A	ft	lumens	A	ft	lumens	A	ft	lumens	A	ft	lumens	A	ft	lumens	A	ft				
P1	12W	VF	1,494	0	0	0	125	1,520	0	0	0	127	1,609	0	0	0	137	1,609	0	0	0	137	1,609	0	0	137	
		VW	1,513	0	0	0	126	1,546	0	0	0	129	1,609	0	0	0	138	1,600	0	0	0	138	1,600	0	0	138	
		VF	3,161	1	0	1	127	3,237	1	0	1	129	3,460	1	0	1	139	3,460	1	0	1	139	3,460	1	0	1	139
P2	25W	VW	3,281	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0	140	3,512	1	0	0	140
		VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132	6,607	1	0	1	132
		VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1	134	6,691	1	0	1	134

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's WST LED homepage.



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make the luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermostat powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 96 high-efficiency LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 60°C LED). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B per ANSI/IEEE C62.41.2.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(s) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buyamerican for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty-terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

4150 E. 60TH AVE

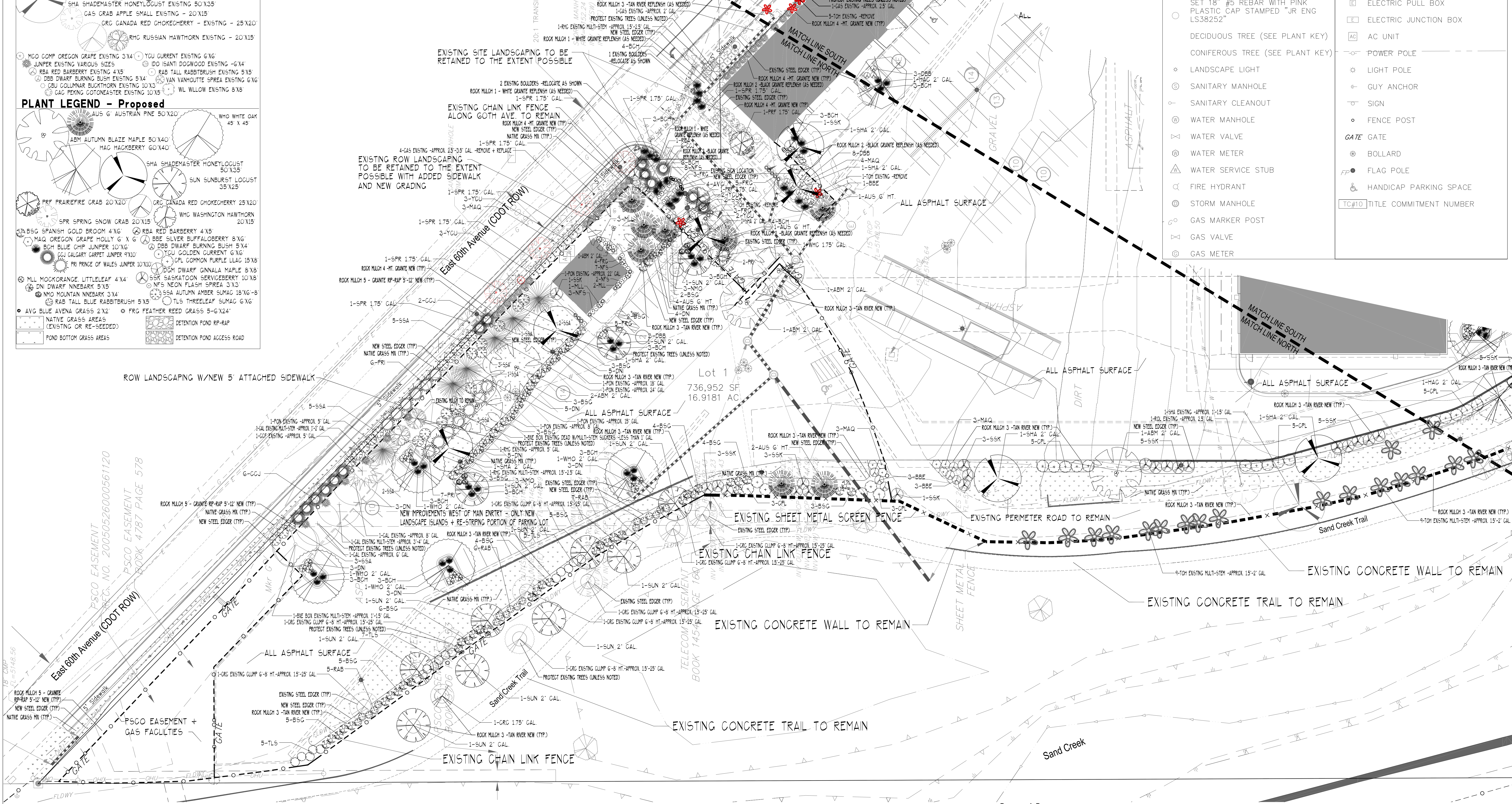
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO


LANDSCAPE PLAN

ADAMS COUNTY PIN: 183307300043

PLANT LEGEND - EXISTING VEGETATION	
	CCF WHITE FIR EXISTING 40'X20'
	DEG Existing Off-Site Trees
	PON PONDEROSA PINE EXISTING - 40'X25'
	BNE BOX ELDER EXISTING 45'X35'
	CAL WESTERN CATALPA EXISTING 50'X30'
	ROL Russian Olive Existing - 25'X25'
	TOH Tree Of Heaven 40'X30'
	To Remain
	To Remove
	SHA SHADEMAISTER HONEYLOCUST EXISTING 50'X35'
	CAS CRAB APPLE SMALL EXISTING - 20'X15'
	ORG CANADA RED CHOKECHERRY - EXISTING - 25'X20'
	RHC RUSSIAN HAWTHORN EXISTING - 20'X15'
	MGO COMP OREGON GRAPE EXISTING 3'X4'
	YOU CURRENT EXISTING 6'X6'
	JUNIPER EXISTING VARIOUS SIZES
	IDO ISANT DOGWOOD EXISTING - 6'X4'
	RBA RED BARBERRY EXISTING 4'X5'
	DBB DWARF BURNING BUSH EXISTING 5'X4'
	CBU COLUMNAR BUCKTHORN EXISTING 10'X3'
	CAG PEKING COTONEASTER EXISTING 10'X5'
	WIL WILLOW EXISTING 8'X3'
PLANT LEGEND - Proposed	
	AUS G AUSTRIAN PINE 50'X20'
	WHO WHITE OAK 45' X 45'
	ABM AUTUMN BLAZE MAPLE 50'X40'
	MAG HACKBERRY 60'X40'
	SHA SHADEMAISTER HONEYLOCUST 50'X35'
	SUN SUNBURST LOCUST 35'X25'
	PRF PRAIRIE FIRE CRAB 20'X20'
	ORG CANADA RED CHOKECHERRY 25'X20'
	WHC WASHINGTON HAWTHORN 20'X15'
	SPR SPRING SNOW CRAB 20'X15'
	BSG SPANISH GOLD BROOM 4'X6'
	MAQ OREGON GRAPE HOLLY 6' X 6'
	BBE SILVER BUFFALO BERRY 8'X6'
	DBB DWARF BURNING BUSH 5'X4'
	YOU GOLDEN CURRENT 6'X6'
	CGJ CALGARY CARPET JUNIPER 9'X10'
	CPL COMMON PURPLE LILAC 15'X8'
	DGM DWARF GINNALA MAPLE 8'X8'
	SSK SASKATOON SERVICEBERRY 10'X8'
	DNI DWARF NINEBARK 5'X5'
	NPS NEON FLASH SPIREA 3'X3'
	NMO MOUNTAIN NINEBARK 3'X4'
	SSA AUTUMN AMBER SUMAC 18'X8'-8'
	RAB TALL BLUE RABBITERBRUSH 5'X5'
	TLS THREELEAF SUMAC 6'X6'
	AVG BLUE AVENA GRASS 2'X2'
	FRG FEATHER REED GRASS 5'-6'X24'
	NATIVE GRASS AREAS (EXISTING OR RE-SEEDING)
	POND BOTTOM GRASS AREAS
	DETENTION POND RIP-RAP
	DETENTION POND ACCESS ROAD

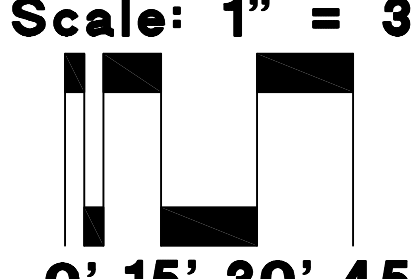
LEGEND	
	RECOVERED 1.5" ALUMINUM CAP STAMPED "LS11434"
	RECOVERED 1.5" ALUMINUM CAP STAMPED "LS5447"
	RECOVERED #5 REBAR
	SET 18" #5 REBAR WITH PINK PLASTIC CAP STAMPED "JR ENG LS38252"
	DECIDUOUS TREE (SEE PLANT KEY)
	CONIFEROUS TREE (SEE PLANT KEY)
	LANDSCAPE LIGHT
	SANITARY MANHOLE
	SANITARY CLEANOUT
	WATER MANHOLE
	WATER VALVE
	WATER METER
	WATER SERVICE STUB
	FIRE HYDRANT
	STORM MANHOLE
	GAS MARKER POST
	GAS VALVE
	GAS METER
	TELEPHONE PEDESTAL
	TELEPHONE PULL BOX
	FIBER OPTIC PEDESTAL
	FIBER OPTIC PULL BOX
	ELECTRIC MANHOLE
	ELECTRIC PULL BOX
	ELECTRIC JUNCTION BOX
	AC UNIT
	POWER POLE
	LIGHT POLE
	GUY ANCHOR
	SIGN
	FENCE POST
	GATE
	BOLLARD
	FLAG POLE
	HANDICAP PARKING SPACE
	TC#10 TITLE COMMITMENT NUMBER



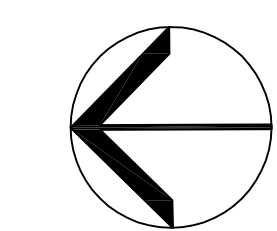


Know what's below.
Call before you dig.

