

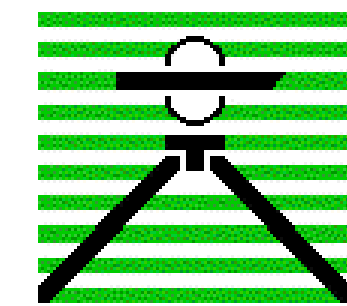


DEVELOPMENT PLAN

GROENDYKE TRANSPORT

FACILITY

LOT 1, BLOCK 1, MARTY FARMS SUBDIVISION, FILING NO. 5
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301
CONTACT: KEITH E. HENSEL, P.E.
303.442.4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

DEVELOPMENT PLAN NOTES

LIGHTING NOTE

IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE

TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE

ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE

APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. HOWEVER, THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY OF COMMERCE CITY'S SIGN CODE.

FENCING NOTE

APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY OF COMMERCE CITY'S FENCING REQUIREMENTS.

DOWNSPOUT NOTE

NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE

THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE

THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE

ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER LAND DEVELOPMENT CODE.

PROJECT SITE MAP



APPROVAL REQUESTED VIA CU-104-14

BASED ON THE MARTY FARMS INDUSTRIAL CENTER PUD AMENDMENT NO.1

- FAR MINIMUM TO BE REDUCED FROM 0.15 TO 0.05
- INCREASE MAXIMUM FRONT SETBACK FROM 80' TO 135'.

DEVELOPMENT PLAN SHEET LIST

SHEET NO.	SHEET TITLE
CVR	COVER SHEET
C 1.0 - C 1.1	SITE PLAN
C 2.0 - C 2.1	GRADING PLAN
C 3.0 - C 3.1	UTILITY PLAN
LT 1.0 - LT 1.1	LIGHTING PLAN
L 1 - L 3	LANDSCAPE PLAN
A 1.0 - A 1.2	BUILDING ELEVATIONS
C 4.0	DETAILS

PROJECT CONTACTS

APPLICANT

Groendyke Transport
9751 E. 104th AVENUE
HENDERSON, CO 80640-8813
(303) 289-3373

CONTACT: LEE BOULDIN

SURVEYOR

Drexel, Barrell & Co.

1800 38th STREET
BOULDER, COLORADO 80301
(303) 442-4338

CONTACT: MATT SELTERS, P.L.S.

BUILDING ARCHITECT

Schultz Squared
Architects, LLC

1999 NORTH AMIDON, SUITE 373
WICHITA, KS 67203
(316) 253-8579

CONTACT: COREY SCHULTZ

CITY PLANNER

City of Commerce -
Planning Department

7887 E. 60TH STREET
COMMERCE CITY, CO 80022
(303) 277-8774

CONTACT: PAUL WORKMAN

CIVIL ENGINEER

Drexel, Barrell & Co.

1800 38th STREET
BOULDER, COLORADO 80301
(303) 442-4338

CONTACT: KEITH HENSEL, P.E.

LANDSCAPE ARCHITECT

Site Design, llc

P.O. 51
LOVELAND, CO 80539
(970) 271-9169

CONTACT: TIM BRIGGS, ASLA,

FIRE DEPARTMENT

South Adams Fire
Protection District

6550 E. 72nd AVENUE
COMMERCE CITY, CO 80022
(303) 288-0835

STORM SEWER

City of Commerce -
Public Works

8602 ROSEMARY STREET
COMMERCE CITY, CO 80022
(303) 289-8171

CONTACT: RACHELLE URSO

WATER & SANITARY SEWER

South Adams County
Water & Sanitation District

10200 E. 102nd AVENUE
HENDERSON, COLORADO 80022
(720) 206-0595

CONTACT: STEVEN VOEHRINGER

SITE DATA

LOT ACREAGE	ACRES
GROSS LOT AREA	11.875
RIGHT OF WAY DEDICATIONS	0.000
NET LOT AREA	11.875
BUILDING AREA	
BUILDING AREA	20,484 SF
FUELING PAD	960 SF
TOTAL COVERED AREA	21,444 SF
NET LANDSCAPE AREA	
LANDSCAPE TREATMENT AREA	169,455 SF
LOT COVERAGE	SQ. FT. ACRES % OF LOT
PROPOSED BUILDING	21,444 0.49 4.15%
RECYCLED MATERIAL	160,704 3.69 31.08%
CONCRETE/ASPHALT PAVEMENT	165,672 3.80 32.00%
LANDSCAPE	169,455 3.89 32.77%
TOTAL SITE AREA	517,275 11.875 100%
AREA USED BY VEHICLES OVER* 15,000 GVW	262,689 6.03 50.78%

* INCLUDES SHORT TERM TRUCK PARKING, DRIVE ISLES, RECYCLED MATERIAL AREA AND THE TRUCK MANEUVERING AREA AROUND THE BUILDING.

MINIMUM PARKING	
1 SPACE/250 SF INDOOR SPACE	82 SPACES
MAXIMUM PARKING	
150 PERCENT OF MINIMUM PARKING	123 SPACES
PROVIDED PARKING	
STANDARD (9'x19)	117 SPACES
HANDICAP (9'x19 w AISLE)	5 SPACES
TOTAL	122 SPACES

BICYCLE PARKING	
1 SPACE/20 MOTOR VEHICLE SPACES	6 SPACES
BUILDING INFORMATION	
BUILDING OCCUPANCY	INDUSTRIAL/TRUCK TRANSPORT
BUILDING CONSTRUCTION	TILT UP CONCRETE

LAND OWNER	MARTY FARMS LLP
PARCEL IDENTIFICATION NUMBER (PIN)	0172121102011
ZONING (EXISTING AND PROPOSED)	MARTY FARMS PUD (I-3)
SETBACKS	
MINIMUM FRONT	20 FEET
MAXIMUM FRONT	80 FEET
MINIMUM SIDE YARD	25 FEET
MINIMUM REAR	20 FEET

EMPLOYEES	
APPROXIMATE NUMBER OF EMPLOYEES	76
FLOOR AREA RATIO	
BUILDING AREA (COVERED AREA)	21,444 SF
SITE AREA (LESS DETENTION POND)	418,430 SF
PROPOSED FAR	0.05

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT
OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____.

DEPARTMENT OF COMMUNITY
DEVELOPMENT SIGNATURE

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80501
CONTACT: KEITH E. HENSEL, P.E.
303.442.4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

APPLICANT:



GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULGIN

DEVELOPMENT PLANS FOR:

GROENDYKE TRANSPORT, INC.

LOT 1
MARTY FARMS SUB. FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	KEH
DRAWN BY:	JPF
CHECKED BY:	KEH
FILE NAME:	20608-00SP01

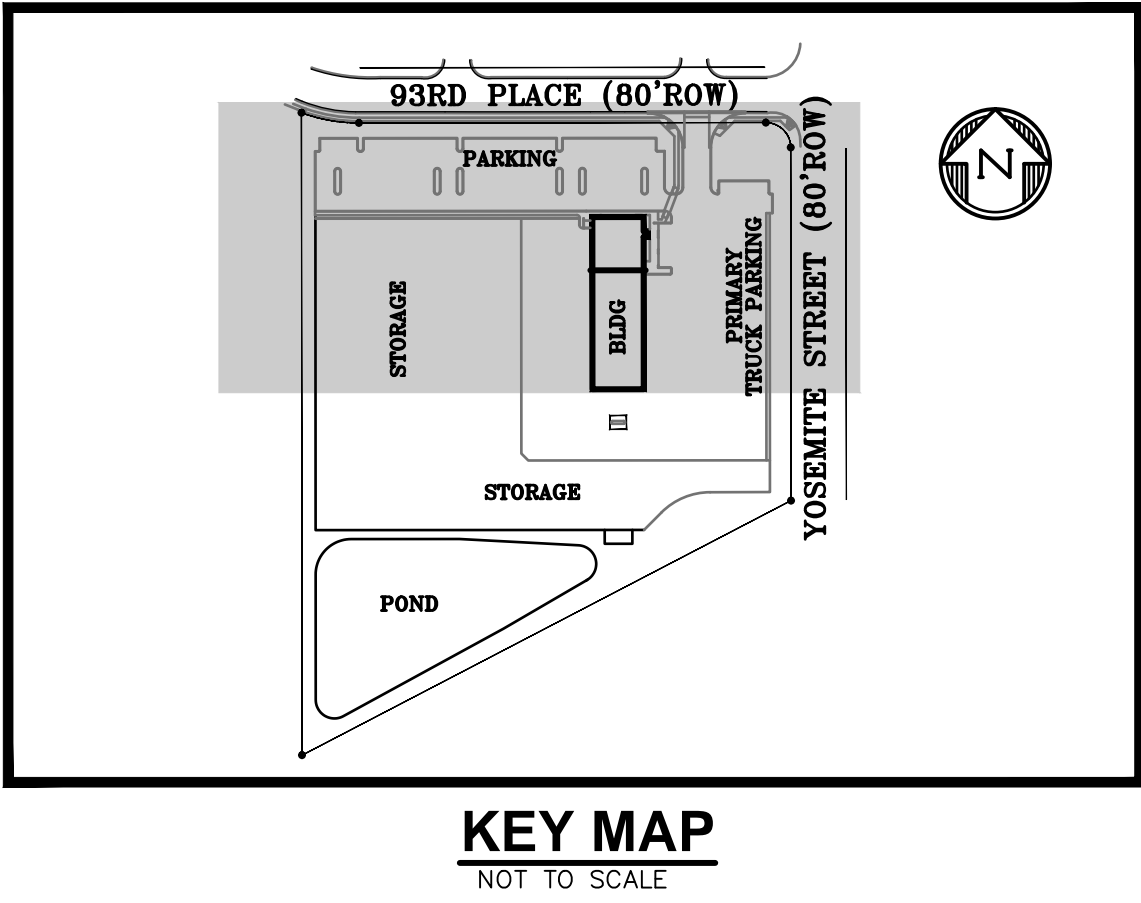
DRAWING SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 40'

SITE PLAN

PROJECT NO. 20608-00BLCV

C1.0

SHEET: 2 OF 16



- KEY NOTES
- 2

CITY OF COMMERCE CITY 8' WIDE CROSS PAN WITH CURBED APRONS. DRIVEWAY WIDTH TO BE 40' WIDE FLOW LINE OF CURB TO FLOW LINE OF CURB. RADIUS TO BE 40'.
- 3

FLAG POLE, 20 FEET HIGH WITH 12-FOOT DIAMETER CONCRETE/CRUSHER FINES/PAVER PAD. MAXIMUM FLAG SIZE 3'x5'.
- 4

BLACK 6 FOOT HIGH WROUGHT IRON FENCE WITH MASONRY COLUMN 40 FOOT ON CENTER. REFER TO DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 5

BLACK VINYL OR POWER COATED 8 FOOT HIGH (OR AS NOTED ON PLAN) CHAIN LINK FENCE. REFER TO DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 6

CONCRETE SIDEWALK 6- FEET WIDE WITH 6.5-FOOT WIDE TREE LAWN AREA BEHIND STREET FLOW LINE.
- 7

CONCRETE SIDEWALK 6- FEET WIDE (6- FEET WIDE ALONG BUILDING).
- 8

MECHANICALLY OPERATED 40' (TOTAL WIDTH) GATE. GATE TO HAVE EQUIPMENT AS SPECIFIED BY THE FIRE DEPARTMENT FOR EMERGENCY ACCESS. GATE SHALL BE OF SIMILAR MATERIALS AND DESIGN AS FENCE.
- 9

MANUALLY OPERATED 6' MAN GATE. GATE TO REMAIN UNLOCKED DURING BUSINESS HOURS FOR ADA ACCESS. GATE SHALL BE OF SIMILAR MATERIALS AND DESIGN AS FENCE.
- 10

SITE LIGHT POLE. REFER TO SITE LIGHTING PLAN.
- 11

BOLLARD, MINIMUM 4-INCH STEEL PIPE FILLED WITH CONCRETE, ROUNDED TOP, PAINTED TRAFFIC YELLOW.
- 12

TRASH ENCLOSURE, CONCRETE BLOCK CONSTRUCTION, SAC RUBBED FINISH TO MATCH BUILDING, GATE TO BE SOLID. REFER TO DETAIL ON ARCHITECTURAL SHEET.
- 13

BICYCLE PARKING, MINIMUM 6 SPACES ON 3 INVERTED "U".
- 14

ADA PARKING SPACES, 9x19 WITH 8' OR 5' STRIPED ACCESS AISLE WITH HANDICAP RAMP, AND SIGNAGE. REFER TO DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 15

HANDICAP RAMP IN ACCORDANCE WITH CITY OF COMMERCE CITY STANDARDS AND DETAILS.
- 16

HEAVY DUTY CONCRETE SURFACE.
- 17

RECYCLED CONCRETE SURFACE. TO BE MAINTAINED BY THE PROPERTY OWNER AT A MINIMUM DEPTH OF 4-INCHES.
- 18

TRUCK/TRAILER PARKING LOCATION ON RECYCLED MATERIAL. SPACE WILL NOT BE STRIPED.
- 19

TRUCK/TRAILER PARKING LOCATION ON CONCRETE SURFACE. SPACES AND END CAPS TO BE STRIPED WITH 4-INCH WIDE YELLOW TRAFFIC PAINT.
- 20

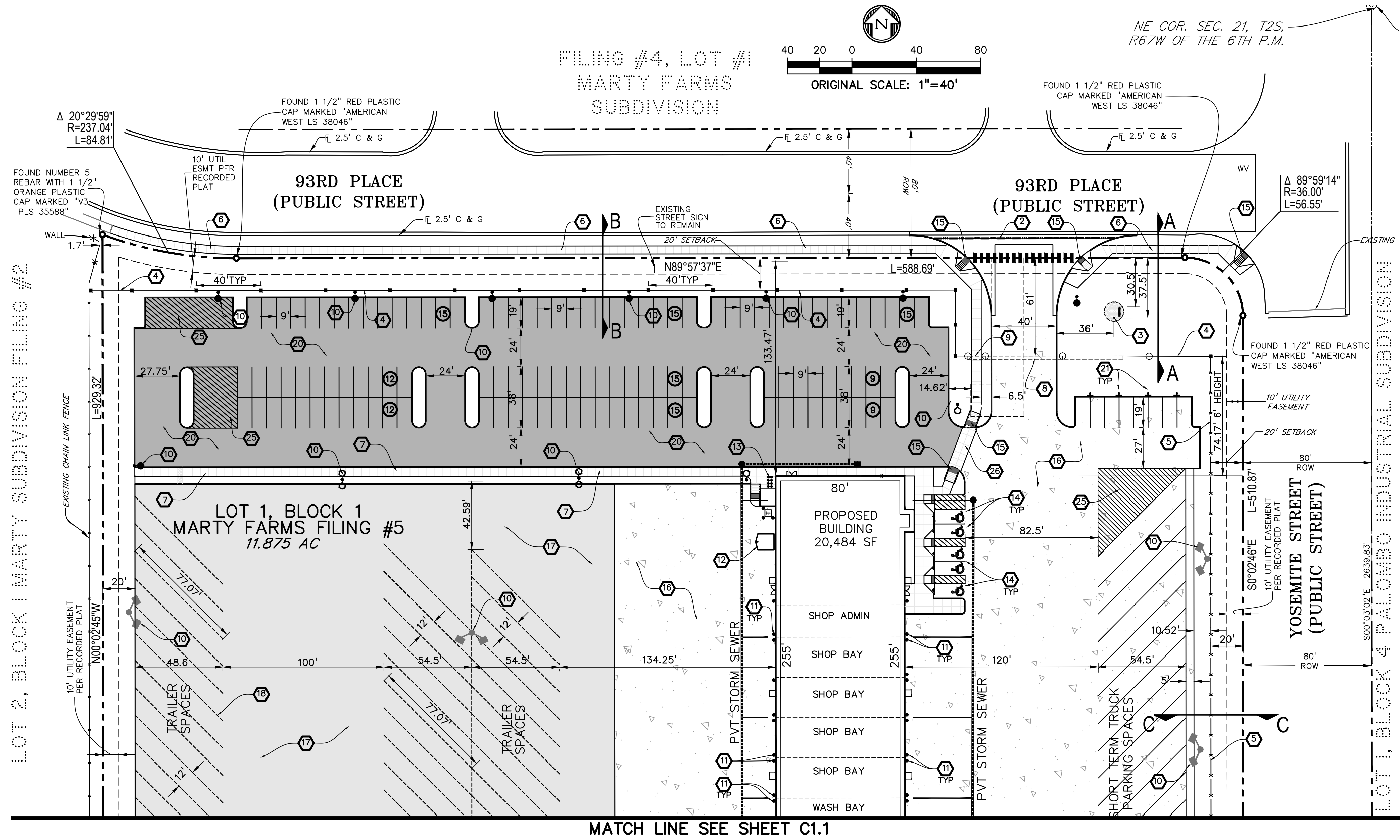
ASPHALT PARKING SURFACE.
- 21

SIGN "RESERVED FOR GROENDYKE COMPANY VEHICLES.
- 24

PROJECT IDENTIFICATION SIGN, REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 25

PAINT 4-INCH DIAGONAL STRIPS AT 2-FOOT ON CENTER DESIGNATING NO PARKING AREAS.
- 26

COLORLED CONCRETE CROSSWALK WITH SCORING. BUFF COLORED TO MATCH RAMPS.



LEGEND

PROJECT BOUNDARY LINE

EASEMENT

FENCE LINE (CHAIN LINK)

FENCE LINE (WROUGHT IRON)