Scale: 1" = 30'



0' 15' 30' 45'



North

Prepared By:



Kirby Smith & Associates, Inc.
Land Planning • Site Design • Landscape Architecture
6201 So. Hudson Ct., Centennial, CO 80121
(303) 694-9484 FAX (303) 694-9272

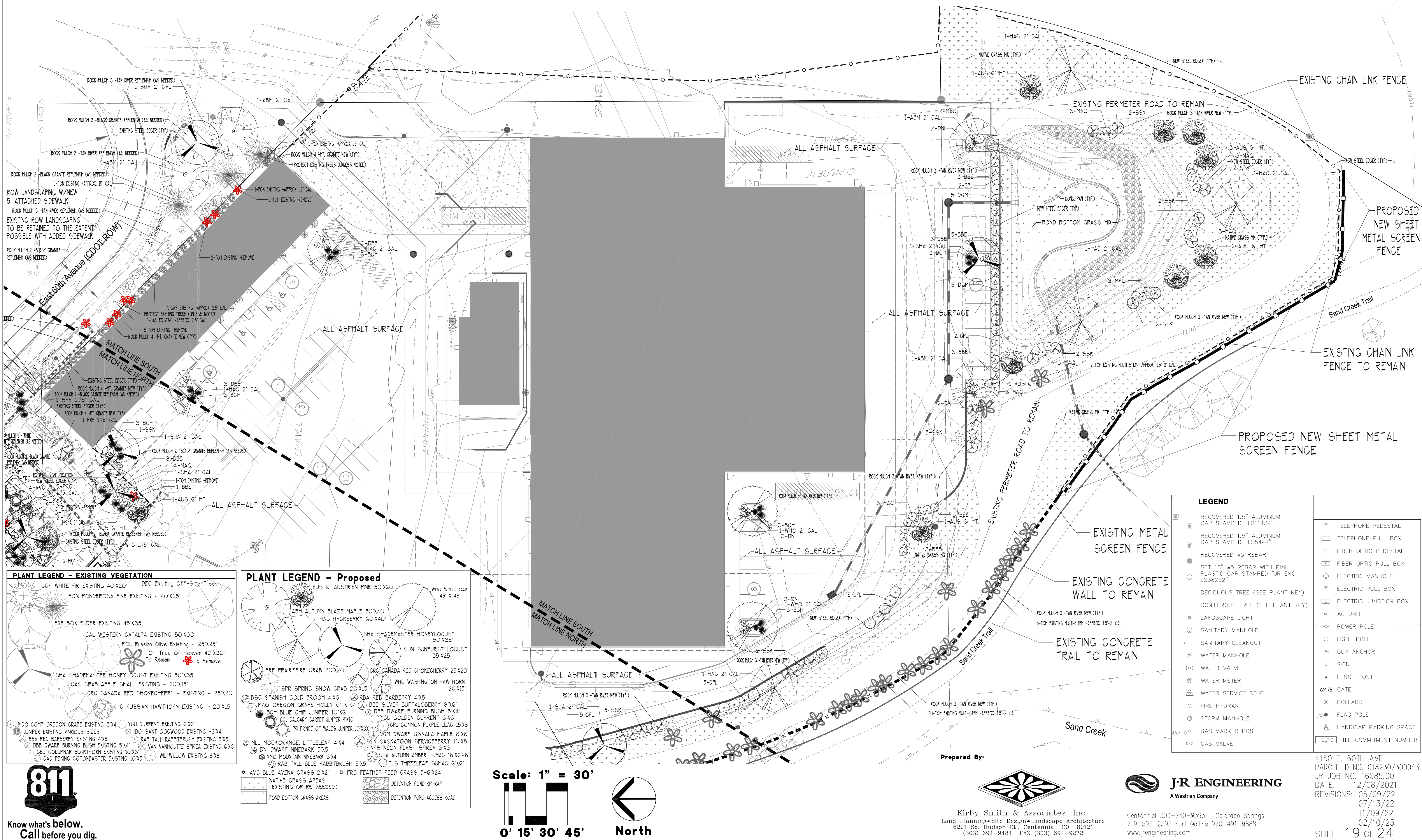
**J.R. ENGINEERING**
A Westrian Company

Centennial 303-740-9393 Colorado Springs
719-593-2593 Fort Collins 970-491-9888
www.jrengineering.com

4150 E. 60TH AVE
PARCEL ID NO. 0182307300043
JR JOB NO. 16085.00
DATE: 12/08/2021
REVISIONS: 05/09/22
07/13/22
11/09/22
02/10/23
SHEET 18 OF 24