RIGHT-OF-WAY

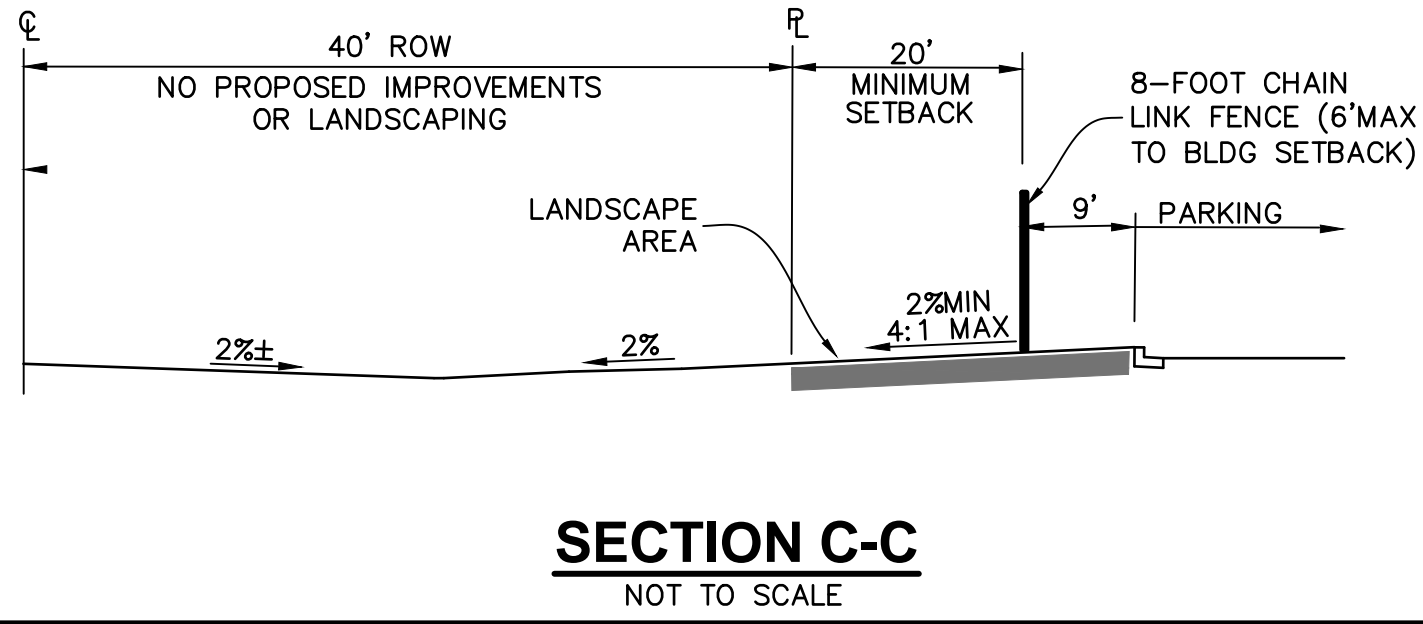
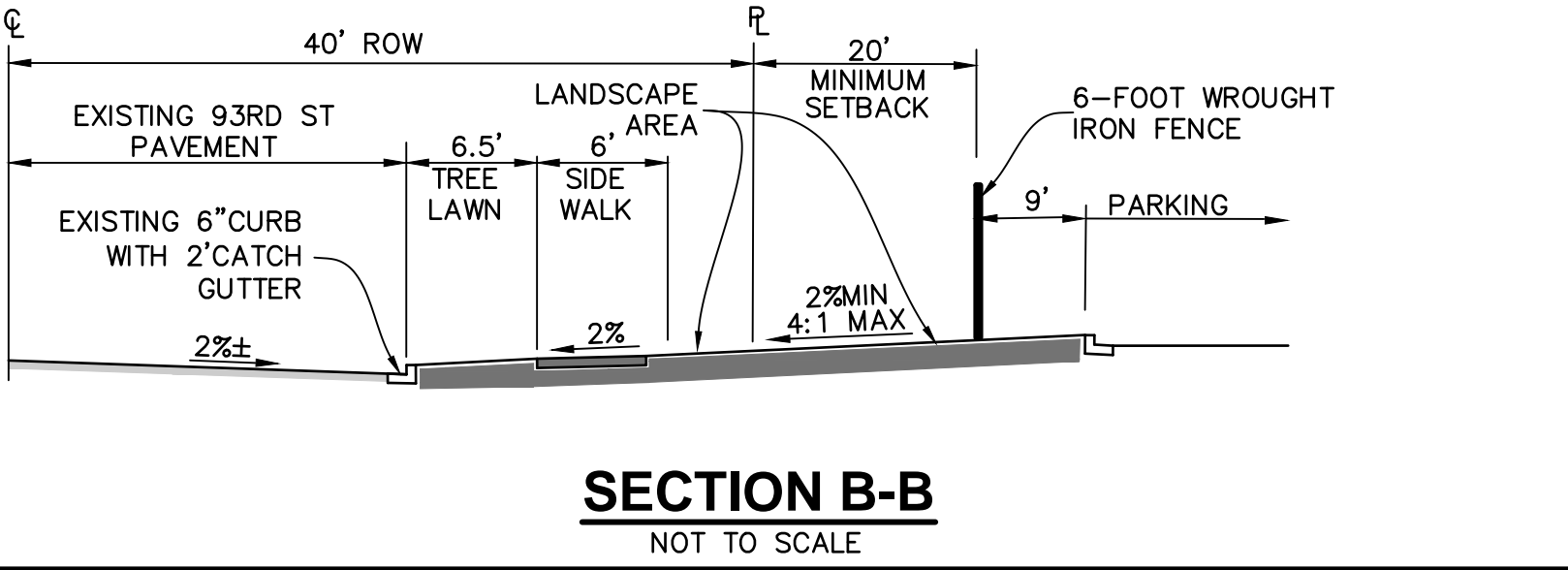
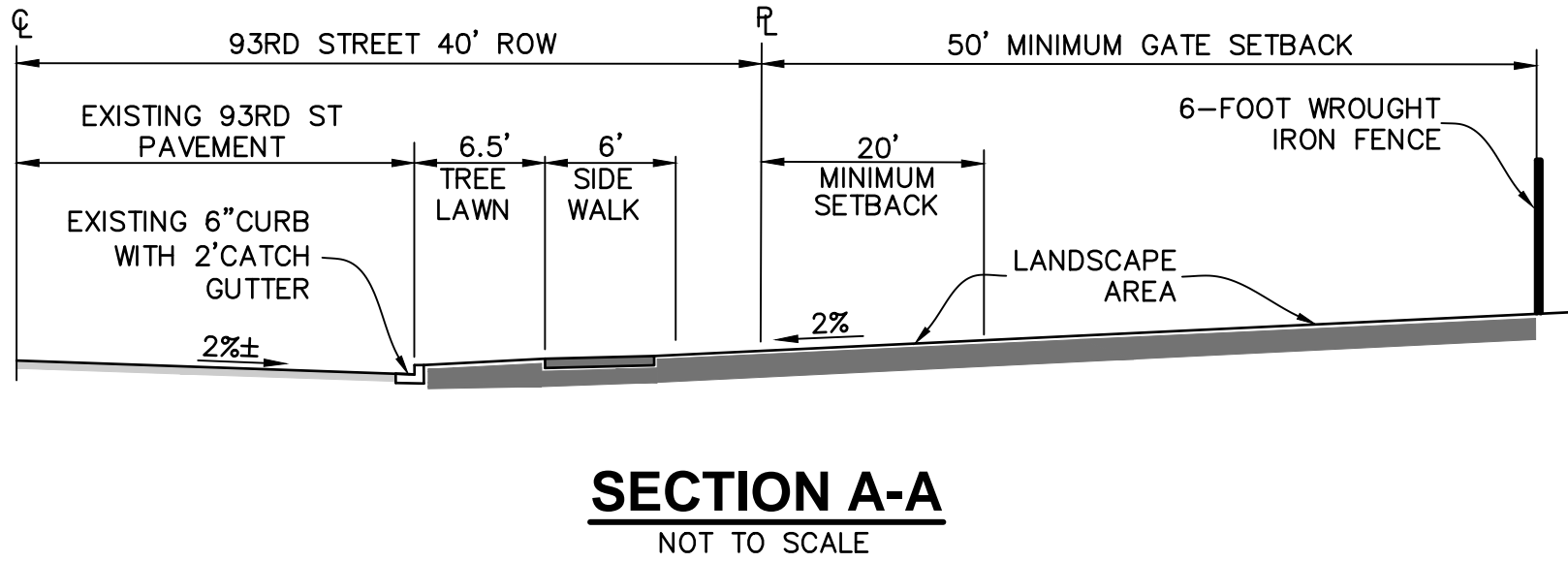
PARKING SPACES

PROPOSED CONCRETE

PROPOSED ASPHALT

RECYCLED CONCRETE

VERTICAL CURB



CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____.

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301
CONTACT: KEITH E. HENSEL, P.E.
303.442.4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

APPLICANT:



GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

DEVELOPMENT PLANS FOR:

GROENDYKE TRANSPORT, INC.

LOT 1
MARTY FARMS SUB
FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	CWK
DRAWN BY:	CWK
CHECKED BY:	KEH
FILE NAME:	20608-00GR01

DRAWING SCALE:

HORIZONTAL: 1" = 40'

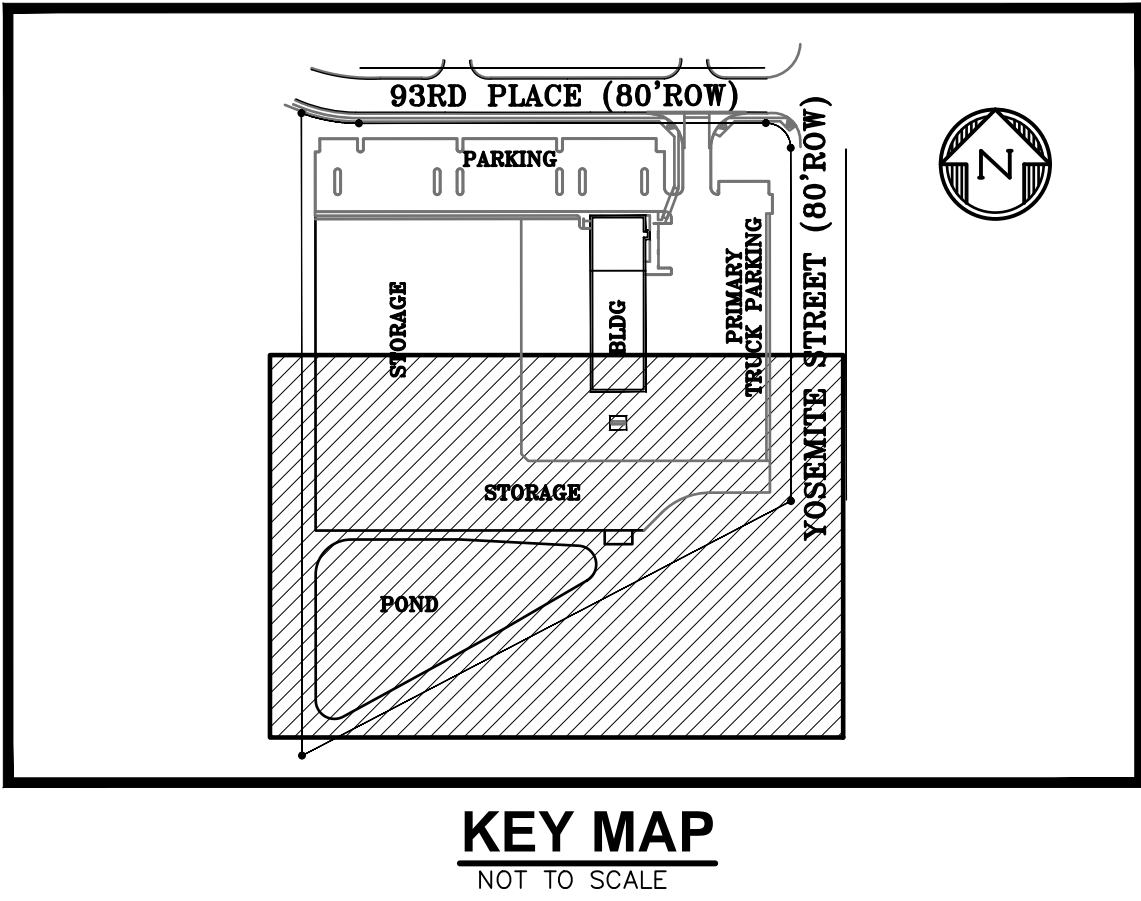
VERTICAL: 1" = 40'

GRADING PLAN

PROJECT NO. 20608-00BLCV

C2.1

SHEET: 5 OF 16



- GENERAL NOTES
- THE PROJECT IS LOCATED WITHIN THE MARTY FARMS SUBDIVISION AND IS OWNED BY MARTY FARMS LLLP.
 - THE PARCEL IDENTIFICATION NUMBER (PIN) FOR THE PROJECT SITE IS: 0172121102011.
 - PROJECT SITE IS LOCATED WITH THE MARTY FARMS PUP (1-3) ZONE.
 - THE BENCHMARK UTILIZED FOR THIS MAP IS A NGS BENCHMARK, DESIGNATION OF 5090, PID KK0395, LOCATED AT THE INTERSECTION OF EAST 96TH AVENUE AND THE UNION PACIFIC RAILROAD, WITH AN ELEVATION OF 5094.85 NAVD 88 DATUM.

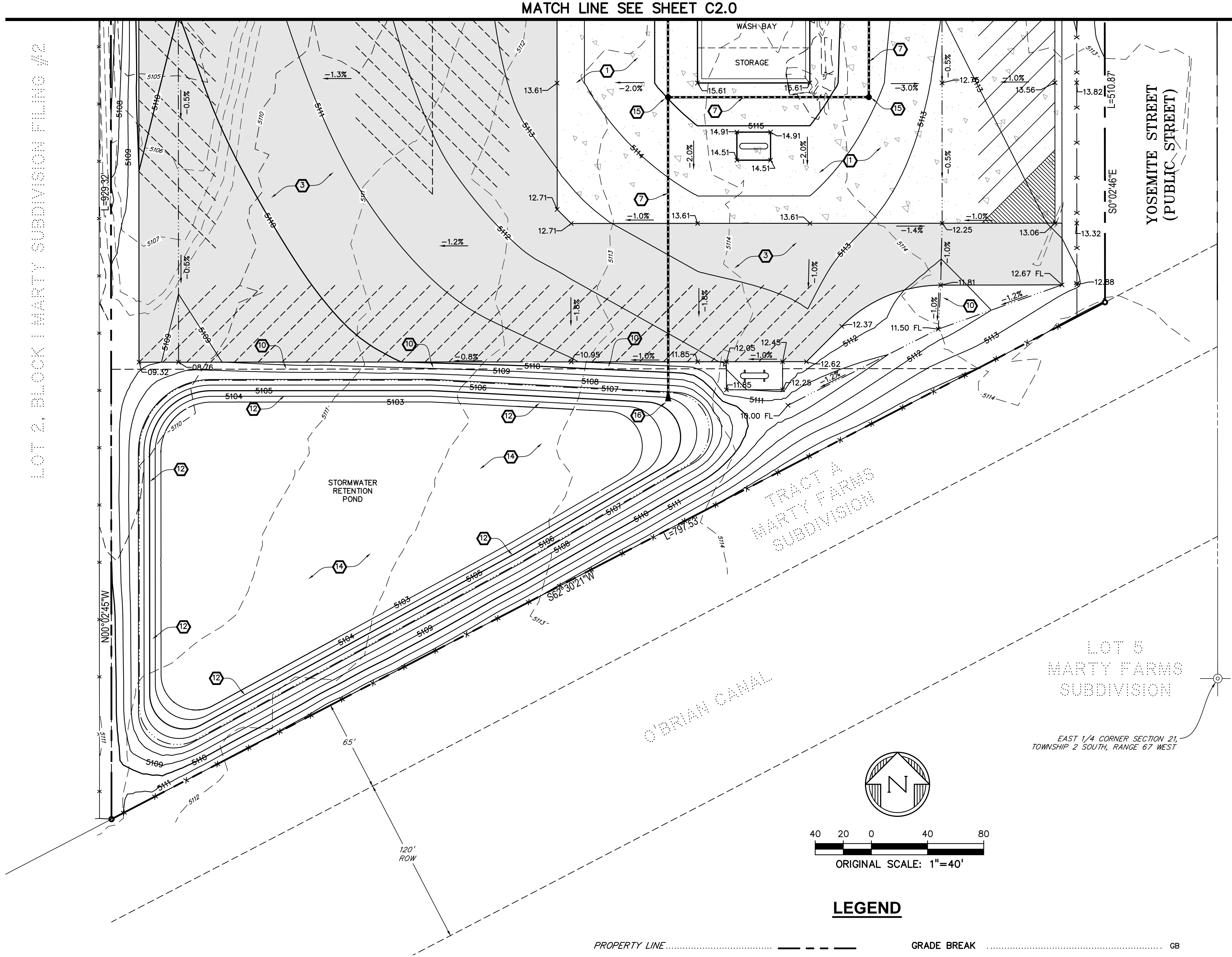
- KEY NOTES
- CONCRETE PAVEMENT, THICKNESS TO BE DETERMINED BY THE SITE GEOTECHNICAL REPORT.
 - ASPHALT PAVEMENT, THICKNESS TO BE DETERMINED BY THE SITE GEOTECHNICAL REPORT.
 - RECYCLED CONCRETE WITH GEOTEXTILE FABRIC, THICKNESS TO BE DETERMINED BY THE SITE GEOTECHNICAL REPORT.
 - SIX INCH HIGH CURB WITH CATCH PAN OR INTEGRAL WITH PAVEMENT.
 - SIX INCH HIGH CURB WITH SPILL PAN OR INTEGRAL WITH PAVEMENT.
 - TYPE 13 COMBINATION INLET LOCATED AT THE CURB
 - 15-INCH PVC PRIVATE ROOF DRAIN COLLECTOR
 - CONSTRUCT 18-INCH WIDE SIDEWALK CHASE PER COMMERCE CITY STANDARD DETAIL 308-05. .
 - CONSTRUCT 8-FOOT WIDE CONCRETE CROSSSPAN PER COMMERCE CITY STANDARD DETAIL 308-04. .
 - REINFORCED SLOPE TO PROTECT FROM SHEET FLOW EROSION.
 - GRADE MAXIMUM 3 HORIZONTAL TO 1 VERTICAL SLOPE.
 - GRADE MAXIMUM 4 HORIZONTAL TO 1 VERTICAL SLOPE.
 - GRADE MAXIMUM 5 HORIZONTAL TO 1 VERTICAL SLOPE.
 - GRADE POND BOTTOM LEVEL FOR BEST INFILTRATION.
 - INSTALL 4-FOOT DIAMETER STORM SEWER MANHOLE.
 - INSTALL FLARED END SECTION WITH TRASH RACK.
 - CONSTRUCT 5-FOOT WIDE DETACHED CONCRETE SIDEWALK PER COMMERCE CITY STANDARD DETAIL 308-06.
 - CONSTRUCT TYPE 3A STYLE PEDESTRIAN CURB RAMP PER COMMERCE CITY STANDARD DETAIL 308-03.
 - CONSTRUCT TYPE 1 STYLE PEDESTRIAN CURB RAMP PER COMMERCE CITY STANDARD DETAIL 308-03.

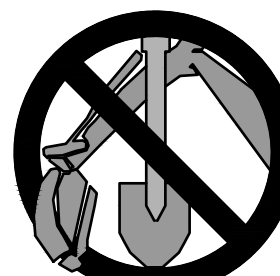
CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____,A.D._____.

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE





CALL UTILITY NOTIFICATION
CENTER OF COLORADO
811
CALL 3-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

DETENTION NOTES

- THE STORM WATER DETENTION AREA SHOWN HEREON SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER AND SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. IN THE EVENT THAT SAID CONSTRUCTION AND MAINTENANCE IS NOT PERFORMED BY SAID OWNER, HEIRS, SUCCESSORS, AND ASSIGNS AGREES TO PAY UPON BILLING.
- NO BUILDING OR STRUCTURE WILL BE CONSTRUCTED IN THE DETENTION AREA AND NO CHANGES OR ALTERATIONS AFFECTING THE HYDRAULIC CHARACTERISTICS OF THE DETENTION AREA WILL BE MADE WITHOUT THE APPROVAL OF THE CITY.

LEGEND

PROPERTY LINE.....

EX. INTERMEDIATE CONTOUR.....

EX. INDEX CONTOUR.....

EX. SPOT ELEVATIONS.....

PROPOSED INTERMEDIATE CONTOUR.....

PROPOSED INDEX CONTOUR.....

PROPOSED SPOT ELEVATION.....

EX. STORM LINE.....

PROPOSED STORM SEWER.....

FLOWLINE OF DRAINAGE SWALE/PATH.....

GRADE BREAK.....

HIGH POINT.....

FLOWLINE.....

LOW POINT.....

TOP BACK OF CURB.....

PROPOSED RECYCLED CONCRETE.....

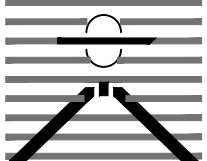
PROPOSED CONCRETE.....

PROPOSED ASPHALT.....

NOTE:

1. ADD 5110 TO ALL SPOT ELEVATIONS

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301
CONTACT: KEITH E. HENSEL, P.E.
303-442-4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

APPLICANT:



GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

DEVELOPMENT PLANS FOR:

GROENDYKE TRANSPORT, INC.

LOT 1
MARTY FARMS SUB
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	KEH
DRAWN BY:	JPF
CHECKED BY:	KEH
FILE NAME:	20608--00UT01

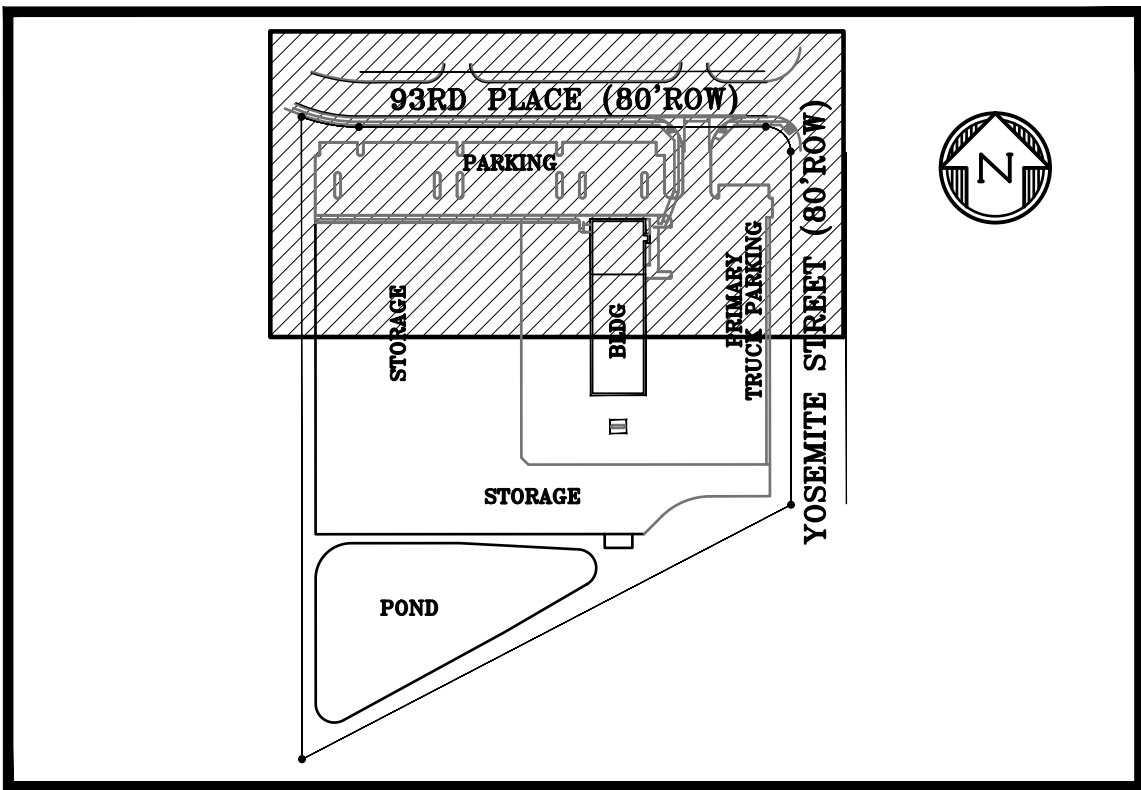
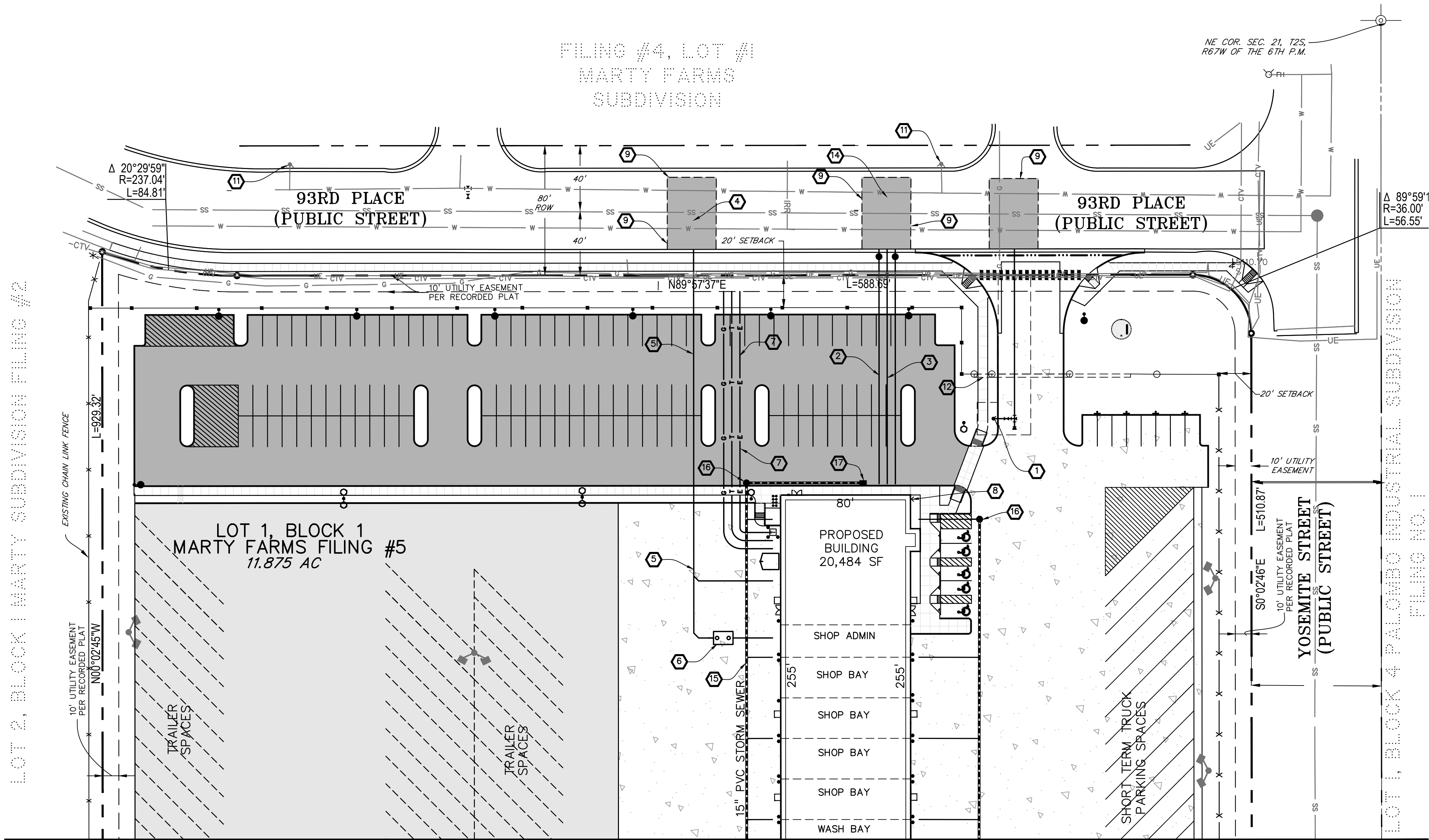
DRAWING SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 40'

UTILITY PLAN

PROJECT NO. 20608--00BLCV

C3.0

SHEET: 6 OF 16



KEY MAP
NOT TO SCALE

GENERAL NOTES

- THE PROJECT IS LOCATED WITHIN THE MARTY FARMS SUBDIVISION AND IS OWNED BY MARTY FARMS LLLP.
- THE PARCEL IDENTIFICATION NUMBER (PIN) FOR THE PROJECT SITE IS: 0172121102011.
- PROJECT SITE IS LOCATED WITH THE MARTY FARMS PUP (1-3) ZONE.
- THE BENCHMARK UTILIZED FOR THIS MAP IS A NGS BENCHMARK, DESIGNATION OF 5090, PID KK0395, LOCATED AT THE INTERSECTION OF EAST 96TH AVENUE AND THE UNION PACIFIC RAILROAD, WITH AN ELEVATION OF 5094.85 NAVD 88 DATUM.

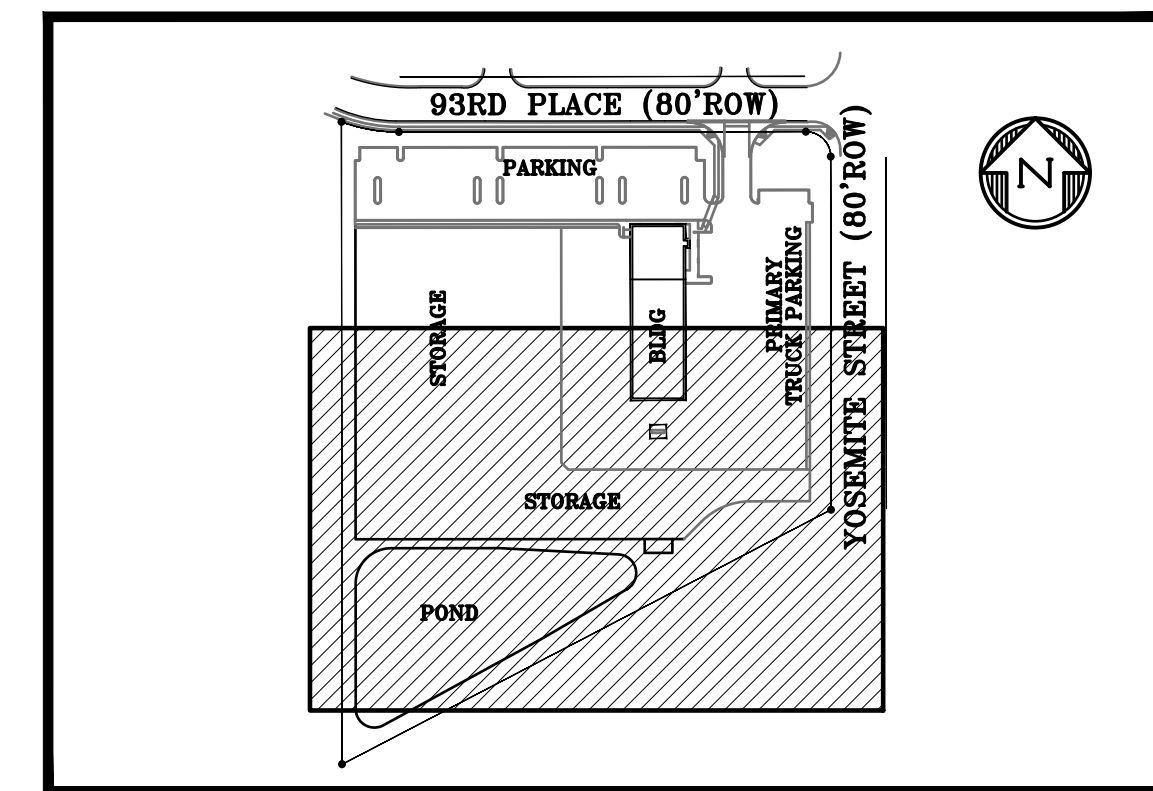
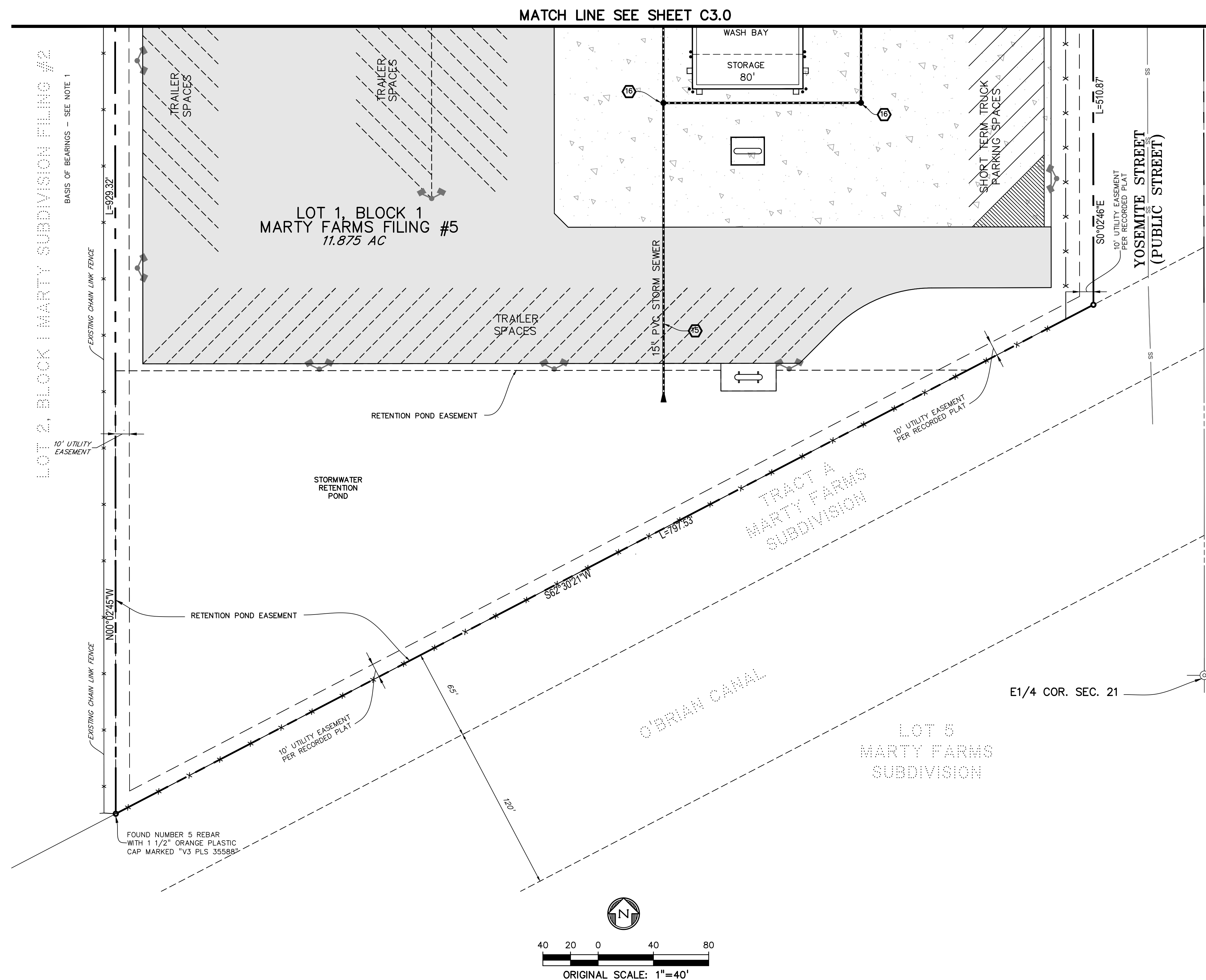
KEY NOTES

- PROPOSED FIRE HYDRANT WITH 20-FOOT EASEMENT.
- DOMESTIC SERVICE, 1/2 INCH CLASS 200 COPPER TUBE SERVICE WITH 5-FOOT DIAMETER METER PIT. IN ACCORDANCE WITH SOUTH ADAMS WATER AND SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.
- IRRIGATION SERVICE, 1 INCH CLASS 200 COPPER TUBE SERVICE WITH 5-FOOT DIAMETER METER PIT. IN ACCORDANCE WITH SOUTH ADAMS WATER AND SANITATION DISTRICT STANDARDS AND SPECIFICATIONS. IRRIGATION SERVICE TO INCLUDE DOUBLE CHECK BACK FLOW PREVENTER.
- SANITARY SEWER SERVICE SADDLE TAP ON EXISTING SEWER MAIN. IN ACCORDANCE WITH ADAMS COUNTY WATER AND SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.
- SANITARY SEWER SERVICE, 4-INCH PVC AT 2.0% MINIMUM SLOPE WITH CLEANOUTS AT MAXIMUM 100' SPACING.
- APPROXIMATELY 800 GAL SAND/OIL SEPARATOR.
- DRY UTILITY CONDUITS, GAS, ELECTRICAL, TELEPHONE. EXACT BUILDING ENTRY LOCATION TO BE DETERMINED.
- BUILDING FDC LOCATION.
- SAWCUT AND PATCH EXISTING ASPHALT IN ACCORDANCE WITH CITY OF COMMERCE CITY STANDARDS AND SPECIFICATIONS.
- EXISTING FIRE HYDRANT LOCATION.
- POWER/EQUIPMENT/CONTROLS FOR AUTOMATIC GATES.
- CONDUIT FOR SITE LIGHTING.
- FIRE LINE, 6-INCH DUCTILE IRON PIPE, CUT IN 8"x8"x6" TEE WITH 8" MAIN LINE VALVE AND 6" FIRE SERVICE VALVE.
- 15" PVC PRIVATE STORM SEWER
- INSTALL 4' DIAMETER STORM SEWER MANHOLE.
- TYPE 13 INLET ON CURB LINE.

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT
OF THE CITY OF
COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____

DEPARTMENT OF COMMUNITY
DEVELOPMENT SIGNATURE



GENERAL NOTES

KEY NOTES

CITY STAFF CERTIFICATE

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301
CONTACT: KEITH E. HENSEL, P.E.
303.442.4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION



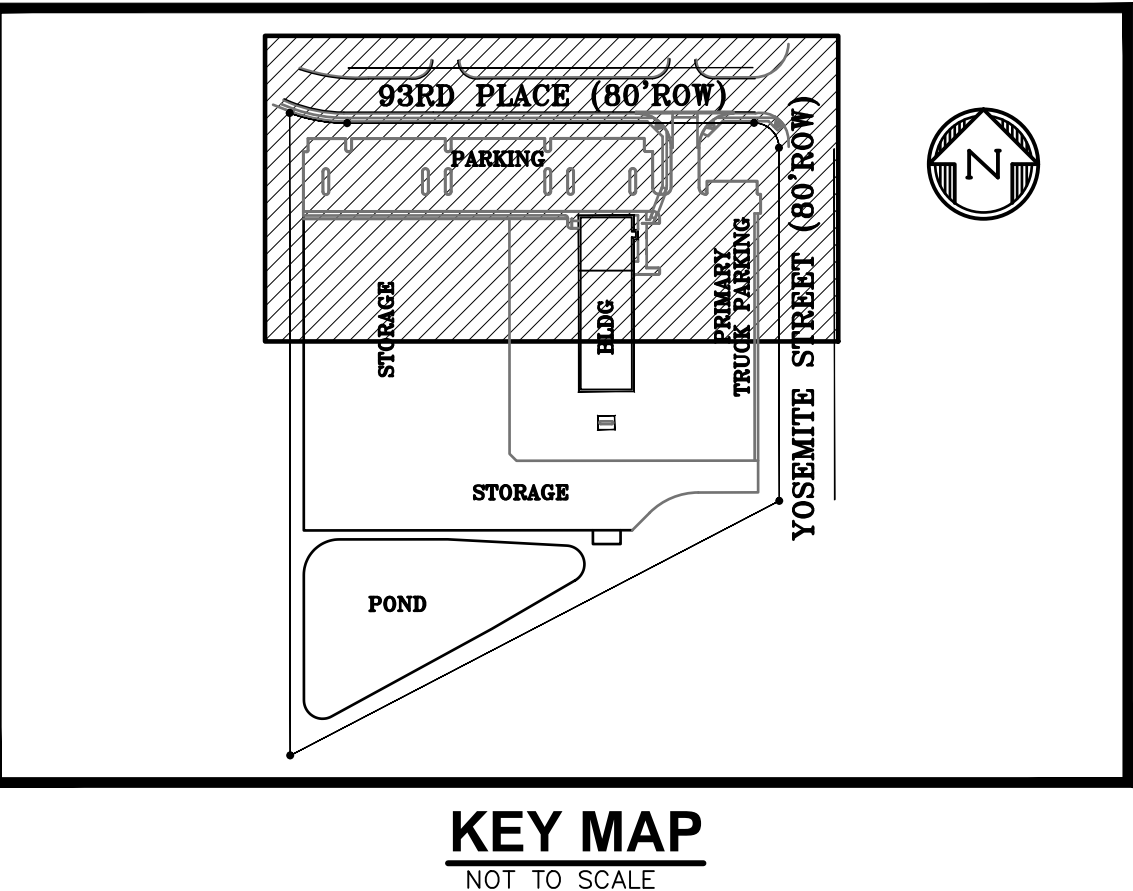
DEVELOPMENT PLANS FOR:
GROENDYKE TRANSPORT, INC.
LOT 1
MARTY FARMS SUB. FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	KEH
DRAWN BY:	JPF
CHECKED BY:	KEH
FILE NAME:	20608--00UT01

DRAWING SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 40'






PROJECT NO. 20608-00BLCV

SHEET: 7 OF 16



1. THE PROJECT IS LOCATED WITHIN THE MARTY FARMS SUBDIVISION AND IS OWNED BY MARTY FARMS LLLP.
2. THE PARCEL IDENTIFICATION NUMBER (PIN) FOR THE PROJECT SITE IS: 0172121102011.
3. PROJECT SITE IS LOCATED WITH THE MARTY FARMS PUP (1-3) ZONE.
4. THE BENCHMARK UTILIZED FOR THIS MAP IS A NGS BENCHMARK, DESIGNATION OF 5090, PID KK0395, LOCATED AT THE INTERSECTION OF EAST 96TH AVENUE AND THE UNION PACIFIC RAILROAD, WITH AN ELEVATION OF 5094.85 NAVD 88 DATUM.

- ① LITHONIA FLOODLIGHTS, TYPE TFA 1000M RB
- ② MOUNTING HEIGHT NOT TO EXCEED 30 FEET WITH 3½' CONCRETE BASE.
- ③ LITHONIA MR2 400M SR4W LIGHT
- ④ MOUNTING HEIGHT NOT TO EXCEED 25 FEET WITH 6" BASE.
- ⑤ LITHONIA MR2 400M SR4SC LIGHT
- ⑥ LITHONIA KSF2 400M R4W LIGHT

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	23	Lithonia Lighting	TFA 1000M RB	SPECIFICATION FLOODLIGHT, RB DISTRIBUTIONS, 1000W MH, W/ CLEAR LAMP	ONE 1000-WATT CLEAR E827 METAL HALIDE, VERTICAL, BASE-DOWN POSITION.	1	TFA_1000M_RB1.es	110000	0.72	1080
	B	2	Lithonia Lighting	MR2 400M SR4W (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR4W Wide Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR E209 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	MR2_400M_SR4_W_PULSE_START1.es	38000	0.72	456
	C	2	Lithonia Lighting	MR2 400M SR4W (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR4W Wide Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR E209 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	MR2_400M_SR4_W_PULSE_START1.es	38000	0.72	912
	D	8	Lithonia Lighting	MR2 400M SR4SC (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR E209 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	MR2_400M_SR4SC_PULSE_START1.es	38000	0.72	456
	E	10	Lithonia Lighting	KSF2 400M R4W	Specification Area Luminaire, 400W Metal Halide, R4 Wide Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR E209 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	KSF2_400M_R4W.es	38000	0.72	456

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT
OF THE CITY OF _____
COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____.