4150 E. 60TH AVE
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
LANDSCAPE PLAN

ADAMS COUNTY PIN: 183307300043

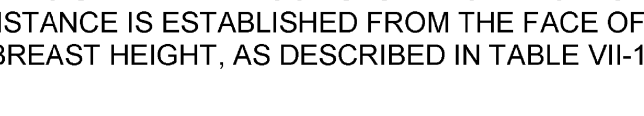
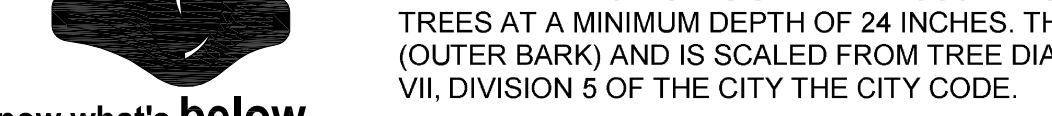
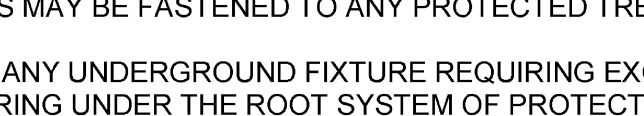
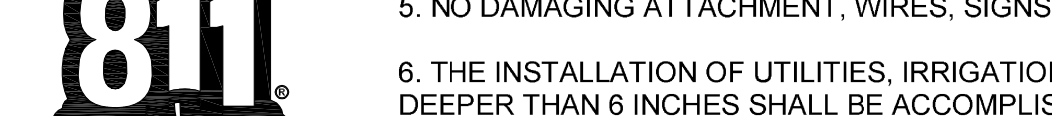
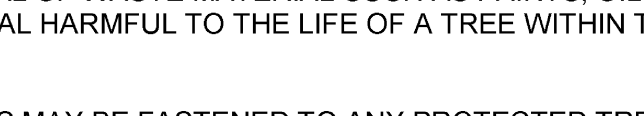
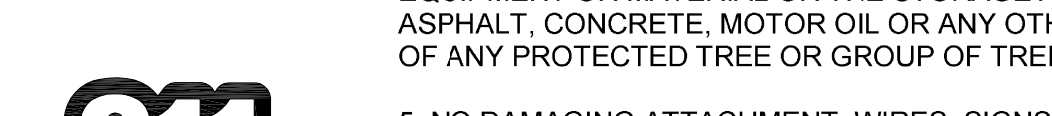
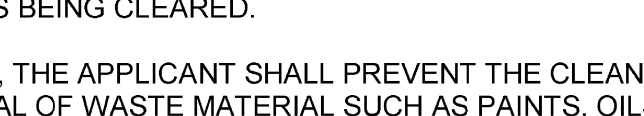
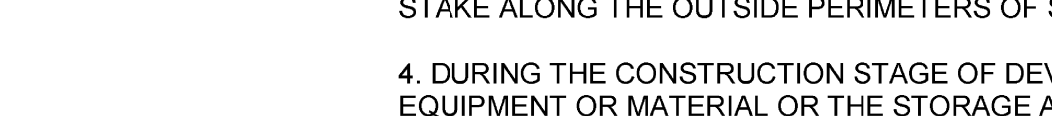
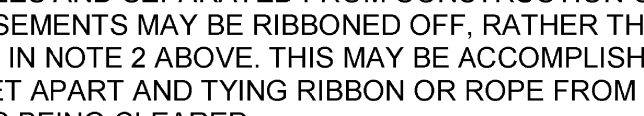
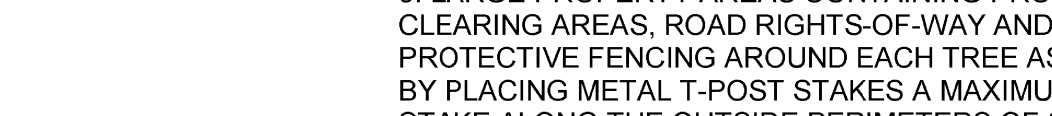
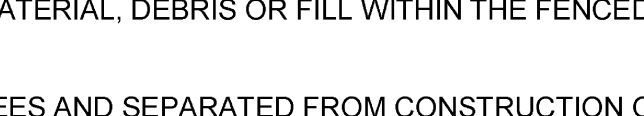
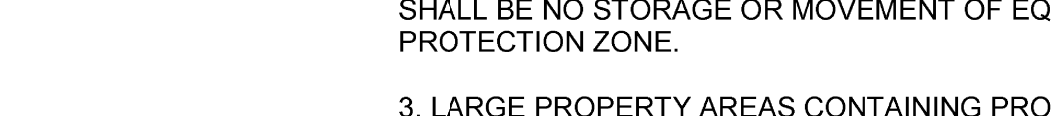
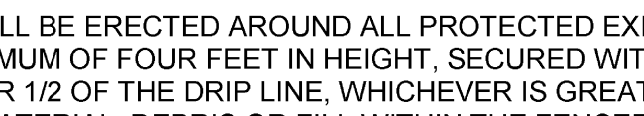
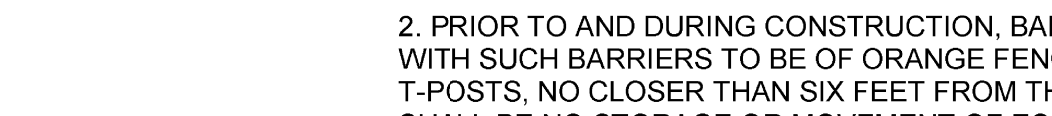
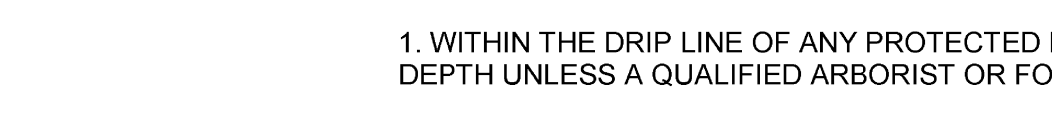
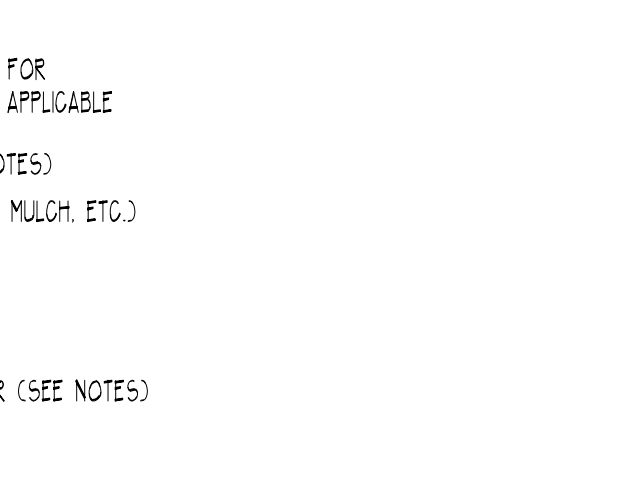
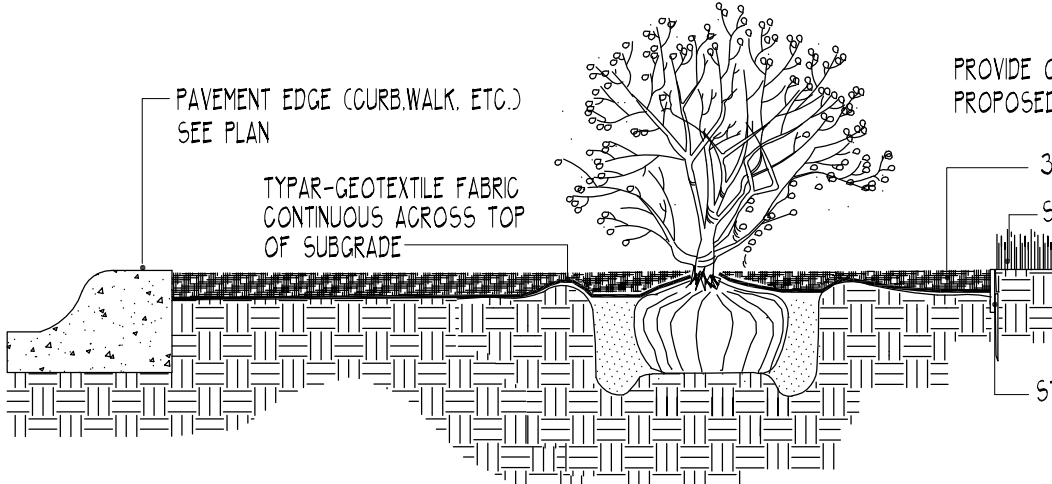
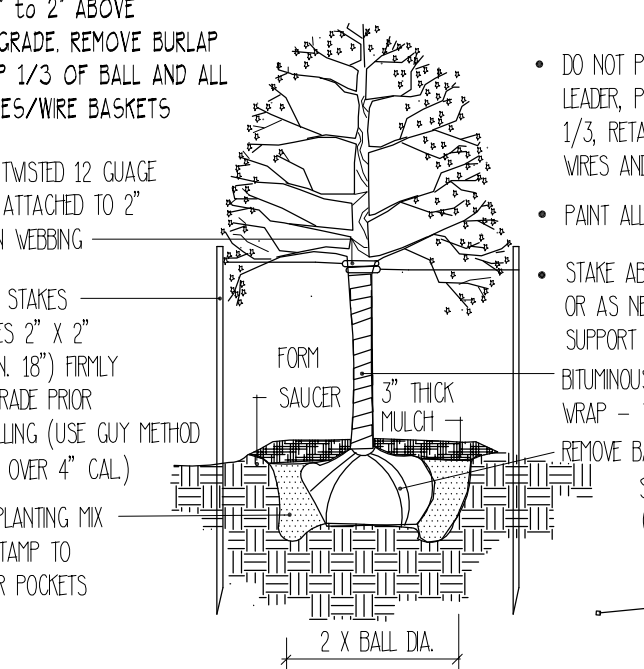
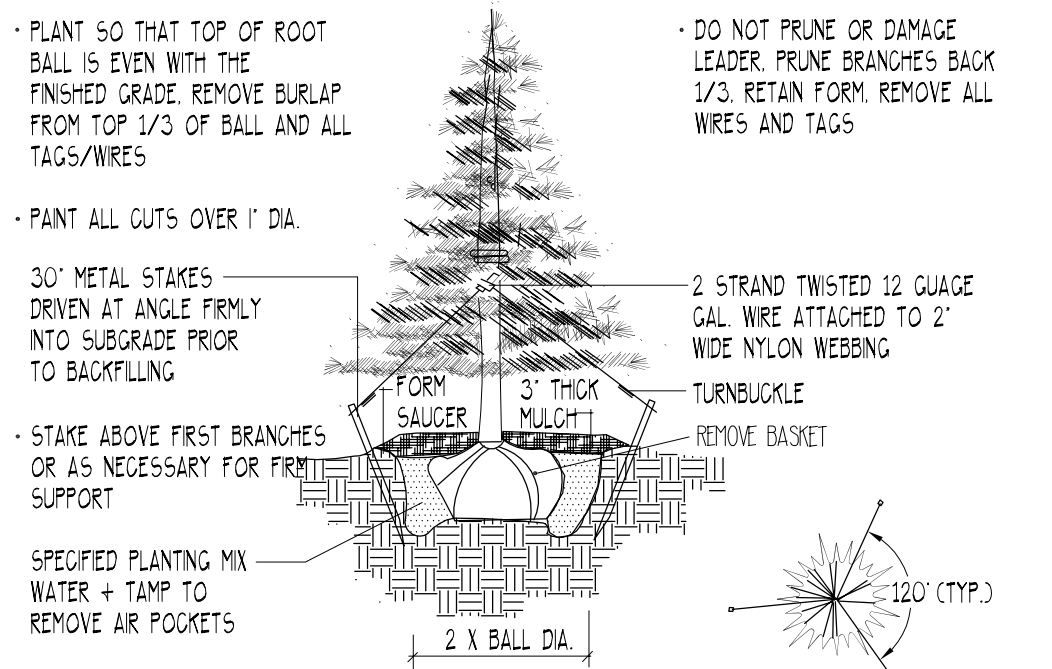
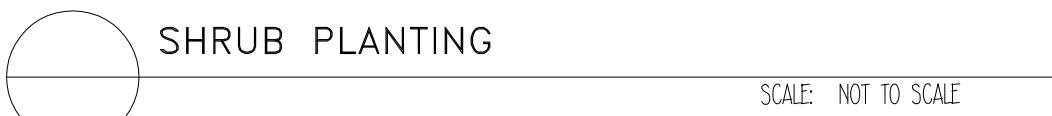
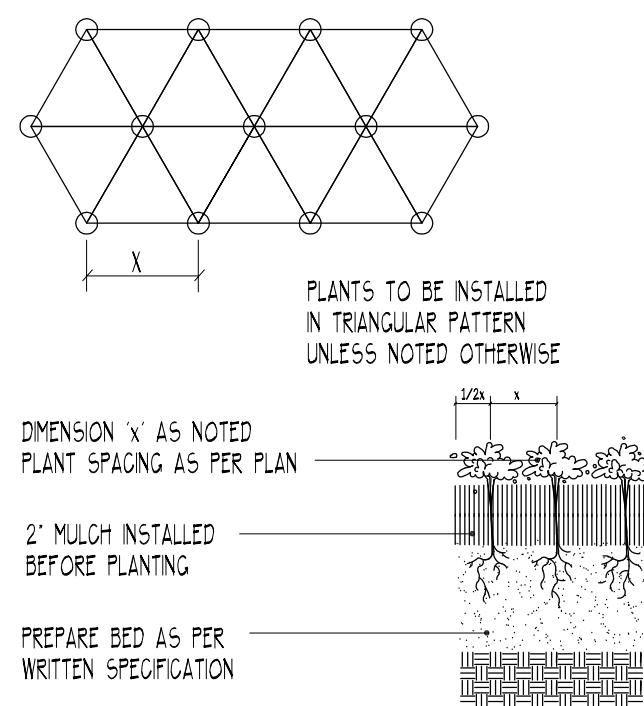
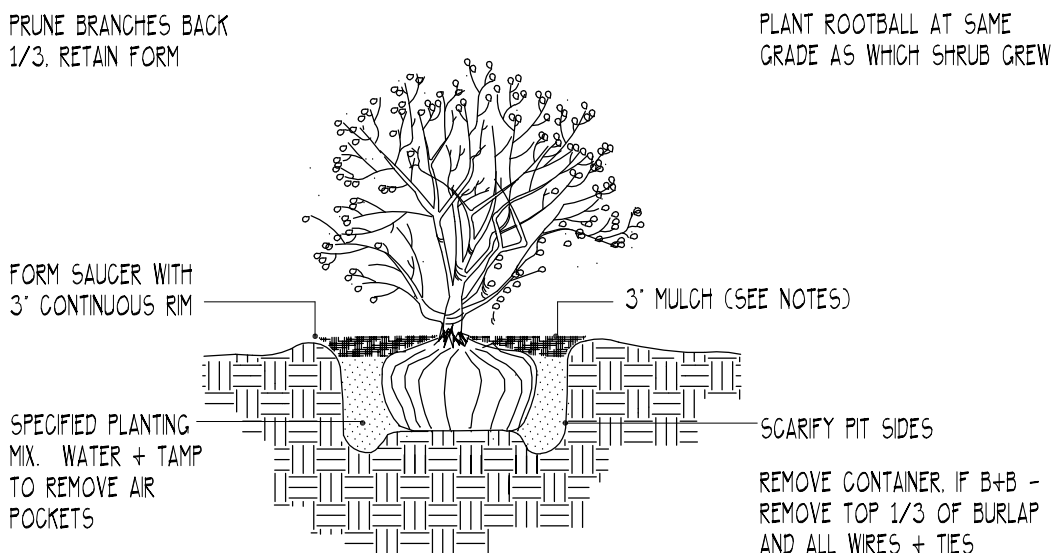


4150 E. 60TH AVE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 3 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO LANDSCAPE PLAN

ADAMS COUNTY PIN: 183307300043

Landscape Planting Details:



CITY STANDARD LANDSCAPE NOTES –

- MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION.**
MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2 1/4 POT'S. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000SF OF LANDSCAPE AREA.
- STREET TREES.**
THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
- WEED BARRIER.**
POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
- EDGING.**
PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
- IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN.**
THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
- IRRIGATION.**
ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND ANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
- MAINTENANCE.**
THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- VEHICLE PARKING NOTE.**
NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
- SIGHT-LINE CONSIDERATIONS.**
ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT-DISTANCE-TRIANGLES. INFORMATION ON THE SIGHT-DISTANCE-TRIANGLES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS.
- NATIVE GRASS NOTE.**
ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED SHALL BE SEEDED WITH NATIVE GRASSES.

4150 E. 60th Ave – DP LANDSCAPE DATA

OVERALL SITE LANDSCAPE AREA: 98,388 SQ. FT. (INCLUDING DETENTION POND – EXCLUDING WESTERN AREAS ALONG SAND CREEK AND SAND CREEK FLOODPLAIN AREA).
OVERALL SITE TURF AREAS: 0 SQ. FT. = 0.00% OF OVERALL SITE LANDSCAPE AREA
ADJACENT ROW AREA: 12,561 SQ. FT.