DEPARTMENT OF COMMUNITY
DEVELOPMENT SIGNATURE



DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301

CONTACT: KEITH E. HENSEL, P.E.
303.442.4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION



GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

DEVELOPMENT PLANS FOR:
GROENDYKE TRANSPORT, INC.
LOT 1
MARTY FARMS SUB. FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

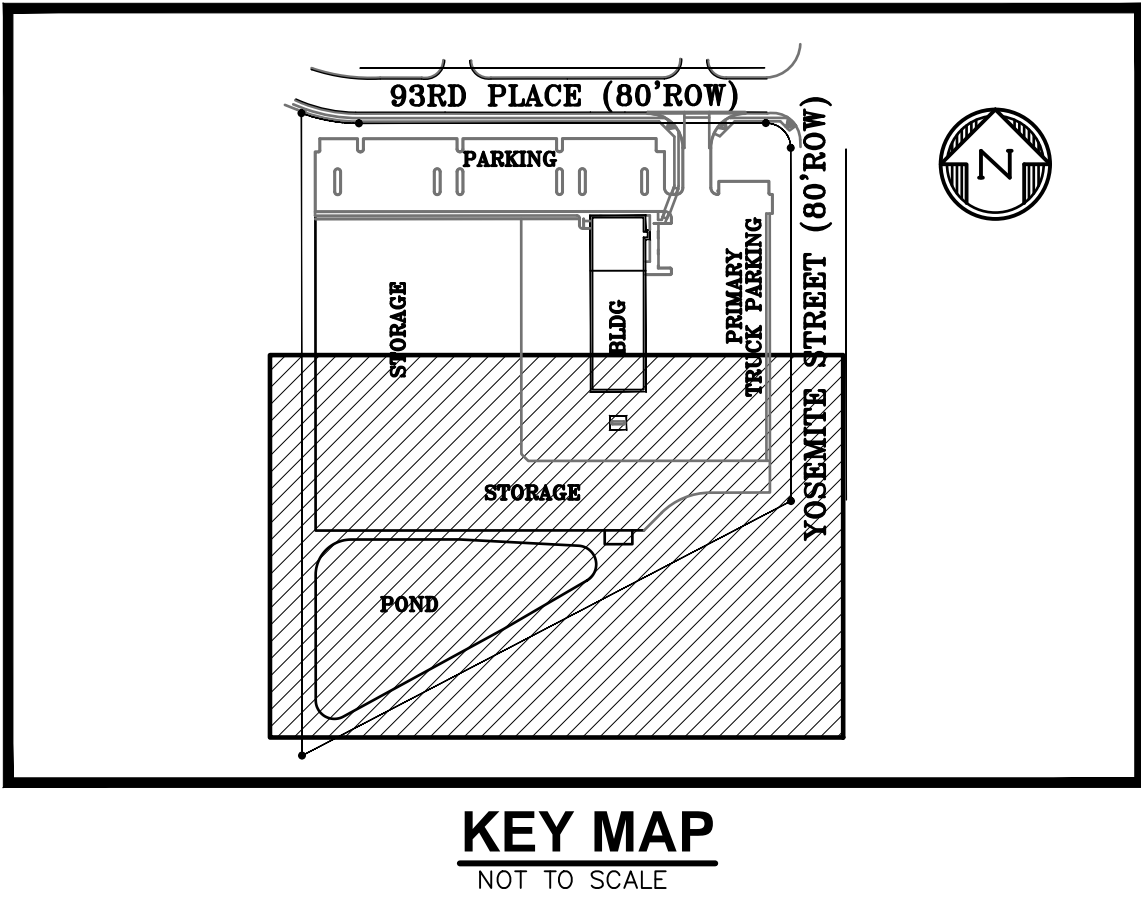
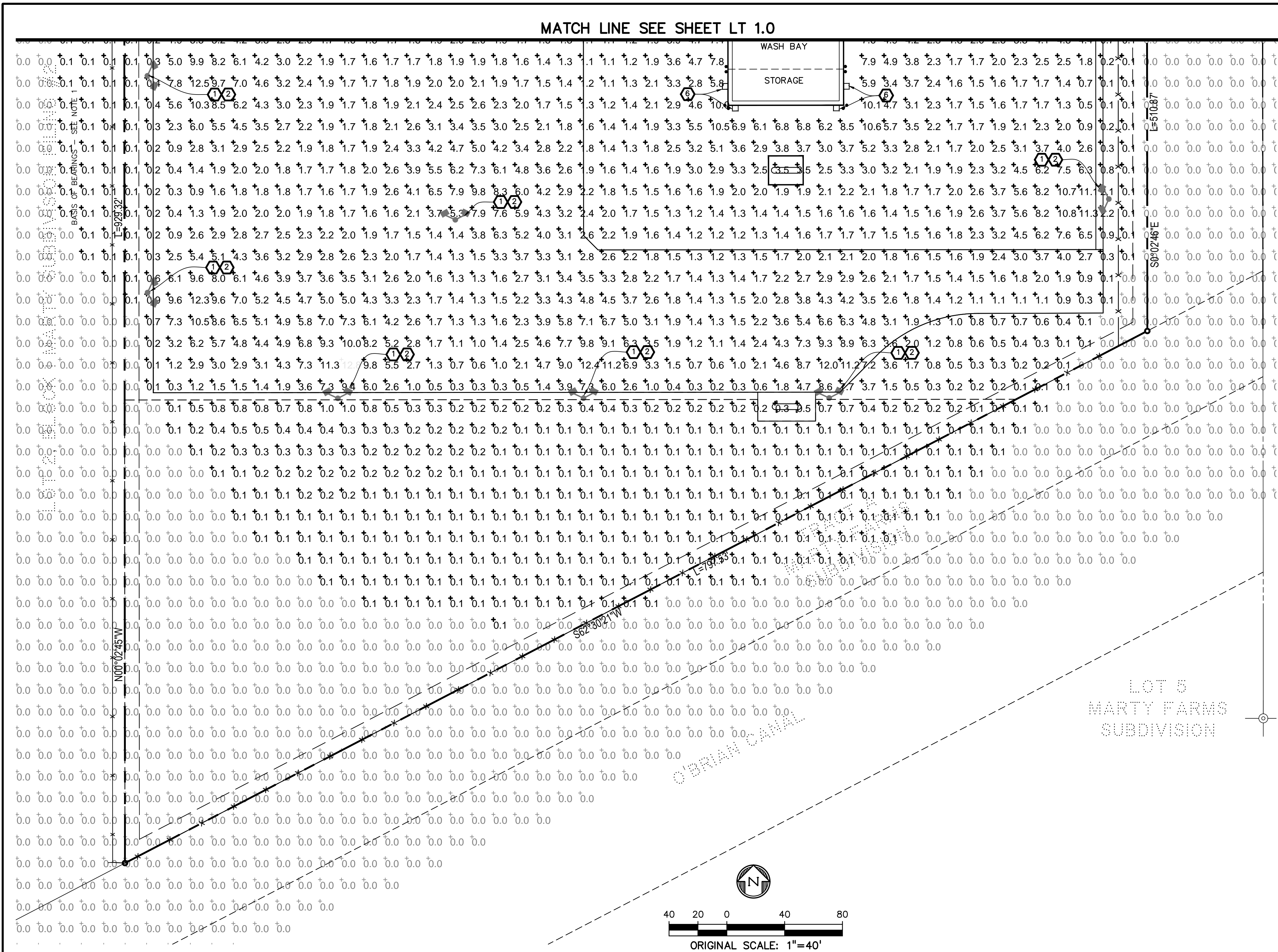
ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	KEH
DRAWN BY:	JPF
CHECKED BY:	KEH
FILE NAME:	20608--00LGHT1

DRAWING SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 40'

PROJECT NO. 20608-00BLCV

LT1.0

SHEET: 8 OF 16



GENERAL NOTES

- THE PROJECT IS LOCATED WITHIN THE MARTY FARMS SUBDIVISION AND IS OWNED BY MARTY FARMS LLLP.
- THE PARCEL IDENTIFICATION NUMBER (PIN) FOR THE PROJECT SITE IS: 0172121102011.
- PROJECT SITE IS LOCATED WITH THE MARTY FARMS PUP (1-3) ZONE.
- THE BENCHMARK UTILIZED FOR THIS MAP IS A NGS BENCHMARK, DESIGNATION OF 5090, PID KK0395, LOCATED AT THE INTERSECTION OF EAST 96TH AVENUE AND THE UNION PACIFIC RAILROAD, WITH AN ELEVATION OF 5094.85 NAVD 88 DATUM.

KEY NOTES

- LITHONIA FLOODLIGHTS, TYPE TFA 1000M RB
- MOUNTING HEIGHT NOT TO EXCEED 30 FEET WITH 3½' CONCRETE BASE.
- LITHONIA MR2 400M SR4W LIGHT
- MOUNTING HEIGHT NOT TO EXCEED 25 FEET WITH 6" BASE.
- LITHONIA MR2 400M SR4SC LIGHT
- LITHONIA KSF2 400M R4W LIGHT

Luminaire Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Flarename	Lumens Per Lamp
	A	23	Lithonia Lighting	TFA 1000M RB	SPECIFICATION FLOODLIGHT, RB DISTRIBUTIONS, 1000W MH, W/ CLEAR LAMP.	ONE 1000WATT CLEAR ED-37 METAL HALIDE, VERTICAL BASE-DOWN POSITION.	1	TFA_1000M_RB_1.es	110000
	B	2	Lithonia Lighting	MR2 400M SR4W (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR4W Wide Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	MR2_400M_SR4_W_(PULSE_STAR T).es	38000
	C	2	Lithonia Lighting	MR2 400M SR4W (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR4W Wide Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	MR2_400M_SR4_W_(PULSE_STAR T).es	38000
	D	8	Lithonia Lighting	MR2 400M SR4SC (PULSE START)	Architectural Area Luminaire, 400W Metal Halide, SR4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	MR2_400M_SR4S C_(PULSE_START).es	38000
	E	10	Lithonia Lighting	KSF2 400M R4W	Specification Area Luminaire, 400W Metal Halide, R4 Wide Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	KSF2_400M_R4W .es	38000

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301
CONTACT: KEITH E. HENSEL, P.E.
303.442.4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

APPLICANT:

GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

DEVELOPMENT PLANS FOR:

GROENDYKE TRANSPORT, INC.

LOT 1
MARTY FARMS SUB FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	KEH
DRAWN BY:	JPF
CHECKED BY:	KEH
FILE NAME:	20608-00LGHT1

DRAWING SCALE:
HORIZONTAL: 1" = 40'
VERTICAL: 1" = 40'

LIGHTING PLAN

PROJECT NO. 20608-00BLCV

LT1.1

SHEET: 9 OF 16

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____.

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

SYMBOL

NUMBER

NAME

SIZE

CONDITION

USES
* (SEE BELOW)

DECIDUOUS TREES

PPH13PRAIRIE PRIDE HACKBERRY
Celtis occidentalis 'Prairie Pride'

BOK7BUR OAK
Quercus macrocarpa

CNM8COLUMNAR NORWAY MAPLE
Acer platanoides 'Columnar'

SHL12SKYLINE HONEYLOCUST
Gleditsia triacanthos inermis 'Skyline'

GSL12GREENSPIRE LINDEN
Tilia cordata 'Greenspire'

KCT9KENTUCKY COFFEE TREE
Gymnocladus dioica

EGO3ENGLISH OAK
Quercus robur

SWO9SWAMP WHITE OAK
Quercus bicolor

ORNAMENTAL TREES

JTL4JAPANESE TREE LILAC
Syringa reticulata

TCH7THORNLESS COCKSPUR HAWTHORNE
Crataegus crusgalli inermis

EVERGREEN TREES

AUP17AUSTRIAN PINE
Pinus nigra

PNP21PINON PINE
Pinus edulis

SHRUBS

CWS93CREEPING WESTERN SANDCHERRY
Prunus besseyi 'Pawnee Buttes'

MMH90MOUNTAIN MAHOGANEY
Cercocarpus montanus

SKS132SASKATOON SERVICEBERRY
Amelanchier alnifolia

NNB68NATIVE NINEBARK
Physocarpus monogynus

APC30ALPINE CURRANT
Ribes alpinum

GDP18GOLD DROP POTENTILLA
Potentilla fruticosa 'Gold Drop'

NFS5NEON FLASH SPIREA
Spirea japonica 'Neon Flash'

MWT56MOHICAN WAYFARING TREE
Viburnum lentana 'Mohican'

RLB13REDLEAF BARBERRY
Berberis thunbergii atropurpurea

PKC48PEKING COTONEASTER
Cotoneaster lucidus

CBC54CORAL BEAUTY COTONEASTER
Cotoneaster dammeri 'Coral Beauty'

AWP6ABOTTSWOOD POTENTILLA
Potentilla fruticosa 'Abottswood'

EVERGREEN SHRUBS

BMJ23BROADMOOR JUNIPER
Juniperus sabina 'Broadmoor'

ORNAMENTAL GRASSES

FRG27FEATHER REED GRASS
Calamagrostis acutiflora 'Karl Foerster'

GROUNDCOVERS & PERENNIALS

PWC64PURPLE WINTERCREEPER
Euonymus fortunei 'Coloratus'

PBG39PLUMBAGO
Ceratostigma plumbaginoides

MPY16MIXED PASTELS YARROW
Achillea 'Summer Pastels'

* PLANT USES: D=DECIDUOUS E=EVERGREEN S=SHADE T=STREET X=XERIC O=ORNAMENTAL

CONTRACTOR TO VERIFY ALL PLANT COUNTS

LANDSCAPE NOTES

1. SOIL PREPARATION - ALL PLANTED AREAS (EXCEPT NATIVE SEEDING) SHALL BE AMENDED WITH 5 CUBIC YARDS OF COMPOST PER 1000 SQUARE FEET. THESE AREAS SHALL BE RIPPED AND ROTOTILLED TO A DEPTH OF 6-8". RESTORE SOIL TO ORIGINAL GRADE AS SHOWN ON THE GRADING PLAN AFTER SOIL PREPARATION IS COMPLETED.

2. SOD - ALL AREAS DESIGNATED AS TURF SHALL BE SODDED WITH DROUGHT TOLERANT KENTUCKY BLUEGRASS BLEND SOD. TURF AREAS SHALL BE FINE GRADED BEFORE SOD IS INSTALLED.

3. EDGING - ALL PLANTING BEDS SHALL BE EDGED WITH ROLLED TOP STEEL EDGING. EDGING SHALL BE HELD IN PLACE WITH STEEL PINS INSTALLED APPROXIMATELY 3' APART.

4. SEEDING - SEEDED AREAS SHALL BE TILLED OR SCARIFIED TO LOOSEN THE SOIL.

5. WEED BARRIER - ALL SHRUB BEDS & GRAVEL AREAS SHALL RECEIVE DEWITT PRO-5 WEED BARRIER FABRIC OR APPROVED EQUIVALENT INSTALLED UNDER GRAVEL. OVERLAP SEAMS A MINIMUM OF 6". AT OVERLAP LOCATIONS AND EDGES OF CURBS, WALLS, STRUCTURES, PAVEMENTS, AND EDGING, WEED BARRIER SHALL BE SECURED WITH 11-GAUGE, 6-INCH LONG STAPLES AT 18 INCHES O.C. AT ALL EDGES.

6. TREE RINGS - ALL TREES IN LAWN AND SEEDED AREAS SHALL HAVE A 4-FOOT DIAMETER RING OF 4" DEEP SHREDDDED REDWOOD MULCH OVER WEED BARRIER FABRIC.

7. ROCK MULCH - ALL SHRUB BEDS AND GRAVEL AREAS SHALL RECEIVE A 4" LAYER OF 1 1/2" TAN RIVER ROCK MULCH.

8. BARK MULCH - PERENNIAL AND GROUNDCOVER PLANTS SHALL RECEIVE 4" OF SHREDDDED REDWOOD MULCH, AND NO WEED BARRIER FABRIC.

9. ANY SUBSTITUTE PLANT MATERIAL OR LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE. ALL PLANT MATERIAL MUST BE FIRST QUALITY AND SHALL COMPLY WITH THE MOST RECENT STANDARDS FOR NURSERY STOCK AS APPROVED BY THE AMERICAN STANDARDS INSTITUTE AND SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

10. PLANTING - FOLLOW PLANTING DETAILS CAREFULLY. ALL PLANTS SHALL BE PRUNED AS NEEDED IMMEDIATELY AFTER INSTALLATION TO PROMOTE VIGOROUS GROWTH. CONTRACTOR SHALL REMOVE TREE STAKING AND WRAP WITHIN 18 MONTHS OF INSTALLATION.

11. CONTRACTOR TO REVIEW AND VERIFY SITE CONDITIONS COMPARED TO PLANS. THESE ARE NOT ENGINEERED DRAWINGS, AND FIELD ADJUSTMENTS MAY BE NECESSARY DUE TO ACTUAL UTILITY LOCATIONS, STRUCTURES, OBJECTS OR CONDITIONS THAT ARE DIFFERENT THAN SHOWN ON THESE PLANS.

12. HAVE ALL UTILITIES LOCATED BEFORE CONSTRUCTION. COORDINATE ALL WORK WITH OTHER TRADES.

13. NATIVE SEEDING - AREAS DESIGNATED AS NATIVE GRASS SEED SHALL BE DRILLED WITH NATIVE PRAIRIE MIX @ 3# /1000 SF FROM PAWNEE BUTTES SEED CO. 970-356-7002.GROUND OF SEEDED AREA SHALL BE CULTIVATED LIGHTLY THEN SEEDED IN TWO DIRECTIONS TO DISTRIBUTE THE SEED EVENLY OVER ENTIRE AREA. AFTER SEEDING, THE AREA SHALL BE CRIMPED WITH STRAW. CONTRACTOR SHOULD MONITOR SEEDED AREA FOR EROSION CONTROL AND GERMINATION, RESEEDING AS NEEDED TO OBTAIN EVEN COVERAGE OF GRASS.

SUMMARY OF PROJECT STATISTICS

Note: Trees and shrubs along street frontages (North and East) have been increased by 5% to compensate for F.A.R.

Landscape Treatment Area:
a.) Square footage of landscape area: 169,455 sf
b.) Square footage of sod and percent of total landscape area: 19,865 sf 11.7%
c.) Square footage of living plant material and percent of total landscape area: 164,957 sf 97.4 %
d.) Number of trees required (per City ordinance): 103
e.) Number of trees provided: 122
f.) Number of shrubs required (per City ordinance): 559
g.) Number of shrubs provided: 663
h.) Number of mulch types: (Rock mulch + wood mulch on perennials and groundcover) 2

Right-of-Way Landscape Area:
a.) Square footage of landscape area. 14,350 sf
b.) Square footage of sod and percent of total landscape area. 3,939 sf 27 %
c.) Number of trees required. 16
d.) Number of trees provided. 16

Parking Lot Landscape Area:
a.) Number of trees required: 35
b.) Number of trees provided: 37
c.) Number of shrubs required: 159
d.) Number of shrubs provided: 175

Other Perimeter Areas, Buffering Not Required:
a.) Number of trees required (1 tree per 1,200 sf) 20
b.) Number of trees provided: 20
c.) Number of shrubs required (1 shrub per 300 sf) 80
d.) Number of shrubs provided: 116

Retention Pond Area - 1,597 linear feet perimeter
a.) Number of trees required: 32
b.) Number of trees provided: 32
c.) Number of shrubs required: 320
d.) Number of shrubs provided: 320

GENERAL NOTES

A.) MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER; ORNAMENTAL GRASSES ONE GALLON CONTAINER; PERENNIALS AND GROUND COVERS 2 ¼ POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50 CONIFEROUS (EVERGREEN) AND 50% DECIDUOUS (TREE LAWN AREAS BETWEEN CURBS AND DETACHED WALKS SHALL BE ALL DECIDUOUS SHADE TREES) MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6 INCH FOR EVERY 1,000 S.F. OF LANDSCAPE AREA.

B.) STREET TREES: THE DEPARTMENT OF COMMUNITY DEVELOPMENT HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED CITY LIST

C.) WEED BARRIER: POROUS WEED FABRIC MUST BE USED IN PLANTED BEDS FOR WEED PREVENTION, BECAUSE IT ALLOW VENTILATION FOR ROOTS AND TRANSMISSION OF WATER. PLASTIC WEED BARRIERS IN ANY PLANTED AREA WILL NOT BE APPROVED.

D.) EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP IS INSTALLED.

E.) MAINTENANCE:
(1) THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN, DEVELOPMENT PLAN, OR LANDSCAPE PLAN, INCLUDING THOSE AREAS FOUND IN THE RIGHT-OF-WAY.

(2) LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, ETC. REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, SUCH REPLACEMENT TIME SHALL NOT EXCEED ONE (1) YEAR.

(3) THIS APPROVED SITE PLAN, DEVELOPMENT PLAN, OR LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

F.) SIGHT LINE CONSIDERATIONS: ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT DISTANCE-TRIANGLE MAY NOT CONTAIN PLANT MATERIAL THAT AT THE TIME OF PLANTING OR AT MATURITY EXCEEDS 36INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF TEN FEET FROM INTERSECTIONS AND FIFTEEN FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES WITHIN SIGHT DISTANCE-TRIANGLES. INFORMATION ON SIGHT DISTANCE TRIANGLES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS AND SPECIFICATIONS –SECTION 3.03.2 TABLE 3-1.

G.) IMPLEMENTATION AND COORDINATION OF LANDSCAPE PLAN: THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.

H.) IRRIGATION: ALL LANDSCAPED AREA AND PLANT MATERIALS, EXCEPT FOR NON IRRIGATED NATIVE, RESTORATIVE, AND DRY LAND GRASS AREAS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT. APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT FOR ANY IRRIGATION SYSTEM. ALL IRRIGATION PLANS, OR PORTIONS THEREOF, DESIGNED FOR PUBLIC RIGHT-OF-WAYS SHALL SPECIFY PARTS / COMPONENTS FROM THE CITY APPROVED IRRIGATION PARTS/COMPONENT LIST.

I.) NATIVE GRASS NOTE: ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED, SHALL BE, AT A MINIMUM, SEEDED WITH NATIVE GRASSES.

J.) VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.