STREET TREES:
STREET FRONTAGE (-) MINUS ENTRY DRIVES = 830 LN. FT.
REQUIRED TREES (1/40 LF): 830 / 40 = 21 TREES
PROVIDED TREES: 7 EXISTING + 11 NEW = 18 TREES (3 TREES WAIVED DUE TO STEEP SLOPES AND OVERHEAD LINES)

OVERALL ON-SITE OPEN SPACE: 98,388 SQ. FT.
REQUIRED TREES (1/1200 SF) = 82 TREES
REQUIRED SHRUBS (1/300 SF) = 328 SHRUBS
TREES PROVIDED: 57 EXISTING + 25 NEW = 82 TREES
SHRUBS PROVIDED: 86 EXISTING + 234 SHRUBS
+8 SHRUB EQUIV. (24 GRASSES/3 = 8) = 328 SHRUBS

DETENTION POND PERIMETER: 475 LN. FT.
REQUIRED TREES (1/50 LF) = 10 TREES
REQUIRED SHRUBS (1/1050 LF) = 95 SHRUBS
TREES PROVIDED: 10 TREES
SHRUBS PROVIDED: 95 SHRUBS

PARKING LOT PERIMETER: 183 LN. FT.
REQUIRED TREES (1/30 LF) = 6 TREES
REQUIRED SHRUBS (5/30 LF) = 31 SHRUBS
TREES PROVIDED: 6 TREES
SHRUBS PROVIDED: 31 SHRUBS

PARKING ISLANDS: 13 ISLANDS
REQUIRED TREES (1/ISLAND) = 13 TREES
REQUIRED SHRUBS (6/ISLAND) = 78 SHRUBS
TREES PROVIDED: 13 TREES
SHRUBS PROVIDED: 76 SHRUBS (DUE TO DRAINAGE RIP-RAP IN SE ISLAND)

OVERALL ON-SITE GRAND TOTALS:
REQUIRED TREES: 111 TREES
REQUIRED SHRUBS: 532 SHRUBS
TREES PROVIDED: 57 EXISTING + 54 NEW = 111 TREES
SHRUBS PROVIDED: 86 EXISTING + 436 SHRUBS
+8 SHRUB EQUIV. (24 GRASSES/3 = 8) = 530 SHRUBS

LIVE PLANT MATERIAL:
REQUIRED LIVE PLANT AREA (75% LANDSCAPE AREA): 73,791 SQ. FT.
PROVIDED LIVE PLANT AREA: 65,871 SF NATIVE & POND BOTTOM GRASSES + SHRUB COVERAGE APPROX. 18,000 SQ. FT. = 83,871 SQ. FT. (85%)

MULCH TYPES: 5 TYPES (SEE MATERIALS LIST FOR TYPES & APPROX. QUANTITIES)

LANDSCAPE NOTES

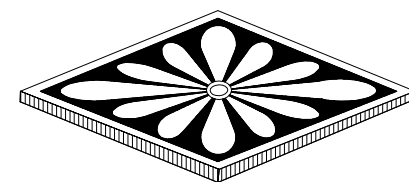
- THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, MECHANICAL AND ARCHITECTURAL SITE PLANS TO FORM COMPLETE INFORMATION REGARDING THIS SITE. SEE ARCHITECTURAL & ENGINEERING PLANS FOR INFORMATION REGARDING BUILDINGS, DRIVEWAYS, SIDEWALKS, FREESTANDING LIGHTS, FENCES AND WALLS.
- ALL LANDSCAPED AREA IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO REQUIREMENTS FOUND IN THE CITY OF COMMERCE CITY IRRIGATION REQUIREMENTS. ALL DRYLAND NATIVE GRASS AREAS SHALL REQUIRE TEMPORARY IRRIGATION THROUGH ESTABLISHMENT. AREAS LESS THAN 25' IN WIDTH SHALL HAVE POP-UP SPRAY SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL HAVE FULL COVERAGE WITH EITHER A DRIP SYSTEM OR SHRUB POP-UP MICRO-SPRAY HEADS. GRASS AREAS AND SHRUB BEDS SHALL BE ZONED SEPARATELY.
- ALL TREES IN BEDS OR DRYLAND GRASS AREAS MUST HAVE 48" DIAMETER MULCHED TREE RINGS. ALL TREES TO BE STAKED OR GUYED AS PER PLANT LIST AND DETAILS. ALL SHRUBS IN BEDS MUST HAVE 18" DIAMETER WOOD MULCHED RINGS.
- ALL SHRUB BEDS SHALL BE MULCHED WITH 3" OR GREATER LAYER OF SPECIFIED ROCK MULCH, OVER DUPONT 'TYPAR' WEED BARRIER, OR APPROVED EQUAL. WEED BARRIER FABRIC SHALL NOT BE USED IN GROUND COVER AREAS OR IN TREE & SHRUB RING AREAS.
- ALL DECIDUOUS AND EVERGREEN TREE RINGS SHALL BE MULCHED WITH 4" SPECIFIED CEDAR/WOOD MULCH.
- ALL SHRUB BEDS AND MULCH AREAS ARE TO BE CONTAINED WITH SPECIFIED STEEL EDGER (NOT REQUIRED AT CURB, WALLS, OR BUILDING WALLS).
- ALL DRYLAND/NATIVE GRASS AREAS SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS PER 1000 S.F.: 2.0 CUBIC YARDS 'SUPREME ORGANICS' COMPOST (50% COW MANURE, 50% WOOD FINES, SUPPLIED BY JENSEN SALES, INC., DENVER) OR EQUIVALENT, PLUS 15 LBS OF 20-10-5 COMMERCIAL FERTILIZER. ROTOTILL TO A MINIMUM DEPTH OF 6 INCHES. SOIL AMENDMENTS FOR SHRUB BEDS SHALL BE AS ABOVE, WITH 5.0 CUBIC YARDS 'SUPREME ORGANICS' COMPOST PLUS 15 LBS OF 20-10-5 COMMERCIAL FERTILIZER PER 1000 S.F.
- PLANT BACKFILL MIX SHALL BE:
1/3 'SUPREME ORGANICS', OR APPROVED EQUAL; 2/3 ON SITE SOIL.
- DRYLAND GRASS SEED SHALL UTILIZE 'DRYLAND PASTURE MIX' FROM ARKANSAS VALLEY SEED CO., OR APPROVED EQUAL (DRILL RATE: 15 LBS. TO 20 LBS. P.L.S. PER ACRE. DOUBLE RATES IF PLANTED BY ANY OTHER METHODS).
GRASS SEED % GRASS SEED %
TETRAPLOID PERENNIAL RYE 20% HYCREST CRESTED WHEATGRASS 15%
SMOOTH BROME, LINCOLN 20% PUBESCENT WHEATGRASS 15%
PAIUTE ORCHARDGRASS 15% DAHURIAN WILDRYE 15%
- WATER QUALITY POND BOTTOM GRASS SEED WITH WILDFLOWERS BLEND (DRILL RATE: 12.4 LBS., P.L.S. PER ACRE OF GRASS MIX, PLUS 0.4 LBS., PLS. PER ACRE OF WILDFLOWER MIX BELOW. DOUBLE RATES IF PLANTED BY ANY OTHER METHODS). URBAN DRAINAGE & FLOOD CONTROL DISTRICT RECOMMENDED SEED MIX FOR HIGH WATER TABLE CONDITIONS:
GRASS SEED LBS. P.L.S./ACRE GRASS SEED LBS. P.L.S./ACRE
RED TOP 0.1 INLAND SALTGRASS 1.0
SWITCHGRASS (PATHFINDER) 2.2 WOOLY SEDGE 0.1
WESTERN WHEATGRASS (ARRIBA) 7.9 BAL TIC RUSH 0.1
PRAIRIE CORDGRASS 1.0
WILDFLOWER SEED LBS. P.L.S./ACRE WILDFLOWER SEED LBS. P.L.S./ACRE
NUTTALL'S SUNFLOWER 0.1 YARROW 0.06
WILD BERGAMOT 0.12 BLUE VERVAIN 0.12
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY. MAINTENANCE SHALL INCLUDE PROPER PRUNING, MOWING, AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MAXIMIZE WATER CONSERVATION. THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF THE PLANT(S) WITHIN ONE PLANTING SEASON.
- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES, AND CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, LINES, AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO PROVIDE PROTECTION FOR EXISTING TREES TO BE PROTECTED AS SHOWN PER PLAN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DAMAGE TO PROTECTED TREES AND/OR ADJACENT LANDSCAPE. CONTRACTOR SHALL FOLLOW TREE PROTECTION REQUIREMENTS HEREON. CONTRACTOR SHALL COORDINATE EXISTING TREE / LANDSCAPE REMOVAL AND PROTECTION PER PLAN WITH GENERAL CONTRACTOR. IF ANY PROTECTED PLANT MATERIAL PER PLAN DOES NOT SURVIVE DURING 90 DAY ESTABLISHMENT PERIOD AFTER FINAL INSPECTION IT SHALL BE REPLACED WITH EQUIVALENT PLANT MATERIAL.

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 20_____.