PLANTING DETAILS

PLANTING SPECIFICATIONS – DECIDUOUS TREES

1. TREE SPECIES: SEE CITY LIST

2. DO NOT EXCEED 36" ABOVE GUTTER FLOW LINE

3. TREE SPECIES: SEE CITY LIST

4. TREE SPECIES: SEE CITY LIST

5. TREE SPECIES: SEE CITY LIST

6. TREE SPECIES: SEE CITY LIST

7. TREE SPECIES: SEE CITY LIST

8. TREE SPECIES: SEE CITY LIST

9. TREE SPECIES: SEE CITY LIST

10. TREE SPECIES: SEE CITY LIST

11. TREE SPECIES: SEE CITY LIST

12. TREE SPECIES: SEE CITY LIST

13. TREE SPECIES: SEE CITY LIST

14. TREE SPECIES: SEE CITY LIST

15. TREE SPECIES: SEE CITY LIST

16. TREE SPECIES: SEE CITY LIST

17. TREE SPECIES: SEE CITY LIST

18. TREE SPECIES: SEE CITY LIST

19. TREE SPECIES: SEE CITY LIST

20. TREE SPECIES: SEE CITY LIST

21. TREE SPECIES: SEE CITY LIST

22. TREE SPECIES: SEE CITY LIST

23. TREE SPECIES: SEE CITY LIST

24. TREE SPECIES: SEE CITY LIST

25. TREE SPECIES: SEE CITY LIST

26. TREE SPECIES: SEE CITY LIST

27. TREE SPECIES: SEE CITY LIST

28. TREE SPECIES: SEE CITY LIST

29. TREE SPECIES: SEE CITY LIST

30. TREE SPECIES: SEE CITY LIST

31. TREE SPECIES: SEE CITY LIST

32. TREE SPECIES: SEE CITY LIST

33. TREE SPECIES: SEE CITY LIST

34. TREE SPECIES: SEE CITY LIST

35. TREE SPECIES: SEE CITY LIST

36. TREE SPECIES: SEE CITY LIST

37. TREE SPECIES: SEE CITY LIST

38. TREE SPECIES: SEE CITY LIST

39. TREE SPECIES: SEE CITY LIST

40. TREE SPECIES: SEE CITY LIST

41. TREE SPECIES: SEE CITY LIST

42. TREE SPECIES: SEE CITY LIST

43. TREE SPECIES: SEE CITY LIST

44. TREE SPECIES: SEE CITY LIST

45. TREE SPECIES: SEE CITY LIST

46. TREE SPECIES: SEE CITY LIST

47. TREE SPECIES: SEE CITY LIST

48. TREE SPECIES: SEE CITY LIST

49. TREE SPECIES: SEE CITY LIST

50. TREE SPECIES: SEE CITY LIST

51. TREE SPECIES: SEE CITY LIST

52. TREE SPECIES: SEE CITY LIST

53. TREE SPECIES: SEE CITY LIST

54. TREE SPECIES: SEE CITY LIST

55. TREE SPECIES: SEE CITY LIST

56. TREE SPECIES: SEE CITY LIST

57. TREE SPECIES: SEE CITY LIST

58. TREE SPECIES: SEE CITY LIST

59. TREE SPECIES: SEE CITY LIST

60. TREE SPECIES: SEE CITY LIST

61. TREE SPECIES: SEE CITY LIST

62. TREE SPECIES: SEE CITY LIST

63. TREE SPECIES: SEE CITY LIST

64. TREE SPECIES: SEE CITY LIST

65. TREE SPECIES: SEE CITY LIST

66. TREE SPECIES: SEE CITY LIST

67. TREE SPECIES: SEE CITY LIST

68. TREE SPECIES: SEE CITY LIST

69. TREE SPECIES: SEE CITY LIST

70. TREE SPECIES: SEE CITY LIST

71. TREE SPECIES: SEE CITY LIST

72. TREE SPECIES: SEE CITY LIST

73. TREE SPECIES: SEE CITY LIST

74. TREE SPECIES: SEE CITY LIST

75. TREE SPECIES: SEE CITY LIST

76. TREE SPECIES: SEE CITY LIST

77. TREE SPECIES: SEE CITY LIST

78. TREE SPECIES: SEE CITY LIST

79. TREE SPECIES: SEE CITY LIST

80. TREE SPECIES: SEE CITY LIST

81. TREE SPECIES: SEE CITY LIST

82. TREE SPECIES: SEE CITY LIST

83. TREE SPECIES: SEE CITY LIST

84. TREE SPECIES: SEE CITY LIST

85. TREE SPECIES: SEE CITY LIST

86. TREE SPECIES: SEE CITY LIST

87. TREE SPECIES: SEE CITY LIST

88. TREE SPECIES: SEE CITY LIST

89. TREE SPECIES: SEE CITY LIST

90. TREE SPECIES: SEE CITY LIST

91. TREE SPECIES: SEE CITY LIST

92. TREE SPECIES: SEE CITY LIST

93. TREE SPECIES: SEE CITY LIST

94. TREE SPECIES: SEE CITY LIST

95. TREE SPECIES: SEE CITY LIST

96. TREE SPECIES: SEE CITY LIST

97. TREE SPECIES: SEE CITY LIST

98. TREE SPECIES: SEE CITY LIST

99. TREE SPECIES: SEE CITY LIST

100. TREE SPECIES: SEE CITY LIST

101. TREE SPECIES: SEE CITY LIST

102. TREE SPECIES: SEE CITY LIST

103. TREE SPECIES: SEE CITY LIST

104. TREE SPECIES: SEE CITY LIST

105. TREE SPECIES: SEE CITY LIST

106. TREE SPECIES: SEE CITY LIST

107. TREE SPECIES: SEE CITY LIST

108. TREE SPECIES: SEE CITY LIST

109. TREE SPECIES: SEE CITY LIST

110. TREE SPECIES: SEE CITY LIST

111. TREE SPECIES: SEE CITY LIST

112. TREE SPECIES: SEE CITY LIST

113. TREE SPECIES: SEE CITY LIST

114. TREE SPECIES: SEE CITY LIST

115. TREE SPECIES: SEE CITY LIST

116. TREE SPECIES: SEE CITY LIST

117. TREE SPECIES: SEE CITY LIST

118. TREE SPECIES: SEE CITY LIST

119. TREE SPECIES: SEE CITY LIST

120. TREE SPECIES: SEE CITY LIST

121. TREE SPECIES: SEE CITY LIST

122. TREE SPECIES: SEE CITY LIST

123. TREE SPECIES: SEE CITY LIST

124. TREE SPECIES: SEE CITY LIST

125. TREE SPECIES: SEE CITY LIST

126. TREE SPECIES: SEE CITY LIST

127. TREE SPECIES: SEE CITY LIST

128. TREE SPECIES: SEE CITY LIST

129. TREE SPECIES: SEE CITY LIST

130. TREE SPECIES: SEE CITY LIST

131. TREE SPECIES: SEE CITY LIST

132. TREE SPECIES: SEE CITY LIST

133. TREE SPECIES: SEE CITY LIST

134. TREE SPECIES: SEE CITY LIST

135. TREE SPECIES: SEE CITY LIST

136. TREE SPECIES: SEE CITY LIST

137. TREE SPECIES: SEE CITY LIST

138. TREE SPECIES: SEE CITY LIST

139. TREE SPECIES: SEE CITY LIST

140. TREE SPECIES: SEE CITY LIST

141. TREE SPECIES: SEE CITY LIST

142. TREE SPECIES: SEE CITY LIST

143. TREE SPECIES: SEE CITY LIST

144. TREE SPECIES: SEE CITY LIST

145. TREE SPECIES: SEE CITY LIST

146. TREE SPECIES: SEE CITY LIST

147. TREE SPECIES: SEE CITY LIST

148. TREE SPECIES: SEE CITY LIST

149. TREE SPECIES: SEE CITY LIST

150. TREE SPECIES: SEE CITY LIST

151. TREE SPECIES: SEE CITY LIST

152. TREE SPECIES: SEE CITY LIST

153. TREE SPECIES: SEE CITY LIST

154. TREE SPECIES: SEE CITY LIST

155. TREE SPECIES: SEE CITY LIST

156. TREE SPECIES: SEE CITY LIST

157. TREE SPECIES: SEE CITY LIST

158. TREE SPECIES: SEE CITY LIST

159. TREE SPECIES: SEE CITY LIST

160. TREE SPECIES: SEE CITY LIST

161. TREE SPECIES: SEE CITY LIST

162. TREE SPECIES: SEE CITY LIST

163. TREE SPECIES: SEE CITY LIST

164. TREE SPECIES: SEE CITY LIST

165. TREE SPECIES: SEE CITY LIST

166. TREE SPECIES: SEE CITY LIST

167. TREE SPECIES: SEE CITY LIST

168. TREE SPECIES: SEE CITY LIST

169. TREE SPECIES: SEE CITY LIST

170. TREE SPECIES: SEE CITY LIST

171. TREE SPECIES: SEE CITY LIST

172. TREE SPECIES: SEE CITY LIST

173. TREE SPECIES: SEE CITY LIST

174. TREE SPECIES: SEE CITY LIST

175. TREE SPECIES: SEE CITY LIST

176. TREE SPECIES: SEE CITY LIST

177. TREE SPECIES: SEE CITY LIST

178. TREE SPECIES: SEE CITY LIST

179. TREE SPECIES: SEE CITY LIST

180. TREE SPECIES: SEE CITY LIST

181. TREE SPECIES: SEE CITY LIST

182. TREE SPECIES: SEE CITY LIST

183. TREE SPECIES: SEE CITY LIST

184. TREE SPECIES: SEE CITY LIST

185. TREE SPECIES: SEE CITY LIST

186. TREE SPECIES: SEE CITY LIST

187. TREE SPECIES: SEE CITY LIST

188. TREE SPECIES: SEE CITY LIST

189. TREE SPECIES: SEE CITY LIST

190. TREE SPECIES: SEE CITY LIST

191. TREE SPECIES: SEE CITY LIST

192. TREE SPECIES: SEE CITY LIST

193. TREE SPECIES: SEE CITY LIST

194. TREE SPECIES: SEE CITY LIST

195. TREE SPECIES: SEE CITY LIST

196. TREE SPECIES: SEE CITY LIST

197. TREE SPECIES: SEE CITY LIST

198. TREE SPECIES: SEE CITY LIST

199. TREE SPECIES: SEE CITY LIST

200. TREE SPECIES: SEE CITY LIST

201. TREE SPECIES: SEE CITY LIST

202. TREE SPECIES: SEE CITY LIST

203. TREE SPECIES: SEE CITY LIST

204. TREE SPECIES: SEE CITY LIST

205. TREE SPECIES: SEE CITY LIST

206. TREE SPECIES: SEE CITY LIST

207. TREE SPECIES: SEE CITY LIST

208. TREE SPECIES: SEE CITY LIST

209. TREE SPECIES: SEE CITY LIST

210. TREE SPECIES: SEE CITY LIST

211. TREE SPECIES: SEE CITY LIST

212. TREE SPECIES: SEE CITY LIST

213. TREE SPECIES: SEE CITY LIST

214. TREE SPECIES: SEE CITY LIST

215. TREE SPECIES: SEE CITY LIST

216. TREE SPECIES: SEE CITY LIST

217. TREE SPECIES: SEE CITY LIST

218. TREE SPECIES: SEE CITY LIST

219. TREE SPECIES: SEE CITY LIST

220. TREE SPECIES: SEE CITY LIST

221. TREE SPECIES: SEE CITY LIST

222. TREE SPECIES: SEE CITY LIST

223. TREE SPECIES: SEE CITY LIST

224. TREE SPECIES: SEE CITY LIST

225. TREE SPECIES: SEE CITY LIST

226. TREE SPECIES: SEE CITY LIST

227. TREE SPECIES: SEE CITY LIST

228. TREE SPECIES: SEE CITY LIST

229. TREE SPECIES: SEE CITY LIST

230. TREE SPECIES: SEE CITY LIST

231. TREE SPECIES: SEE CITY LIST

232. TREE SPECIES: SEE CITY LIST

233. TREE SPECIES: SEE CITY LIST

234. TREE SPECIES: SEE CITY LIST

235. TREE SPECIES: SEE CITY LIST

236. TREE SPECIES: SEE CITY LIST

237. TREE SPECIES: SEE CITY LIST

238. TREE SPECIES: SEE CITY LIST

239. TREE SPECIES: SEE CITY LIST

240. TREE SPECIES: SEE CITY LIST

241. TREE SPECIES: SEE CITY LIST

242. TREE SPECIES: SEE CITY LIST

243. TREE SPECIES: SEE CITY LIST

244. TREE SPECIES: SEE CITY LIST

245. TREE SPECIES: SEE CITY LIST

246. TREE SPECIES: SEE CITY LIST

247. TREE SPECIES: SEE CITY LIST

248. TREE SPECIES: SEE CITY LIST

249. TREE SPECIES: SEE CITY LIST

250. TREE SPECIES: SEE CITY LIST

251. TREE SPECIES: SEE CITY LIST

252. TREE SPECIES: SEE CITY LIST

253. TREE SPECIES: SEE CITY LIST

254. TREE SPECIES: SEE CITY LIST

255. TREE SPECIES: SEE CITY LIST

256. TREE SPECIES: SEE CITY LIST

257. TREE SPECIES: SEE CITY LIST

258. TREE SPECIES: SEE CITY LIST

259. TREE SPECIES: SEE CITY LIST

260. TREE SPECIES: SEE CITY LIST

261. TREE SPECIES: SEE CITY LIST

262. TREE SPECIES: SEE CITY LIST

263. TREE SPECIES: SEE CITY LIST

264. TREE SPECIES: SEE CITY LIST

265. TREE SPECIES: SEE CITY LIST

266. TREE SPECIES: SEE CITY LIST

267. TREE SPECIES: SEE CITY LIST

268. TREE SPECIES: SEE CITY LIST

269. TREE SPECIES: SEE CITY LIST

270. TREE SPECIES: SEE CITY LIST

271. TREE SPECIES: SEE CITY LIST

272. TREE SPECIES: SEE CITY LIST

273. TREE SPECIES: SEE CITY LIST

274. TREE SPECIES: SEE CITY LIST

275. TREE SPECIES: SEE CITY LIST

276. TREE SPECIES: SEE CITY LIST

277. TREE SPECIES: SEE CITY LIST

278. TREE SPECIES: SEE CITY LIST

279. TREE SPECIES: SEE CITY LIST

280. TREE SPECIES: SEE CITY LIST

281. TREE SPECIES: SEE CITY LIST

282. TREE SPECIES: SEE CITY LIST

283. TREE SPECIES: SEE CITY LIST

284. TREE SPECIES: SEE CITY LIST

285. TREE SPECIES: SEE CITY LIST

286. TREE SPECIES: SEE CITY LIST

287. TREE SPECIES: SEE CITY LIST

288. TREE SPECIES: SEE CITY LIST

289. TREE SPECIES: SEE CITY LIST

290. TREE SPECIES: SEE CITY LIST

291. TREE SPECIES: SEE CITY LIST

292. TREE SPECIES: SEE CITY LIST

293. TREE SPECIES: SEE CITY LIST

294. TREE SPECIES: SEE CITY LIST

295. TREE SPECIES: SEE CITY LIST

296. TREE SPECIES: SEE CITY LIST

297. TREE SPECIES: SEE CITY LIST

298. TREE SPECIES: SEE CITY LIST

299. TREE SPECIES: SEE CITY LIST

300. TREE SPECIES: SEE CITY LIST

301. TREE SPECIES: SEE CITY LIST

302. TREE SPECIES: SEE CITY LIST

303. TREE SPECIES: SEE CITY LIST

304. TREE SPECIES: SEE CITY LIST

305. TREE SPECIES: SEE CITY LIST

306. TREE SPECIES: SEE CITY LIST

307. TREE SPECIES: SEE CITY LIST

308. TREE SPECIES: SEE CITY LIST

309. TREE SPECIES: SEE CITY LIST

310. TREE SPECIES: SEE CITY LIST

311. TREE SPECIES: SEE CITY LIST

312. TREE SPECIES: SEE CITY LIST

313. TREE SPECIES: SEE CITY LIST

314. TREE SPECIES: SEE CITY LIST

315. TREE SPECIES: SEE CITY LIST

316. TREE SPECIES: SEE CITY LIST

317. TREE SPECIES: SEE CITY LIST

318. TREE SPECIES: SEE CITY LIST

319. TREE SPECIES: SEE CITY LIST

320. TREE SPECIES: SEE CITY LIST

321. TREE SPECIES: SEE CITY LIST

322. TREE SPECIES: SEE CITY LIST

323. TREE SPECIES: SEE CITY LIST

324. TREE SPECIES: SEE CITY LIST

325. TREE SPECIES: SEE CITY LIST

326. TREE SPECIES: SEE CITY LIST

327. TREE SPECIES: SEE CITY LIST

328. TREE SPECIES: SEE CITY LIST

329. TREE SPECIES: SEE CITY LIST

330. TREE SPECIES: SEE CITY LIST

331. TREE SPECIES: SEE CITY LIST

332. TREE SPECIES: SEE CITY LIST

333. TREE SPECIES: SEE CITY LIST

334. TREE SPECIES: SEE CITY LIST

335. TREE SPECIES: SEE CITY LIST

336. TREE SPECIES: SEE CITY LIST

337. TREE SPECIES: SEE CITY LIST

338. TREE SPECIES: SEE CITY LIST

339. TREE SPECIES: SEE CITY LIST

340. TREE SPECIES: SEE CITY LIST

341. TREE SPECIES: SEE CITY LIST

342. TREE SPECIES: SEE CITY LIST

343. TREE SPECIES: SEE CITY LIST

344. TREE SPECIES: SEE CITY LIST

345. TREE SPECIES: SEE CITY LIST

346. TREE SPECIES: SEE CITY LIST

347. TREE SPECIES: SEE CITY LIST

348. TREE SPECIES: SEE CITY LIST

349. TREE SPECIES: SEE CITY LIST

350. TREE SPECIES: SEE CITY LIST

351. TREE SPECIES: SEE CITY LIST

352. TREE SPECIES: SEE CITY LIST

353. TREE SPECIES: SEE CITY LIST

354. TREE SPECIES: SEE CITY LIST

355. TREE SPECIES: SEE CITY LIST

356. TREE SPECIES: SEE CITY LIST

357. TREE SPECIES: SEE CITY LIST

358. TREE SPECIES: SEE CITY LIST

359. TREE SPECIES: SEE CITY LIST

360. TREE SPECIES: SEE CITY LIST

361. TREE SPECIES: SEE CITY LIST

362. TREE SPECIES: SEE CITY LIST

363. TREE SPECIES: SEE CITY LIST

364. TREE SPECIES: SEE CITY LIST

365. TREE SPECIES: SEE CITY LIST

366. TREE SPECIES: SEE CITY LIST

367. TREE SPECIES: SEE CITY LIST

368. TREE SPECIES: SEE CITY LIST

369. TREE SPECIES: SEE CITY LIST

370. TREE SPECIES: SEE CITY LIST

371. TREE SPECIES: SEE CITY LIST

372. TREE SPECIES: SEE CITY LIST

373. TREE SPECIES: SEE CITY LIST

374. TREE SPECIES: SEE CITY LIST

375. TREE SPECIES: SEE CITY LIST

376. TREE SPECIES: SEE CITY LIST

377. TREE SPECIES: SEE CITY LIST

378. TREE SPECIES: SEE CITY LIST

379. TREE SPECIES: SEE CITY LIST

380. TREE SPECIES: SEE CITY LIST

381. TREE SPECIES: SEE CITY LIST

382. TREE SPECIES: SEE CITY LIST

383. TREE SPECIES: SEE CITY LIST

384. TREE SPECIES: SEE CITY LIST

385. TREE SPECIES: SEE CITY LIST

386. TREE SPECIES: SEE CITY LIST

387. TREE SPECIES: SEE CITY LIST

388. TREE SPECIES: SEE CITY LIST

389. TREE SPECIES: SEE CITY LIST

390. TREE SPECIES: SEE CITY LIST

391. TREE SPECIES: SEE CITY LIST

392. TREE SPECIES: SEE CITY LIST

393. TREE SPECIES: SEE CITY LIST

394. TREE SPECIES: SEE CITY LIST

395. TREE SPECIES: SEE CITY LIST

396. TREE SPECIES: SEE CITY LIST

397. TREE SPECIES: SEE CITY LIST

398. TREE SPECIES: SEE CITY LIST

399. TREE SPECIES: SEE CITY LIST

400. TREE SPECIES: SEE CITY LIST

401. TREE SPECIES: SEE CITY LIST

402. TREE SPECIES: SEE CITY LIST

403. TREE SPECIES: SEE CITY LIST

404. TREE SPECIES: SEE CITY LIST

405. TREE SPECIES: SEE CITY LIST

406. TREE SPECIES: SEE CITY LIST

407. TREE SPECIES: SEE CITY LIST

408. TREE SPECIES: SEE CITY LIST

409. TREE SPECIES: SEE CITY LIST

410. TREE SPECIES: SEE CITY LIST

411. TREE SPECIES: SEE CITY LIST

412. TREE SPECIES: SEE CITY LIST

413. TREE SPECIES: SEE CITY LIST

414. TREE SPECIES: SEE CITY LIST

415. TREE SPECIES: SEE CITY LIST

416. TREE SPECIES: SEE CITY LIST

417. TREE SPECIES: SEE CITY LIST

418. TREE SPECIES: SEE CITY LIST

419. TREE SPECIES: SEE CITY LIST

420. TREE SPECIES: SEE CITY LIST

421. TREE SPECIES: SEE CITY LIST

422. TREE SPECIES: SEE CITY LIST

423. TREE SPECIES: SEE CITY LIST

424. TREE SPECIES: SEE CITY LIST

425. TREE SPECIES: SEE CITY LIST

426. TREE SPECIES: SEE CITY LIST

427. TREE SPECIES: SEE CITY LIST

428. TREE SPECIES: SEE CITY LIST

429. TREE SPECIES: SEE CITY LIST

430. TREE SPECIES: SEE CITY LIST

431. TREE SPECIES: SEE CITY LIST

432. TREE SPECIES: SEE CITY LIST

433. TREE SPECIES: SEE CITY LIST

434. TREE SPECIES: SEE CITY LIST

435. TREE SPECIES: SEE CITY LIST

436. TREE SPECIES: SEE CITY LIST

437. TREE SPECIES: SEE CITY LIST

438. TREE SPECIES: SEE CITY LIST

439. TREE SPECIES: SEE CITY LIST

440. TREE SPECIES: SEE CITY LIST

441. TREE SPECIES: SEE CITY LIST

442. TREE SPECIES: SEE CITY LIST

443. TREE SPECIES: SEE CITY LIST

444. TREE SPECIES: SEE CITY LIST

445. TREE SPECIES: SEE CITY LIST

446. TREE SPECIES: SEE CITY LIST

447. TREE SPECIES: SEE CITY LIST

448. TREE SPECIES: SEE CITY LIST

449. TREE SPECIES: SEE CITY LIST

450. TREE SPECIES: SEE CITY LIST

451. TREE SPECIES: SEE CITY LIST

452. TREE SPECIES: SEE CITY LIST

453. TREE SPECIES: SEE CITY LIST

454. TREE SPECIES: SEE CITY LIST

455. TREE SPECIES: SEE CITY LIST

456. TREE SPECIES: SEE CITY LIST

457. TREE SPECIES: SEE CITY LIST

458. TREE SPECIES: SEE CITY LIST

459. TREE SPECIES: SEE CITY LIST

460. TREE SPECIES: SEE CITY LIST

461. TREE SPECIES: SEE CITY LIST

462. TREE SPECIES: SEE CITY LIST

463. TREE SPECIES: SEE CITY LIST

464. TREE SPECIES: SEE CITY LIST

465. TREE SPECIES: SEE CITY LIST

466. TREE SPECIES: SEE CITY LIST

467. TREE SPECIES: SEE CITY LIST

468. TREE SPECIES: SEE CITY LIST

469. TREE SPECIES: SEE CITY LIST

470. TREE SPECIES: SEE CITY LIST

471. TREE SPECIES: SEE CITY LIST

472. TREE SPECIES: SEE CITY LIST

473. TREE SPECIES: SEE CITY LIST

474. TREE SPECIES: SEE CITY LIST

475. TREE SPECIES: SEE CITY LIST

476. TREE SPECIES: SEE CITY LIST

477. TREE SPECIES: SEE CITY LIST

478. TREE SPECIES: SEE CITY LIST

479. TREE SPECIES: SEE CITY LIST

480. TREE SPECIES: SEE CITY LIST

481. TREE SPECIES: SEE CITY LIST

482. TREE SPECIES: SEE CITY LIST

483. TREE SPECIES: SEE CITY LIST

484. TREE SPECIES: SEE CITY LIST

485. TREE SPECIES: SEE CITY LIST

486. TREE SPECIES: SEE CITY LIST

487. TREE SPECIES: SEE CITY LIST

488. TREE SPECIES: SEE CITY LIST

489. TREE SPECIES: SEE CITY LIST

490. TREE SPECIES: SEE CITY LIST

491. TREE SPECIES: SEE CITY LIST

492. TREE SPECIES: SEE CITY LIST

493. TREE SPECIES: SEE CITY LIST

494. TREE SPECIES: SEE CITY LIST

495. TREE SPECIES: SEE CITY LIST

496. TREE SPECIES: SEE CITY LIST

497. TREE SPECIES: SEE CITY LIST

498. TREE SPECIES: SEE CITY LIST

499. TREE SPECIES: SEE CITY LIST

500. TREE SPECIES: SEE CITY LIST

501. TREE SPECIES: SEE CITY LIST

502. TREE SPECIES: SEE CITY LIST

503. TREE SPECIES: SEE CITY LIST

504. TREE SPECIES: SEE CITY LIST

505. TREE SPECIES: SEE CITY LIST

506. TREE SPECIES: SEE CITY LIST

507. TREE SPECIES: SEE CITY LIST

508. TREE SPECIES: SEE CITY LIST

509. TREE SPECIES: SEE CITY LIST

510. TREE SPECIES: SEE CITY LIST

511. TREE SPECIES: SEE CITY LIST

512. TREE SPECIES: SEE CITY LIST

513. TREE SPECIES: SEE CITY LIST

514. TREE SPECIES: SEE CITY LIST

515. TREE SPECIES: SEE CITY LIST

516. TREE SPECIES: SEE CITY LIST

517. TREE SPECIES: SEE CITY LIST

518. TREE SPECIES: SEE CITY LIST

519. TREE SPECIES: SEE CITY LIST

520. TREE SPECIES: SEE CITY LIST

521. TREE SPECIES: SEE CITY LIST

522. TREE SPECIES: SEE CITY LIST

523. TREE SPECIES: SEE CITY LIST

524. TREE SPECIES: SEE CITY LIST

525. TREE SPECIES: SEE CITY LIST

526. TREE SPECIES: SEE CITY LIST

527. TREE SPECIES: SEE CITY LIST

528. TREE SPECIES: SEE CITY LIST

529. TREE SPECIES: SEE CITY LIST

530. TREE SPECIES: SEE CITY LIST

531. TREE SPECIES: SEE CITY LIST

532. TREE SPECIES: SEE CITY LIST

533. TREE SPECIES: SEE CITY LIST

534. TREE SPECIES: SEE CITY LIST

535. TREE SPECIES: SEE CITY LIST

536. TREE SPECIES: SEE CITY LIST

537. TREE SPECIES: SEE CITY LIST

538. TREE SPECIES: SEE CITY LIST

539. TREE SPECIES: SEE CITY LIST

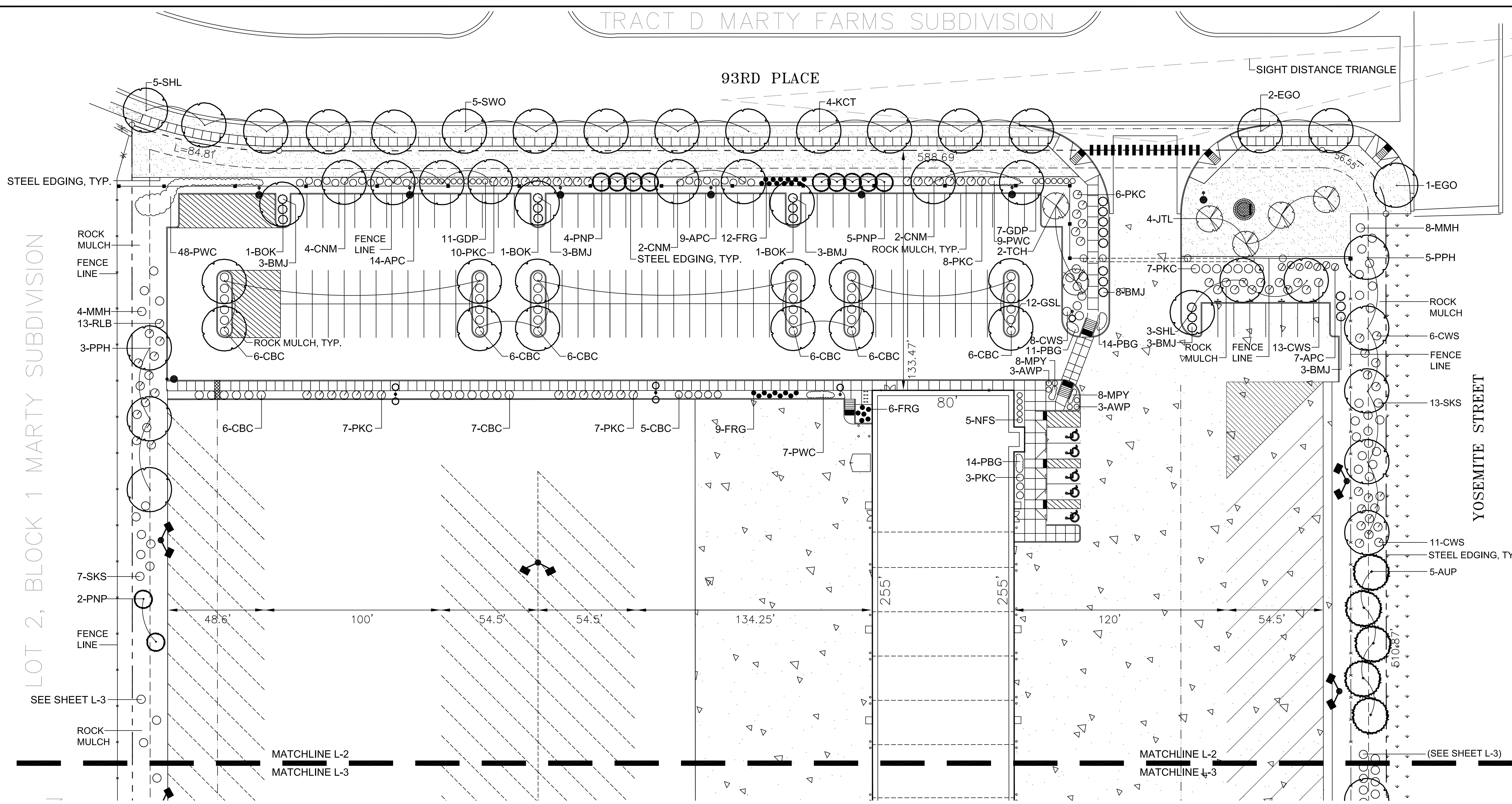
540. TREE SPECIES: SEE CITY LIST

541. TREE SPECIES: SEE CITY LIST

542. TREE SPECIES: SEE CITY LIST

543. TREE SPECIES: SEE CITY LIST

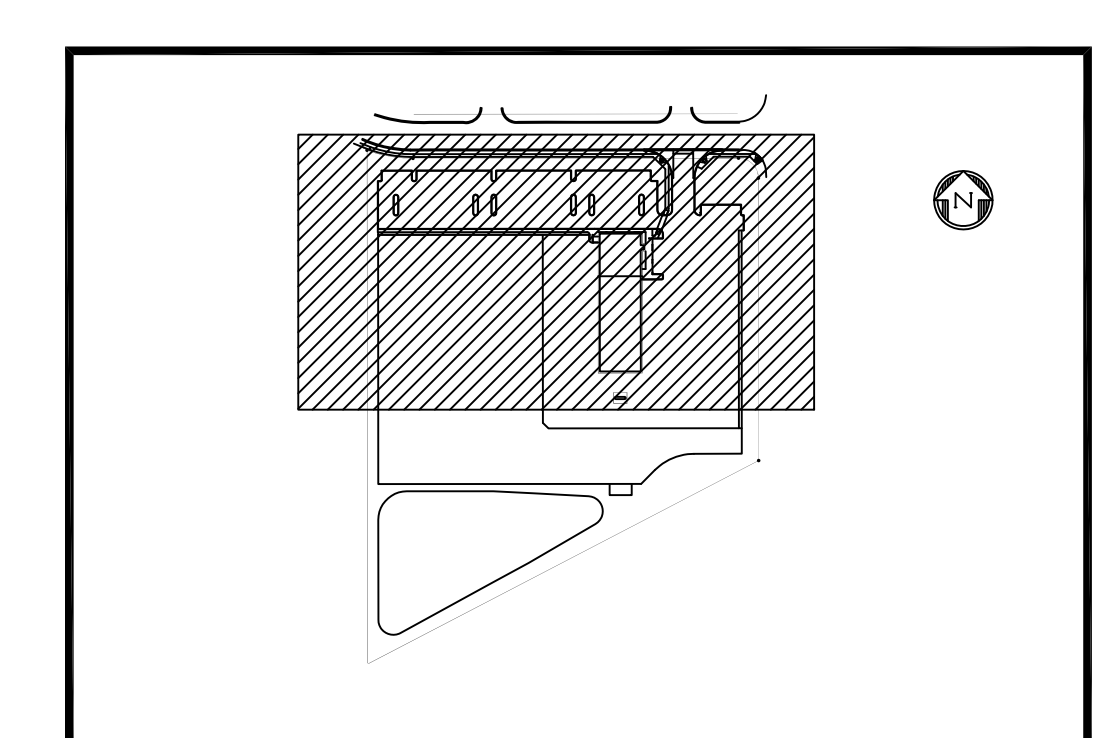
544. TREE SPECIES: SEE



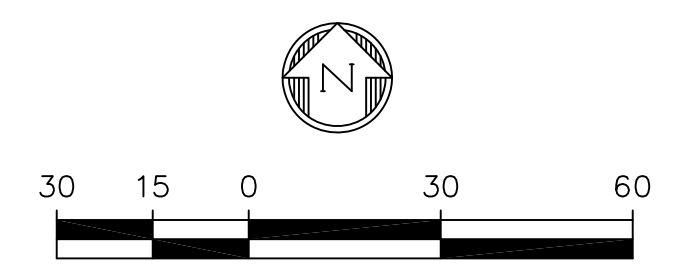
LOT 2, BLOCK 1 MARTY SUBDIVISION

LEGEND

- DECIDUOUS TREES
- DECIDUOUS SHRUBS
- EVERGREEN TREES
- EVERGREEN SHRUBS
- ORNAMENTAL TREES
- ORNAMENTAL GRASSES
- PERENNIALS / GROUNDCOVERS
- IRRIGATED TURF
- NON-IRRIGATED NATIVE SEEDING



KEY MAP
NOT TO SCALE



CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____ A.D. _____

DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES SIGNATURE

PREPARED BY:

SITE DESIGN
landscape architecture and consulting

970-217-9169
www.sitedesign-llc.com
P.O. Box 51
Loveland, CO 80539
Tim Briggs RLA, ASLA

GROENDYKE TRANSPORT, INC.
LOT 1
MARTY FARMS SUB. FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/19/13
REVISIONS/ITY COMMENTS	03/12/14
REVISIONS/ITY COMMENTS	04/28/14
DESIGNED BY:	TRB
DRAWN BY:	TRB
CHECKED BY:	
FILE NAME:	

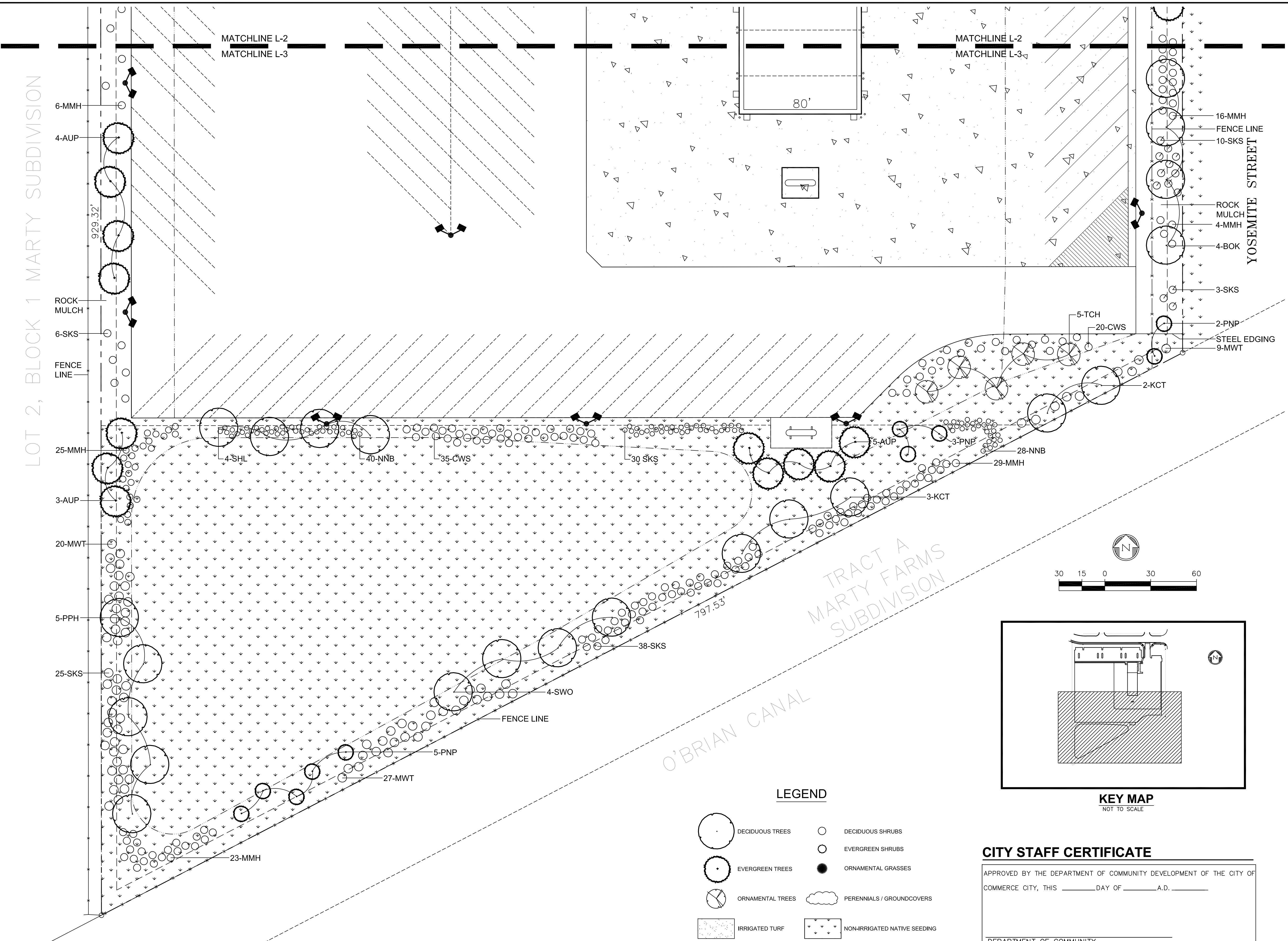
DRAWING SCALE:

1"=30'

LANDSCAPE PLAN—NORTH

PROJECT NO. 20608--00BLCV

L-2



LOT 2, BLOCK 1 MARTY SUBDIVISION

TRACT A
MARTY FARMS
SUBDIVISION

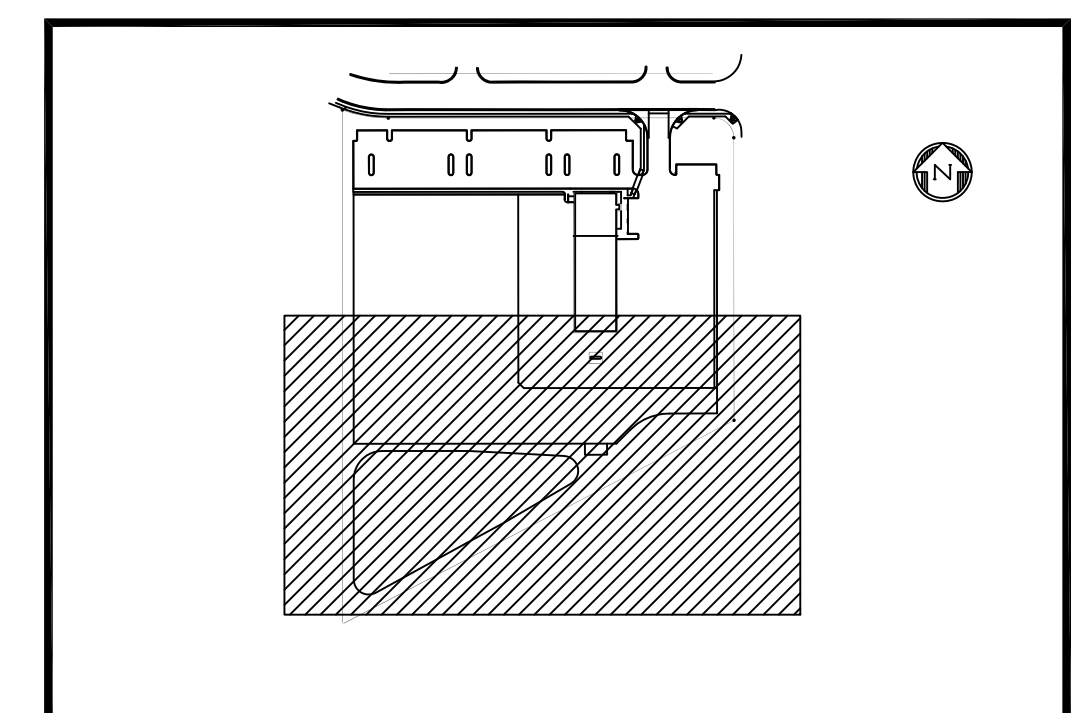
O'BRIAN CANAL

LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- IRRIGATED TURF
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS / GROUNDCOVERS
- NON-IRRIGATED NATIVE SEEDING



30 15 0 30 60



KEY MAP
NOT TO SCALE

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____ A.D. _____

DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES SIGNATURE

PREPARED BY:



970-217-9169
www.sitedesign-llc.com
P.O. Box 51
Loveland, CO 80539
Tim Briggs RLA, ASLA



GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

GROENDYKE TRANSPORT, INC.
LOT 1
MARTY FARMS SUB. FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/19/13
REVISIONS/CITY COMMENTS	03/12/14
REVISIONS/CITY COMMENTS	04/28/14

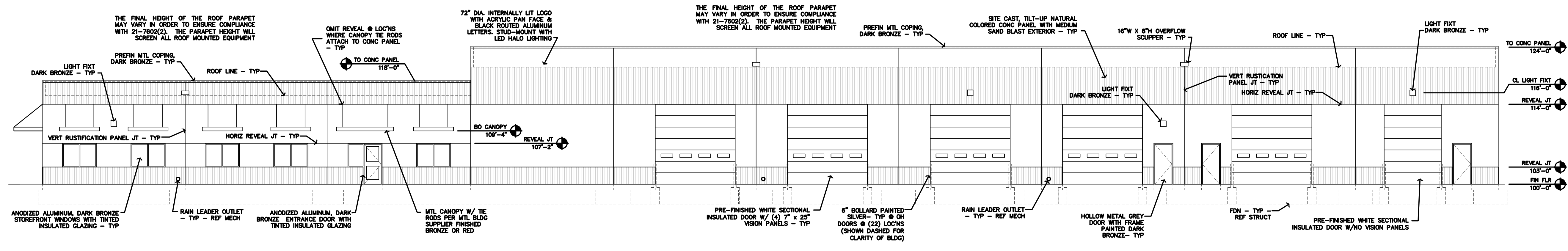
DESIGNED BY:	TRB
DRAWN BY:	TRB
CHECKED BY:	
FILE NAME:	

DRAWING SCALE:
1"=30'

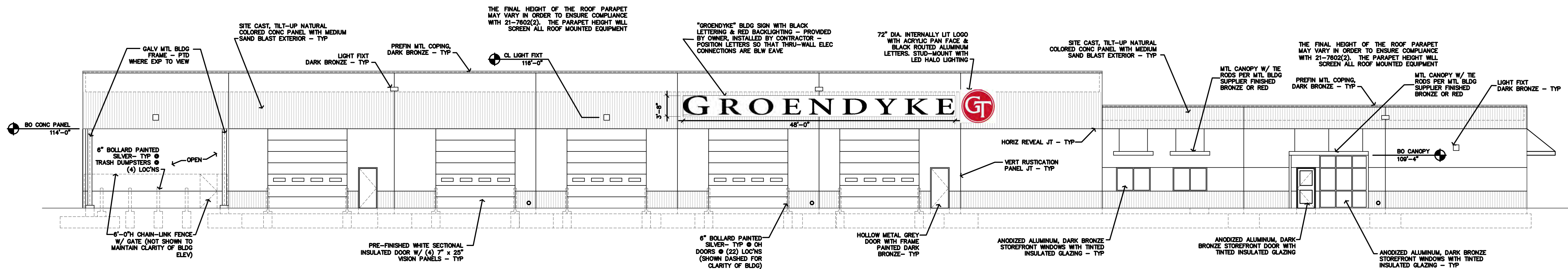
LANDSCAPE
PLAN—SOUTH

PROJECT NO. 20608—00BLCV

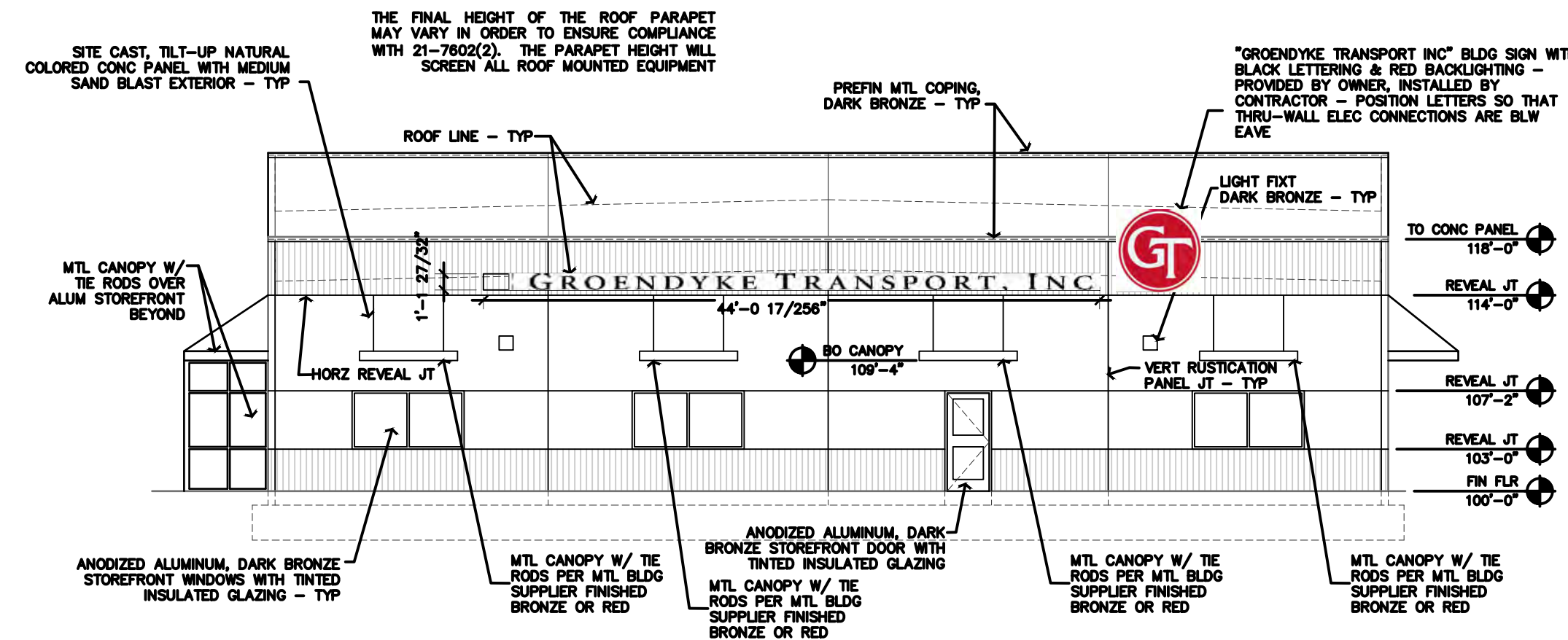
L-3



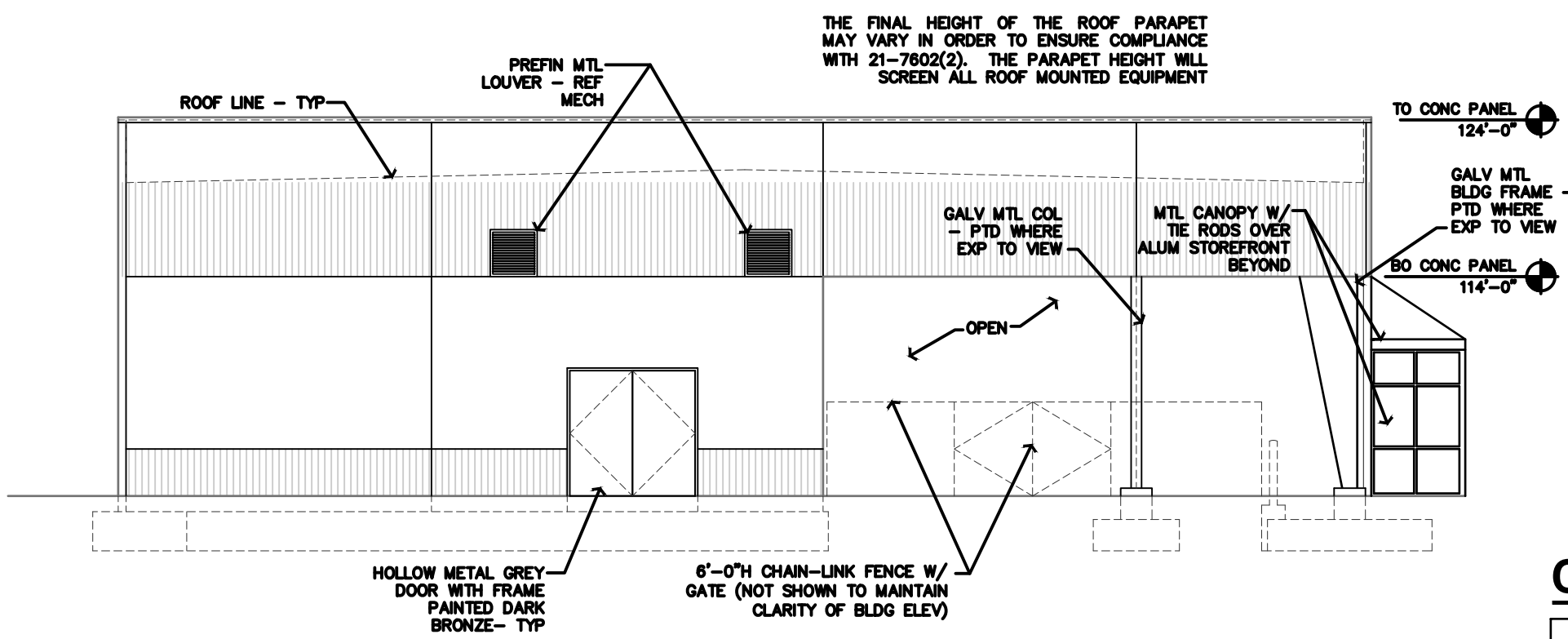
WEST ELEVATION
ORIGINAL SCALE: 1 INCH=10 FEET



EAST ELEVATION
ORIGINAL SCALE: 1 INCH=10 FEET



NORTH ELEVATION
ORIGINAL SCALE: 1 INCH=10 FEET



SOUTH ELEVATION
ORIGINAL SCALE: 1 INCH=10 FEET

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT
OF THE CITY OF
COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____

DEPARTMENT OF COMMUNITY
DEVELOPMENT SIGNATURE _____

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301
CONTACT: KEITH E. HENSEL, P.E.
303.442.4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

APPLICANT:

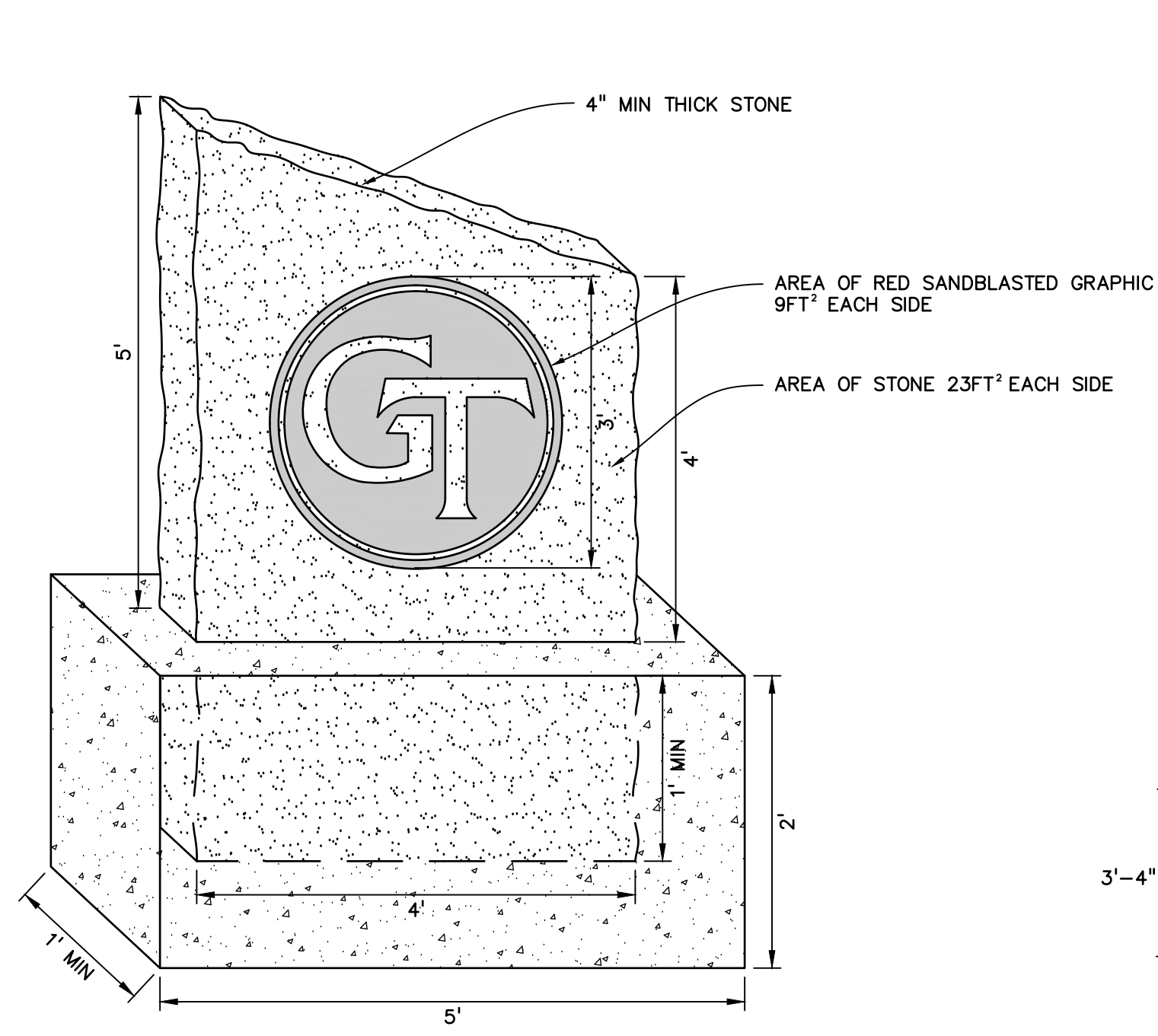
GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

DEVELOPMENT PLANS FOR:
GROENDYKE TRANSPORT, INC.
LOT 1
MARTY FARMS SUB FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

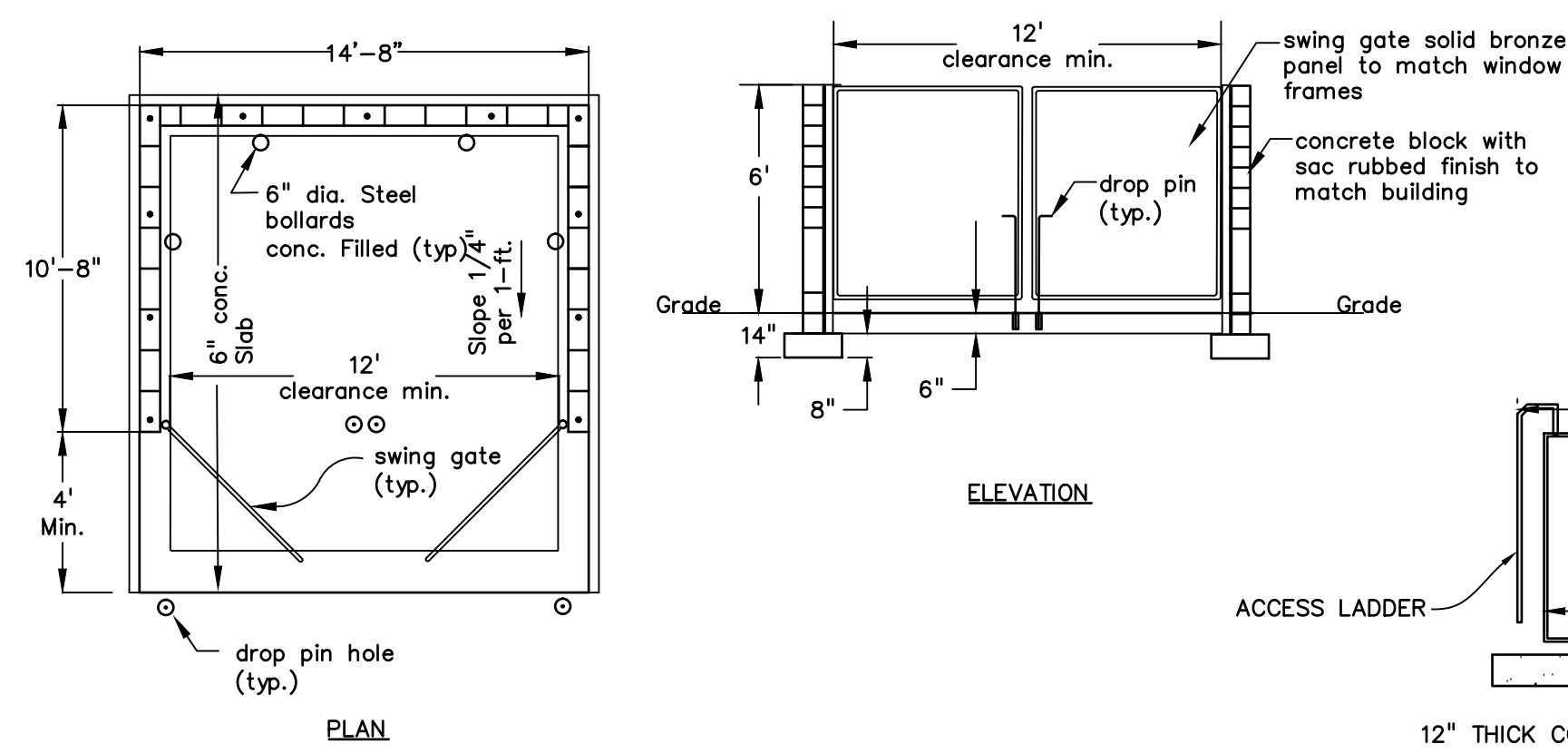
ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	JPF
DRAWN BY:	JPF
CHECKED BY:	KEH
FILE NAME:	20608-00ARCH1