DEPARTMENT OF COMMUNITY DEVELOPMENT

Prepared By:



Kirby Smith & Associates, Inc.
Land Planning • Site Design • Landscape Architecture
6201 So. Hudson Ct., Centennial, CO 80121
(303) 694-9484 FAX (303) 694-9272



Centennial 303-740-3933 Colorado Springs
719-593-2593 Fort Collins 970-491-9888
www.jrengineering.com

4150 E. 60th AVE. – DP PLANT & MATERIALS SCHEDULE

QTY.	ITEM	COMMON NAME	SCIENTIFIC NAME	SIZE	COMMENTS	HYDRO ZONE
		EVERGREEN TREES				
16	AUS	AUSTRIAN PINE	PINUS NIGRA	6' HT.	B&B	L
		DECIDUOUS TREES				
10	ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	2" CAL	B&B	M
6	HAC	HACKBERRY	CELTIS OCCIDENTALIS	2" CAL	B&B	L
9	SHA	SHADEMASTER HONEYLOCUST	GLEDITSIA TRANCANTHOS INERMIS SHADEMASTER	2" CAL	B&B	L
11	SUN	SUNBURST HONEYLOCUST	GLEDITSIA TRANCANTHOS INERMIS SUNBURST	2" CAL	B&B	L
6	WHO	WHITE OAK	QUERCUS ALBA	2" CAL	B&B	L
2	PRF	PRAIRIE FIRE CRAB	MALUS SSP. 'PRAIRIE FIRE'	1.75" Cal	B&B	M
8	SPR	'SPRING SNOW' CRAB	MALUS X SPRING SNOW	1.75" Cal	B&B	M
1	CRG	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'	6" CLMP	B&B 3 STEM	M
1	WHC	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	1.75" Cal	B&B	L
		BROADLEAF EVERGREEN SHRUBS				
51	BSG	BROOM, SPANISH GOLD	CYTISUS PURGAN 'SPANISH GOLD'	5 GAL	20" MIN HT.	L
36	MAQ	MAHONIA/OREGON GRAPE	MAHONIA AQUIFOLIUM	5 GAL	20" MIN HT.	L
56	BCH	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL	18" MIN SPFD	L
14	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'MONNA'	5 GAL	18" MIN SPFD	L
15	PRI	PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	5 GAL	18" MIN SPFD	L
		DECIDUOUS SHRUBS				
1	RBA	RED BARBERRY	BERBERIS THUNBERGII 'AUTOPURPUREA'	5 GAL	18" MIN HT.	M
24	BBE	SILVER BUFFALO BERRY	SHEPHERDIA ARGENTEA	5 GAL	24" MULTI-STAKED	L
20	DBB	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	5 GAL	18" MULTI-STAKED	M
10	YCU	GOLDEN CURRENT	RIBES AUREUM	5 GAL	24" MULTI-STAKED	L
10	CPM	COMMON PURPLE LILAC	SYRINGA VULGARIS	5 GAL	18"-24" MULTI-STAKED	L
30	DGL	DWARF GINNALLA MAPLE	ACER GINNALLA 'COMPACTA'	5 GAL	18"-24" MULTI-STAKED	L
6	MLL	LITTLE LEAF MOCKORANGE	PHILADELPHUS MICROPHYLLUS	5 GAL	24" MULTI-STAKED	L
41	DNI	DWARF NINEBARK	PHYSOCARPUS OPUFOLIUS 'NANUS'	5 GAL	18"-24" MULTI-STAKED	M
6	NMO	MOUNTAIN NINEBARK	PHYSOCARPUS MONOGYNUS	5 GAL	24" MULTI-STAKED	M
18	RAB	RABBIT BRUSH	CHRYSOETHAMNUS NAUSEOSUS	5-GAL	24" MULTI-STAKED	L
44	SSK	SASKATOON SERVICE BERRY	AMELANCHIER ALNIFOLIA	5 GAL	24" MULTI-STAKED	L
20	NFS	NEON FLASH SPIREA	AMELANCHIER 'NEON FLASH'	5 GAL	24" MULTI-STAKED	M
25	SSA	AUTUMN AMBER SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	5 GAL	18"-24" MULTI-STAKED	L
17	TLS	THREE LEAF SUMAC	RHUS TRILOBATA	5 GAL	18"-24" MULTI-STAKED	L
		GRASSES				
4	AVG	BLUE AVENA /OAT GRASS	HELIOTOTRICHON SEMPERVIRENS	1 GAL	12" MIN SPFD	L
20	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL	24"-30" OC.	M

DRYLAND GRASS AREAS: APPROX. 61,300 SQUARE FEET TOTAL - TO BE SEEDED WITH 'LOW GROW' GRASS SEED MIX. AVAILABLE FROM ARKANSAS VALLEY SEED CO. (OR OWNER APPROVED EQUAL).

POND BOTTOM GRASS AREA: APPROX. 9,313 SQUARE FEET TOTAL - TO BE SEEDED WITH UDFCD RECOMMENDED SEED MIX FOR HIGH WATER TABLE CONDITIONS (SEE NOTES), OR OWNER APPROVED EQUAL.

CEDAR MULCH RINGS: APPROX. 2,400 SQUARE FEET TOTAL - CASCADE CEDAR, OR OWNER APPROVED EQUAL. MINIMUM 4" DEPTH FOR SHRUB RINGS IN PLANTING BEDS AND ALL TREE RINGS.

ROCK MULCH 1 BEDS: APPROX. 432 SQ. FT. NEW (REPLENISH EXISTING AS NEEDED) - WHITE GRANITE 1-1/2" (TO MATCH EXISTING) OR OWNER APPROVED EQUAL - 3" MIN. DEPTH.

ROCK MULCH 2 BEDS: APPROX. 0 SQ. FT. NEW (REPLENISH EXISTING AS NEEDED) - BLACK GRANITE 1-1/2" (TO MATCH EXISTING) OR OWNER APPROVED EQUAL - 3" MIN. DEPTH.

ROCK MULCH 3 BEDS: APPROX. 19,495 SQUARE FEET TOTAL - TAN RIVER ROCK 1-1/2", OR OWNER APPROVED EQUAL - 3" MIN. DEPTH.

ROCK MULCH 4 BEDS: APPROX. 4,155 SQUARE FEET TOTAL - MONTAIN GRANITE 1-1/2" CRUSHED, OR OWNER APPROVED EQUAL - 3" MIN. DEPTH.

ROCK MULCH 5 BEDS: APPROX. 3,905 SQUARE FEET TOTAL - GRANITE RIP-RAP 5"-12", OR OWNER APPROVED EQUAL - HAND STACKED.

STEEL EDGER: APPROX. 2,441 LINEAR FEET - ROLLED TOP, 1/4 GAGE, GREEN PAINTED DURA-EDGE, OR OWNER APPROVED EQUAL.

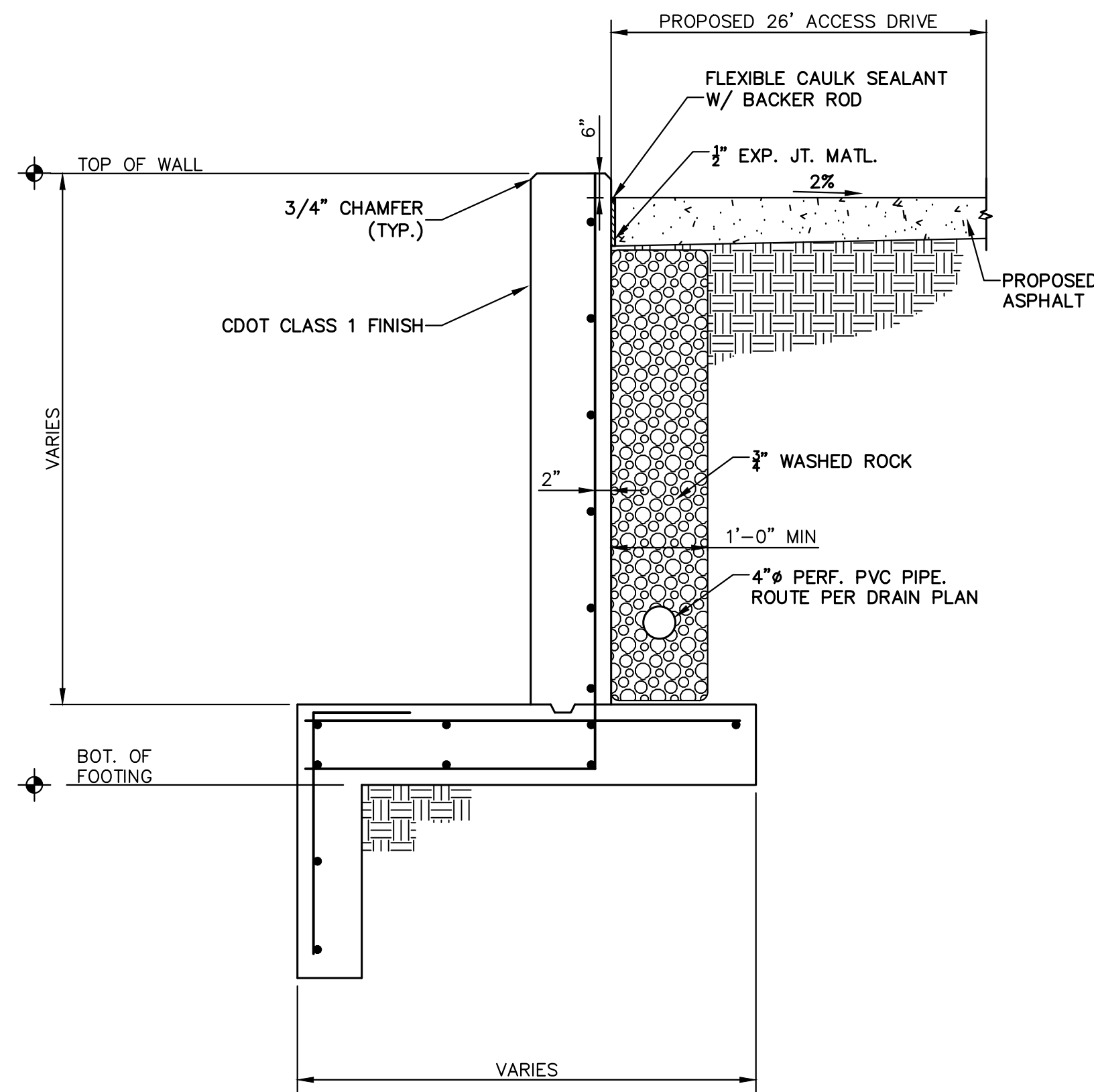
EXISTING TREES SCHEDULE – TO REMAIN

QTY.	ITEM	COMMON NAME	SCIENTIFIC NAME	SIZE CALIPER	COMMENTS	HYDRO ZONE
		EVERGREEN TREES - ROW				
3	PON	PONDEROSA PINE	PINUS PONDEROSA	12"-15"	EXISTING	L
		DECIDUOUS TREES - ROW				
3	CAS	CRABAPPLE SMALL	MALUS SSP.	2"-2.5"	EXISTING	M
1	RHC	RUSSIAN HAWTHORN	CRATAEGUS	1.5"-2.5"	EXISTING	L
		EVERGREEN TREES - ON-SITE				
1	CCF	CONCOLOR FIR/WHITE FIR	ABIES CONCOLOR	5.0"	EXISTING	L
6	PON	PONDEROSA PINE	PINUS PONDEROSA	5.0"-24"	EXISTING	L
		DECIDUOUS TREES - ON-SITE				
2	BXE	BOXELDER	ACER NEGUNDO	1.0"-1.5"	EXISTING	M
4	CAL	WESTERN CATALPA	CATALPA SPECIOSA	2.0"-8.0"	EXISTING	L
4	CRC	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'	1.5"-2.5"	EXISTING	L
2	RHC	RUSSIAN HAWTHORN	CRATAEGUS	1.5"-5.0"	EXISTING	L
1	ROL	RUSSIAN OLIVE	ELAAGNUS ANGUSTIFOLIA	2.5"	EXISTING	L
1	SH	SHADEMASTER HONEYLOCUST	GLEDITSIA TRACANTHOSUS INFERMS 'SHADEMASTER'	1.5"	EXISTING	L
36"	T0H1	TRFE OF JEFFERSON	ALANTHUS IS ALTISSIMA	1.5"-2.5"	EXISTING	L

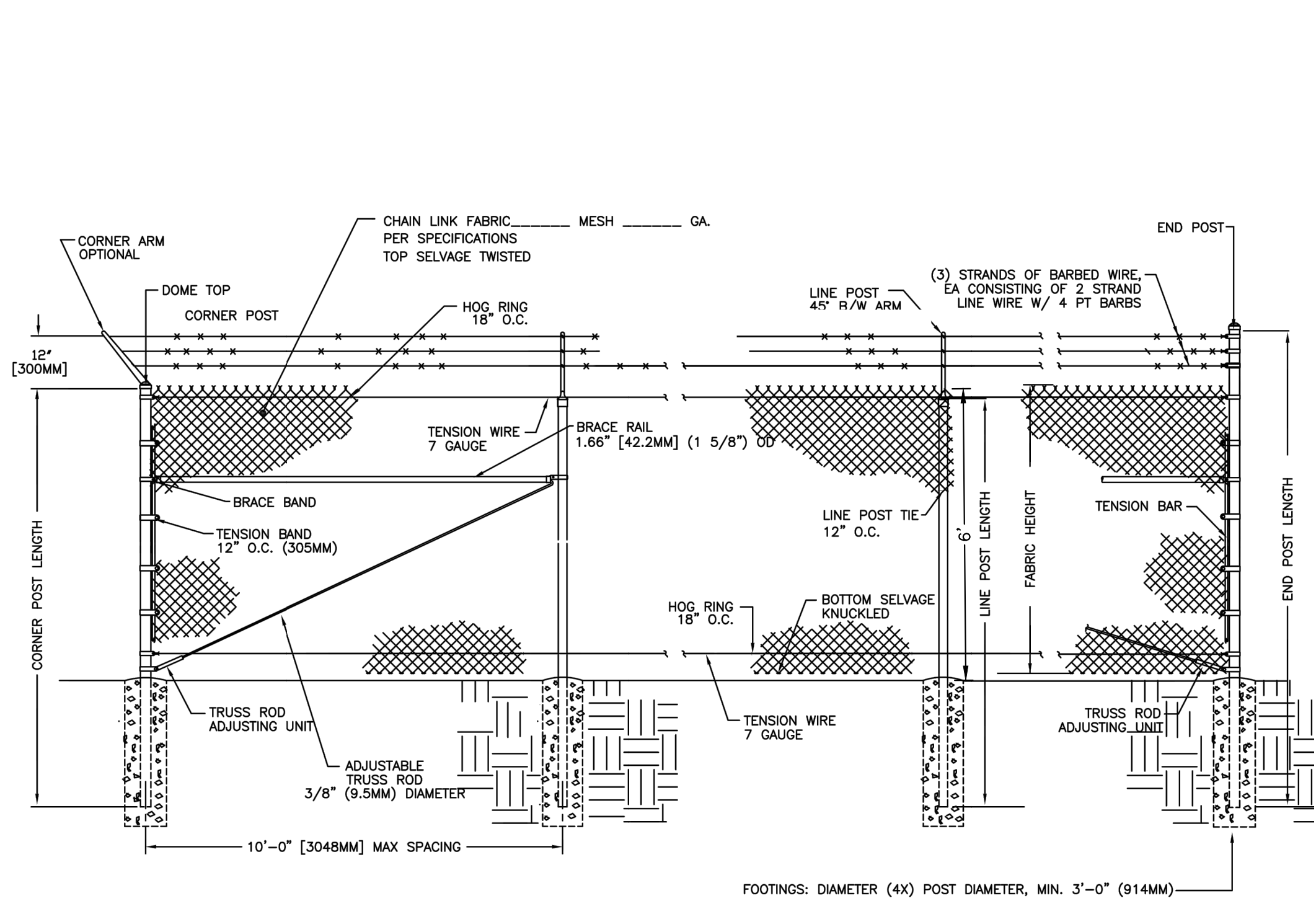
4150 E. 60TH AVE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
DETAILS

ADAMS COUNTY PIN: 182307300043



CONCRETE WALL
NTS
(WALL THICKNESS, DIMENSIONS, AND
REINFORCING TO BE DESIGNED
BY STRUCTURAL ENGINEER)



CHAIN LINK SECURITY FENCE
(OR APPROVED EQUAL)



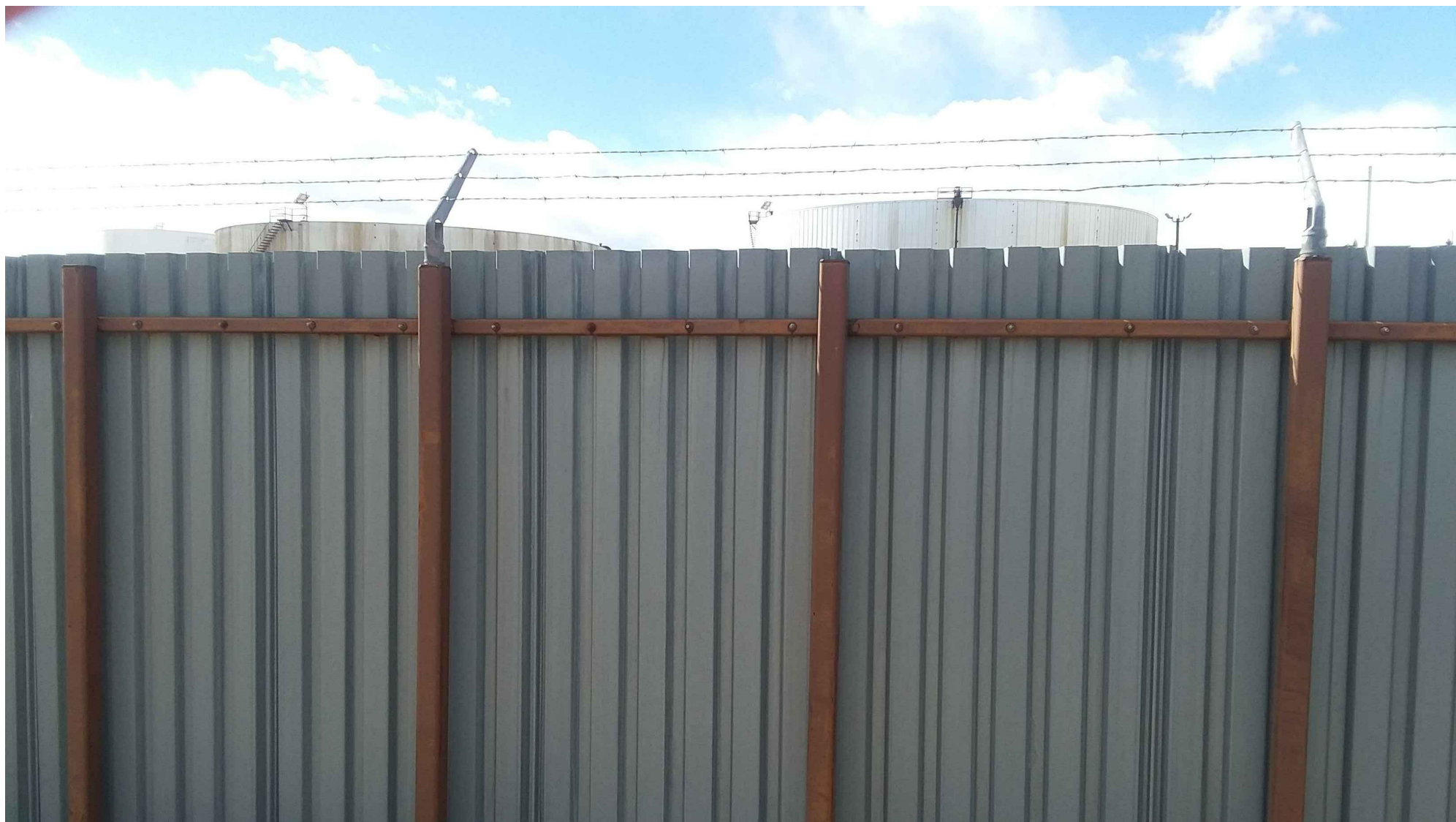
INSIDE INDUSTRIAL BUILDING
(UNLOADING AREA AT NORTHWEST CORNER OF BUILDING)



MUELLER METAL SCREEN WALL (8' TALL)
(OR APPROVED EQUAL)
(INSTALL 3 STRAND BARB WIRE ALONG THE TOP OF THE SCREEN WALL)



MUELLER METAL SCREEN WALL (8' TALL)
(OR APPROVED EQUAL)
(INSTALL 3 STRAND BARB WIRE ALONG THE TOP OF THE SCREEN WALL)



MUELLER METAL SCREEN WALL (8' TALL)
(OR APPROVED EQUAL)
(INSTALL 3 STRAND BARB WIRE ALONG THE TOP OF THE SCREEN WALL)

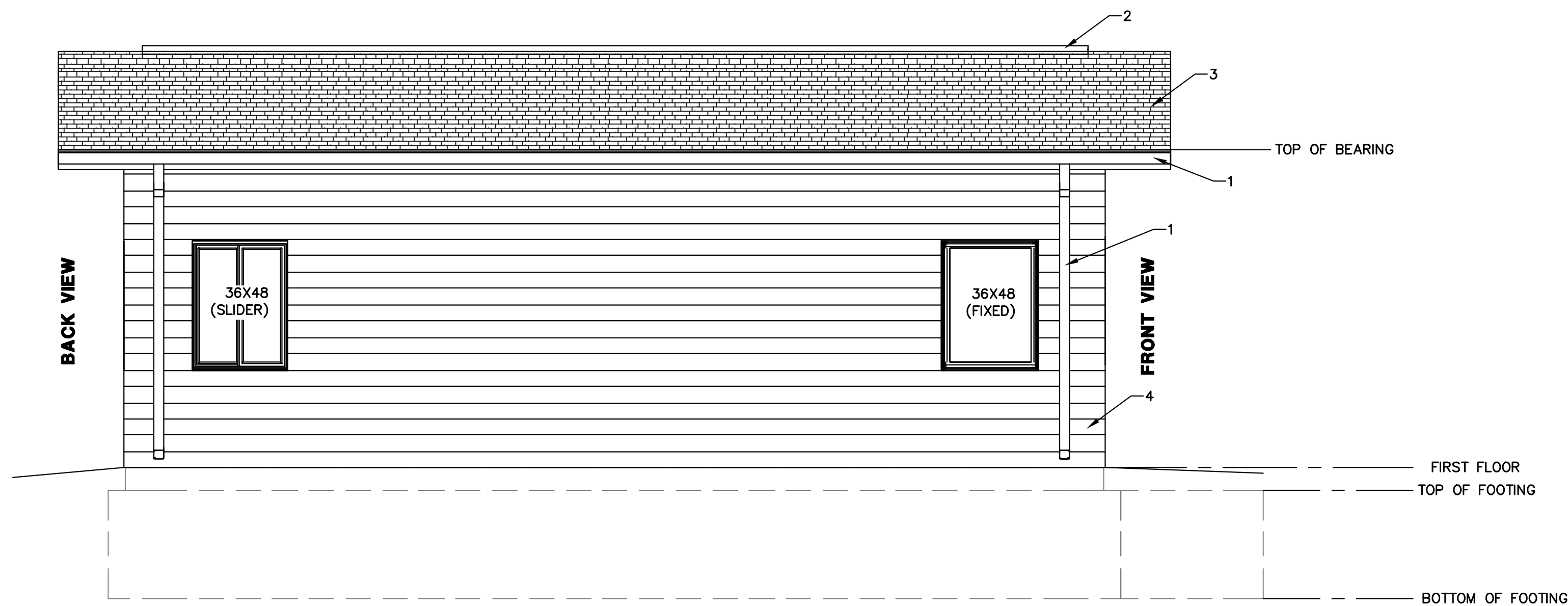
DETAILS
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 21 OF 24

J-R ENGINEERING
A Westrian Company

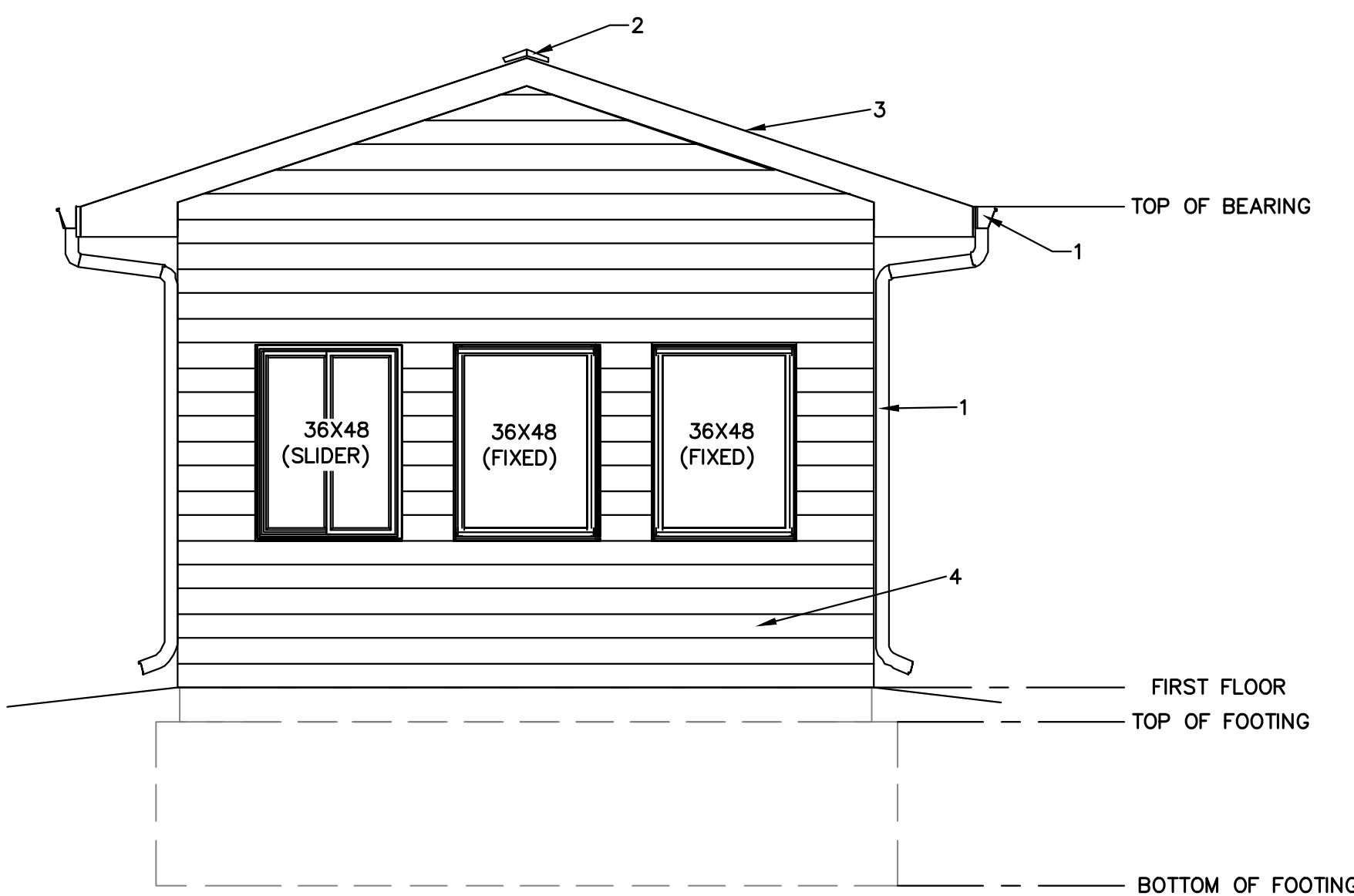
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4150 E. 60TH AVE
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
DETAILS

ADAMS COUNTY PIN: 182307300043

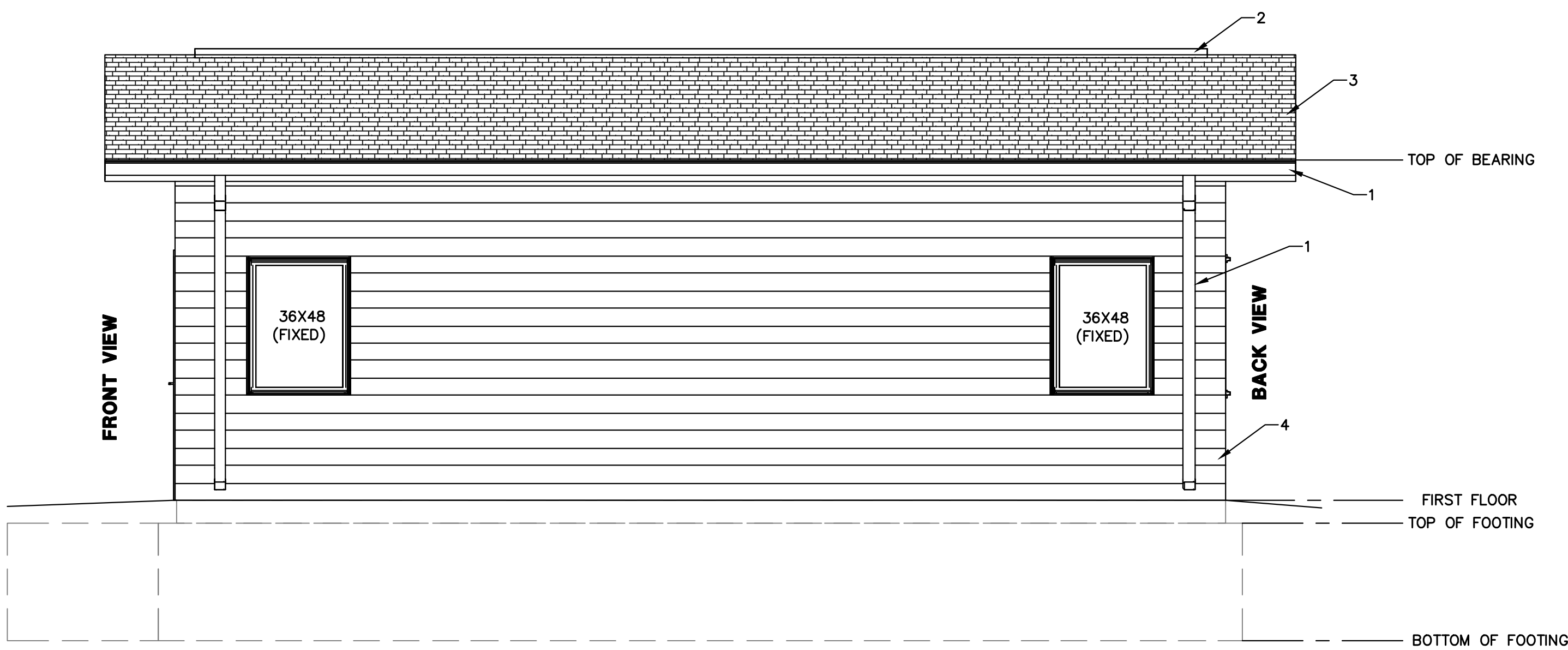


SIDE VIEW 1

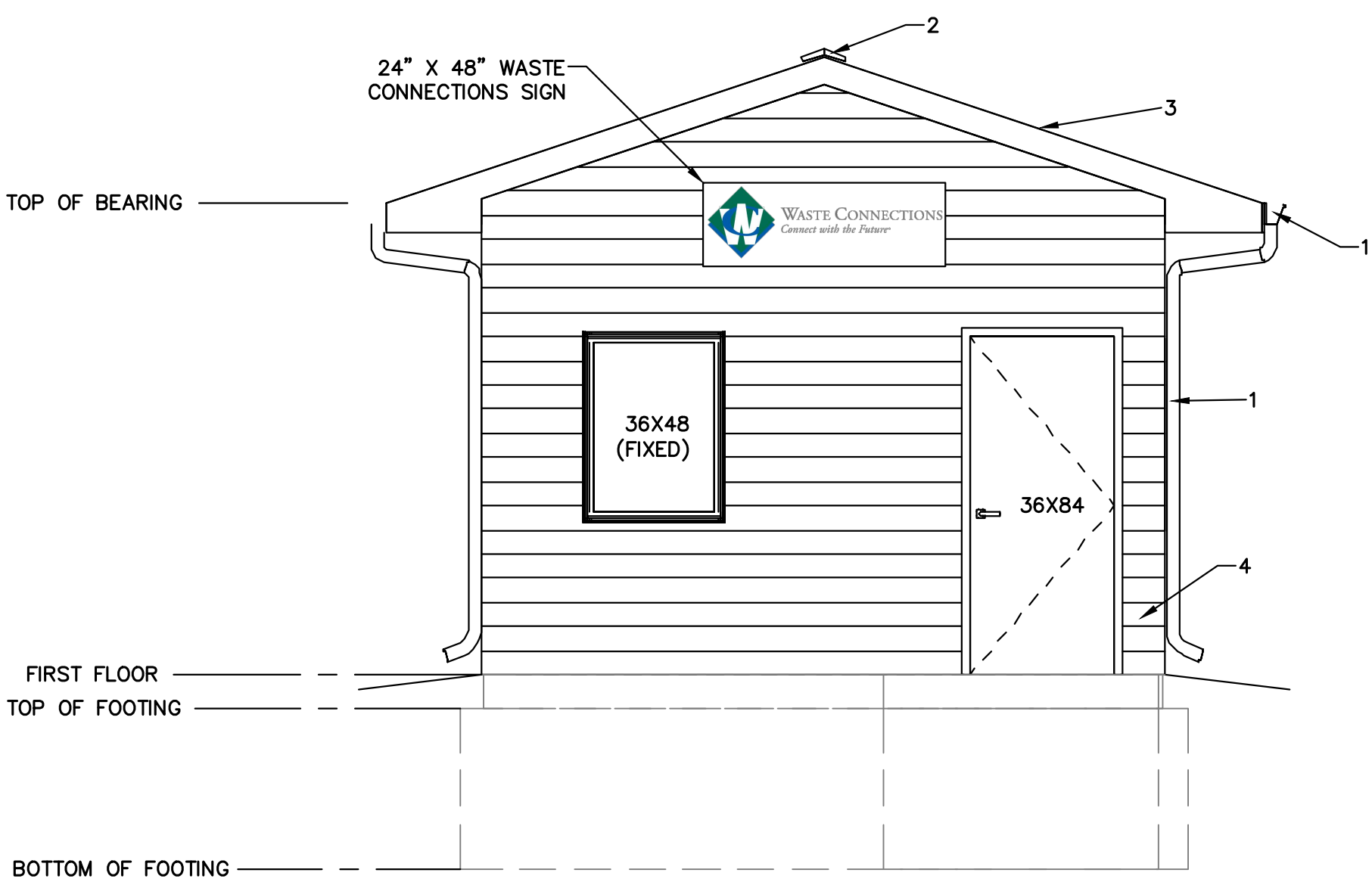


BACK VIEW

- LEGEND**
1. PREFINISHED GUTTER AND DOWNSPOUT
 2. PREFINISHED RIDGE VENT; COLOR TO MATCH ROOF SHINGLES
 3. SHINGLES; COORDINATE WITH OWNER
 4. LAP SIDING; COORDINATE MFR. AND COLOR WITH OWNER



SIDE VIEW 2



FRONT VIEW

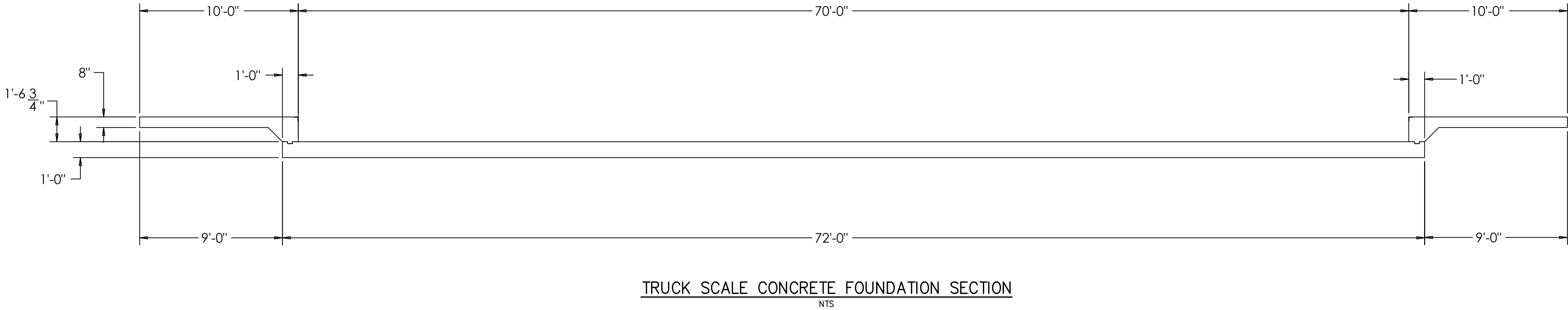
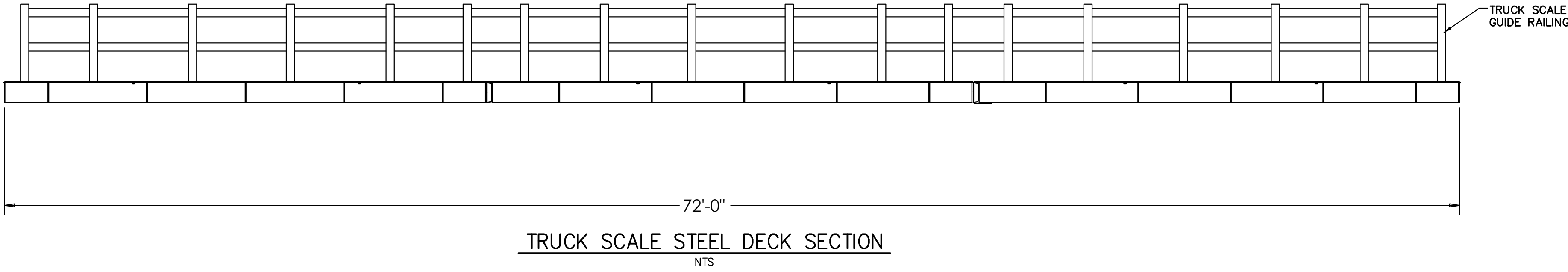
SCALE HOUSE ELEVATION DETAILS
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 22 OF 24

4150 E. 60TH AVE

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

DETAILS

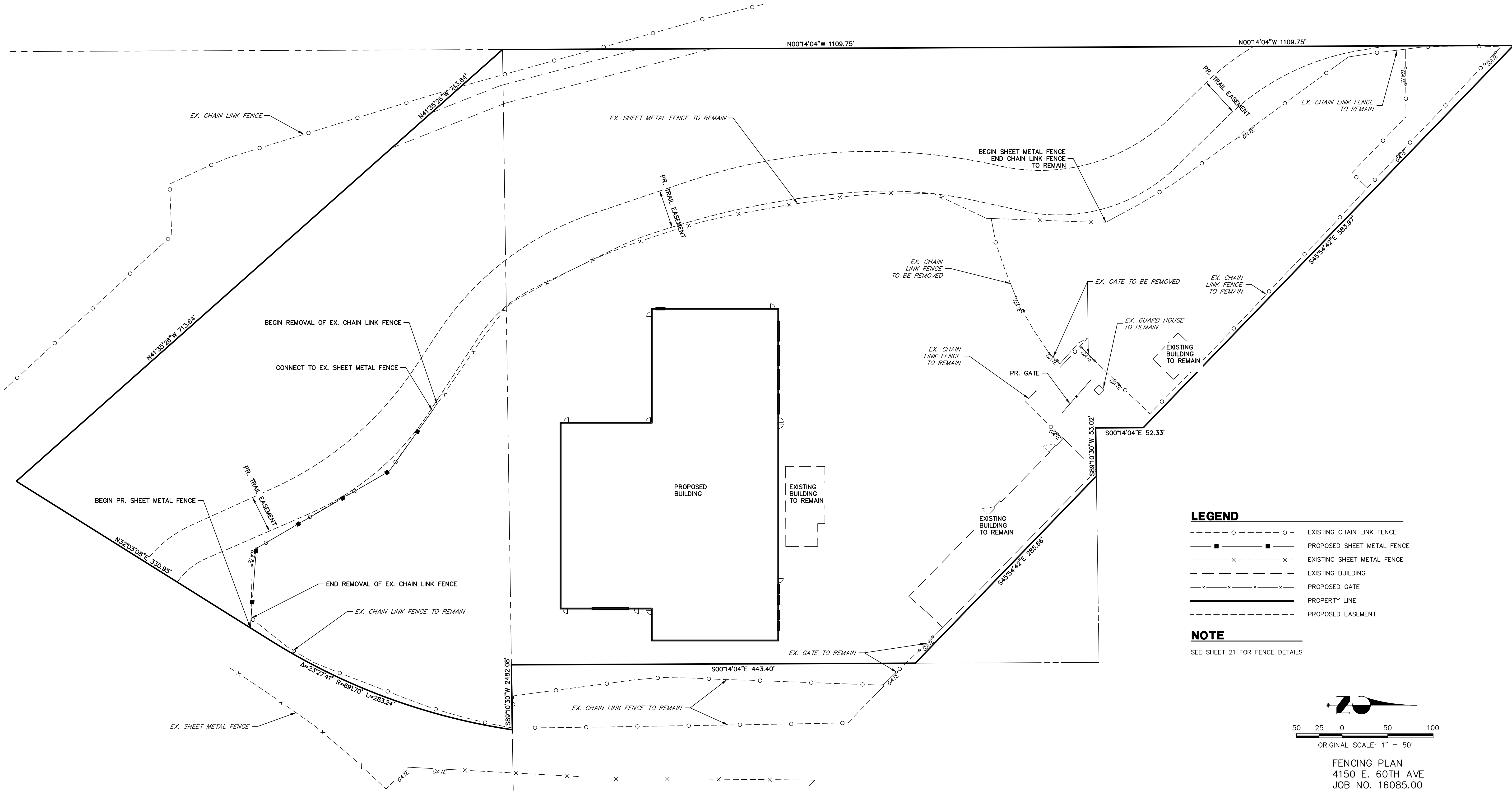
ADAMS COUNTY PIN: 182307300043



TRUCK SCALE DETAILS
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 23 OF 24

4150 E. 60TH AVE
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
FENCING PLAN

ADAMS COUNTY PIN: 182307300043

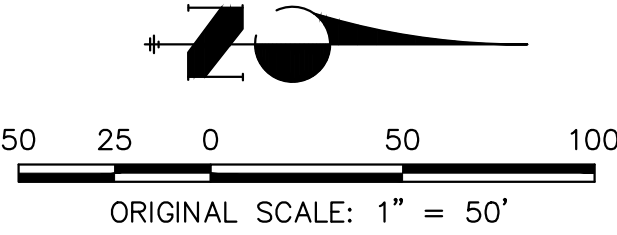


LEGEND

- EXISTING CHAIN LINK FENCE
- PROPOSED SHEET METAL FENCE
- EXISTING SHEET METAL FENCE
- EXISTING BUILDING
- PROPOSED GATE
- PROPERTY LINE
- PROPOSED EASEMENT

NOTE

SEE SHEET 21 FOR FENCE DETAILS



FENCING PLAN
4150 E. 60TH AVE
JOB NO. 16085.00
03/06/2023
SHEET 24 OF 24



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