DRAWING SCALE:
HORIZONTAL: 1" = 10"
VERTICAL: 1" = 10"

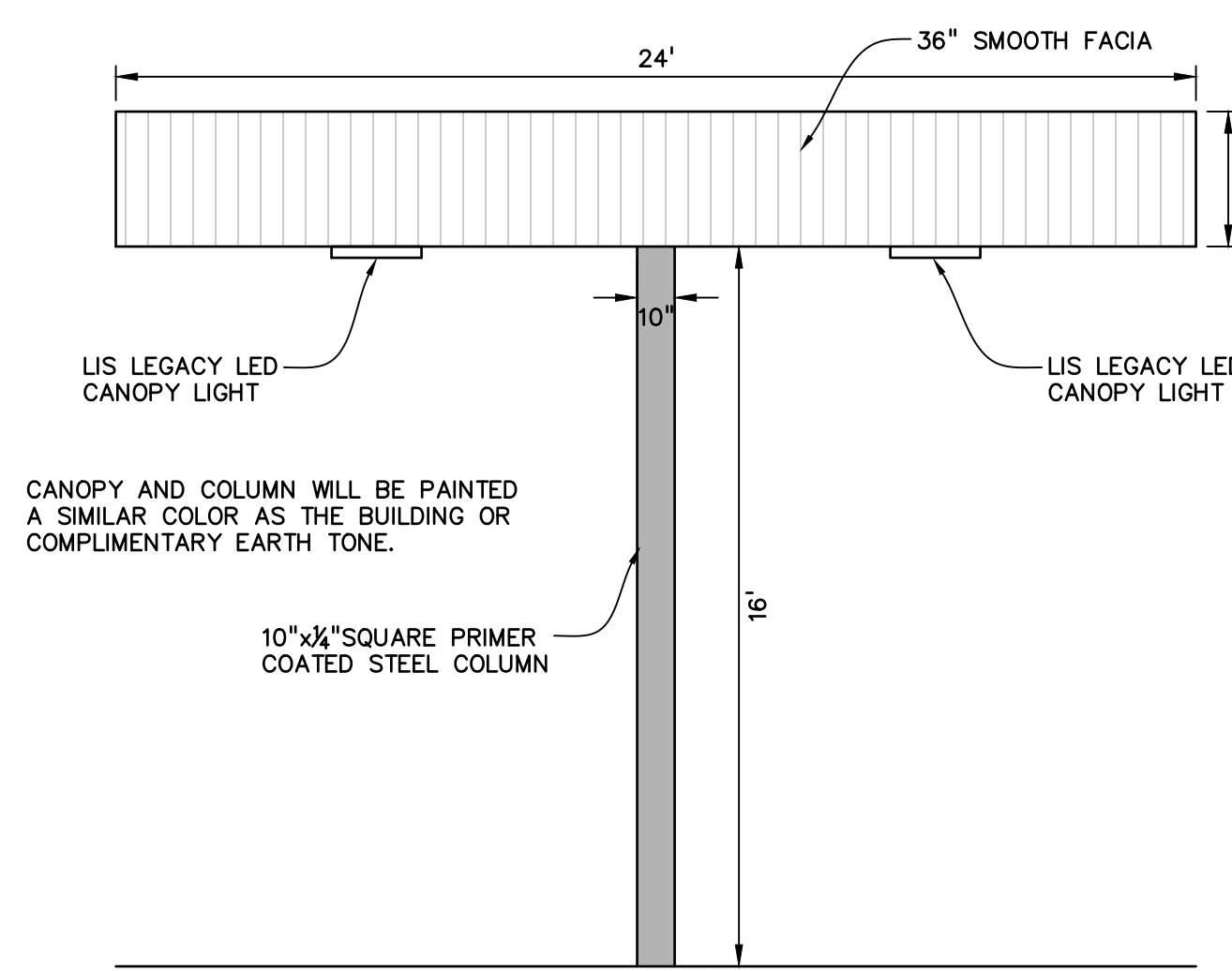
BUILDING
ELEVATIONS
PROJECT NO. 20608-00BLCV
A1.0
SHEET: 14 OF 16



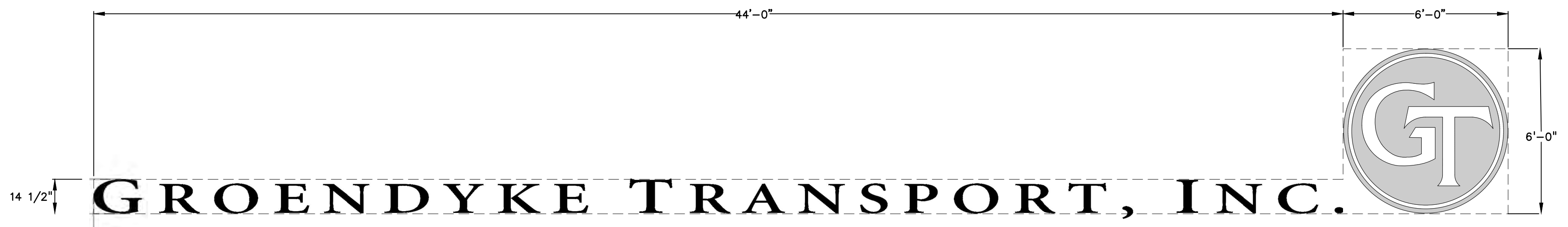
MONUMENT SIGN
NOT TO SCALE



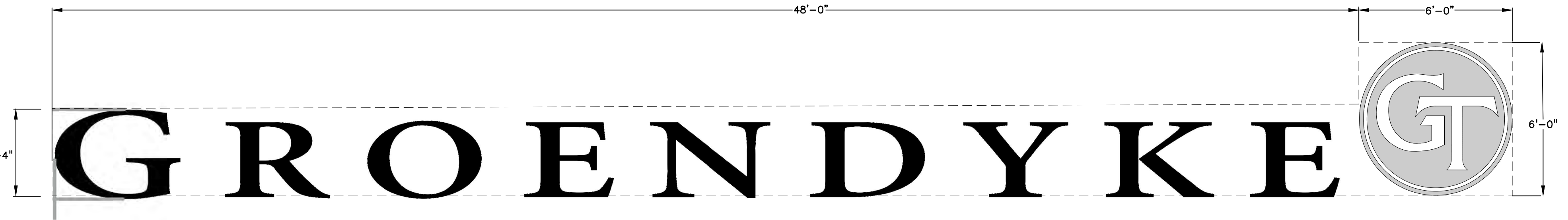
DUMPSTER ENCLOSURE
NO SCALE



FUEL PAD CANOPY
NOT TO SCALE



BUILDING SIGNAGE 93rd PLACE
ORIGINAL SCALE: 1 INCH=3 FEET



BUILDING SIGNAGE YOSEMITE ST.
ORIGINAL SCALE: 1 INCH=3 FEET

SIGN DATA

ALLOWABLE BUILDING SIGNAGE E. 93RD PLACE

BUILDING FRONTAGE	.80 FEET
ALLOWABLE SIZE (COMMERCIAL USE FOR SINGLE BUSINESS ON A SINGLE LOT NOT PART OF A SHOPPING CENTER) 2 SF OF SIGN AREA PER EACH LINEAR FOOT OF BUILDING FRONTAGE FOR SIGNS WITH INDIVIDUAL LETTERS.	.160 SQ FT

PROPOSED BUILDING SIGNAGE E. 93RD PLACE

SIGN VERBAGE	GROENDYKE TRANSPORT INC.
SIGN TYPE	INDIVIDUAL WALL MOUNTED BLACK LETTERS ILLUMINATED WITH RED BACK LIGHTING

DISTANCE FROM GROUND TO TOP OF SIGN	.17 FEET 6 INCHES
DIMENSIONS OF INDIVIDUAL LETTERS	
HEIGHT	14 1/2 INCHES
LENGTH	44 FEET
AREA	53.16 SQUARE FEET
DIMENSIONS OF LOGO	
DIAMETER	6 FEET 0 INCHES
AREA	36.00 SQUARE FEET
TOTAL AREA OF BUILDING SIGNAGE	89.16 SQUARE FEET

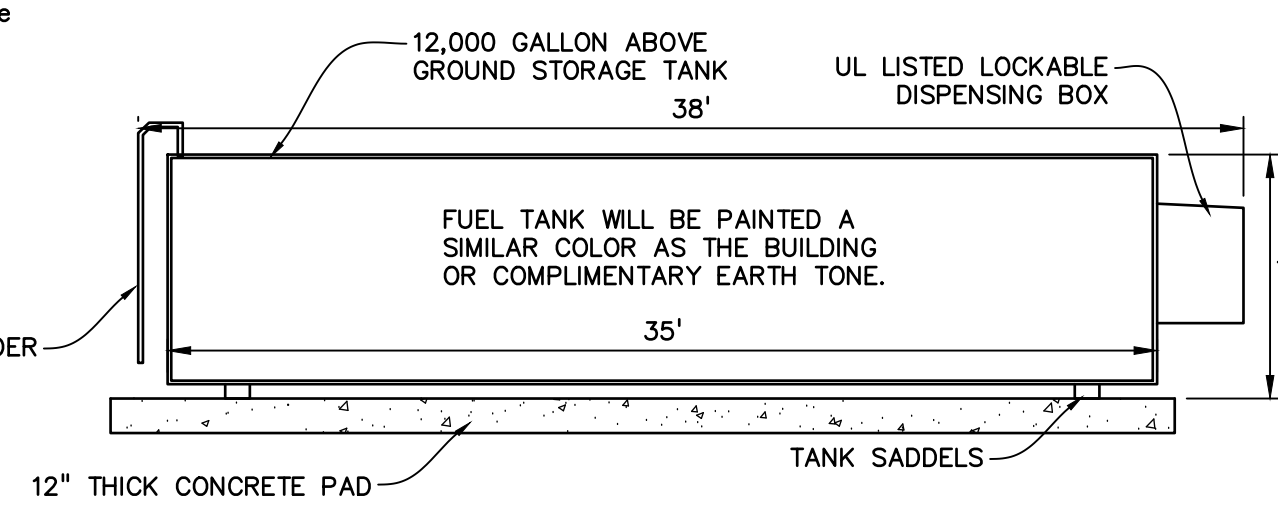
ALLOWABLE BUILDING SIGNAGE YOSEMITE STREET

BUILDING FRONTAGE	.220 FEET
ALLOWABLE SIZE (COMMERCIAL USE FOR SINGLE BUSINESS ON A SINGLE LOT NOT PART OF A SHOPPING CENTER) 2 SF OF SIGN AREA PER EACH LINEAR FOOT OF BUILDING FRONTAGE FOR SIGNS WITH INDIVIDUAL LETTERS.	440. SQ FT
MAXIMUM ALLOWABLE SIGN AREA	200. SQ FT

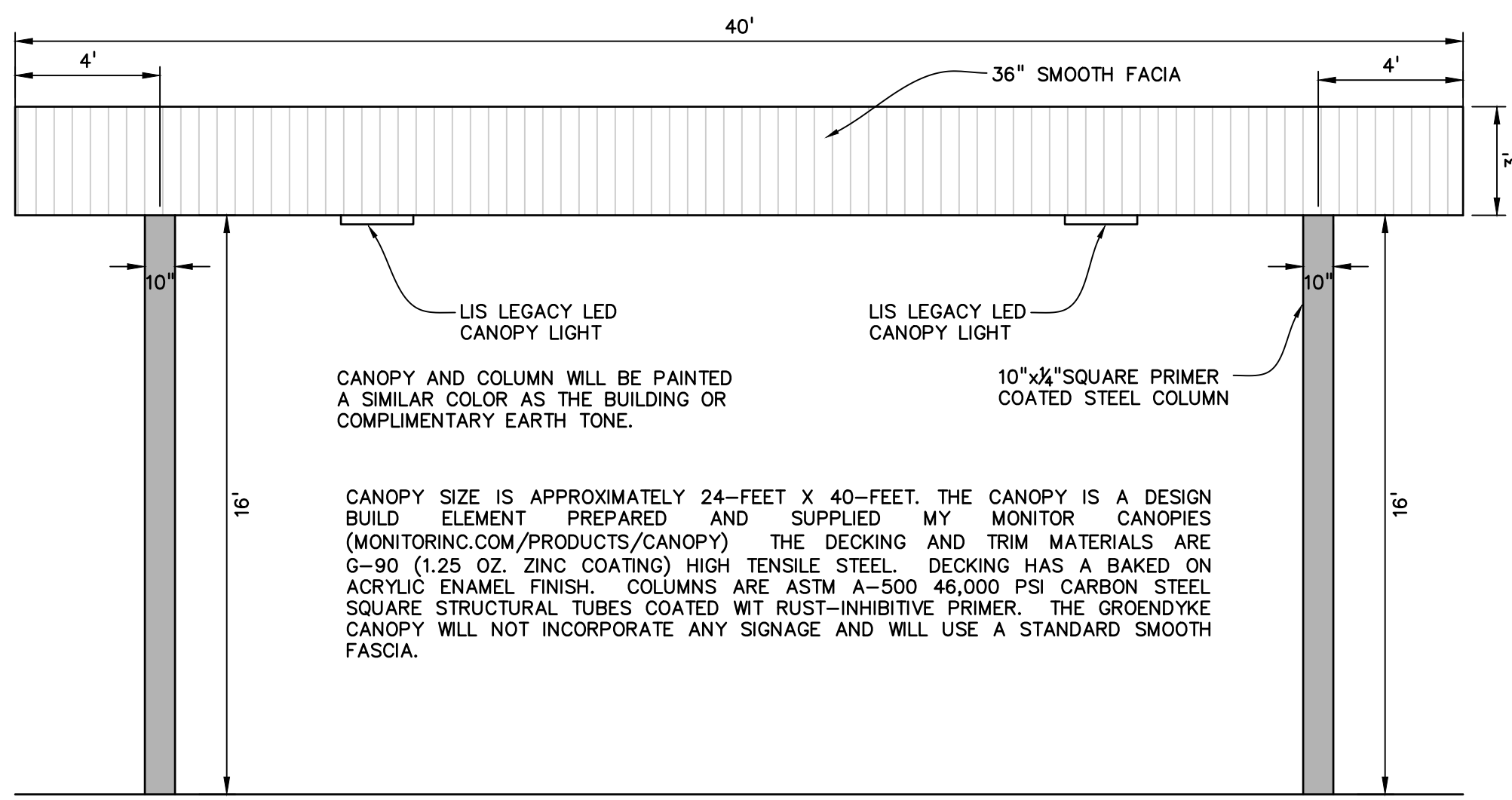
PROPOSED BUILDING SIGNAGE YOSEMITE STREET

SIGN VERBAGE	GROENDYKE
	INDIVIDUAL WALL MOUNTED BLACK LETTERS ILLUMINATED WITH RED BACK LIGHTING

DISTANCE FROM GROUND TO TOP OF SIGN	.21 FEET 6 INCHES
DIMENSIONS OF INDIVIDUAL LETTERS	
HEIGHT	3 FEET 4 INCHES
LENGTH	48'-00" FEET
AREA	159.84 SQUARE FEET
DIMENSIONS OF LOGO	
DIAMETER	6 FEET 0 INCHES
AREA	36.00 SQUARE FEET
TOTAL AREA OF BUILDING SIGNAGE	195.84 SQUARE FEET



FUEL STORAGE TANK
NO SCALE



FUEL PAD CANOPY
NOT TO SCALE

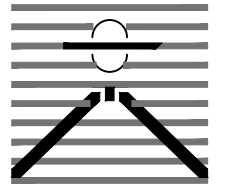
CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____.

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
1800 38th STREET
BOULDER, CO 80301
CONTACT: KEITH E. HENSEL, P.E.
303-442-4338
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

APPLICANT:



GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

DEVELOPMENT PLANS FOR:
GROENDYKE TRANSPORT, INC.
LOT 1
MARTY FARMS SUB FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/6/13
DESIGNED BY:	XXX
DRAWN BY:	XXX
CHECKED BY:	XXX
FILE NAME:	20608-00ARCH1

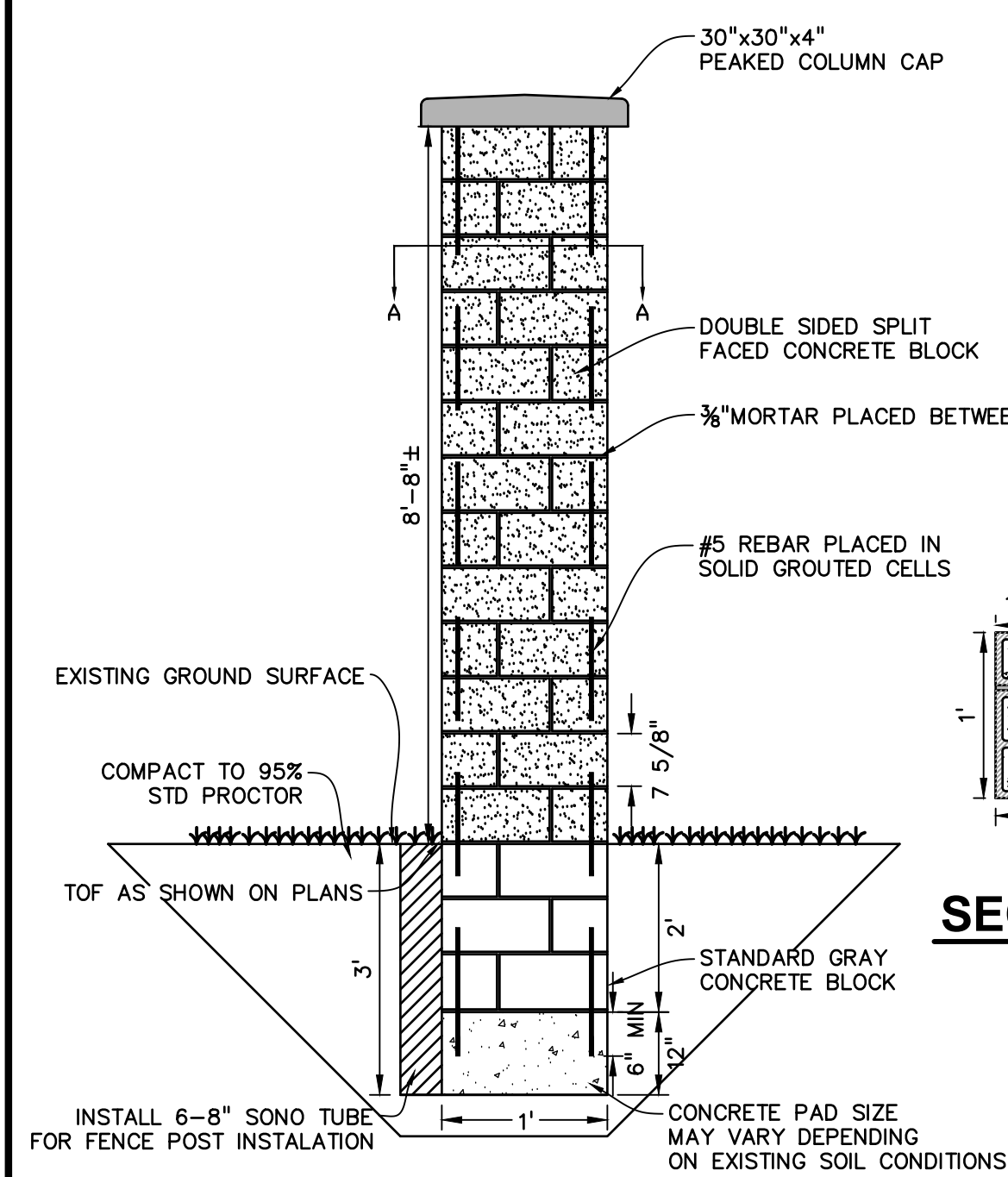
DRAWING SCALE:
HORIZONTAL: X" = XX"
VERTICAL: X" = XX"

BUILDING ELEVATIONS

PROJECT NO. 20608-00BLCV

A1.1

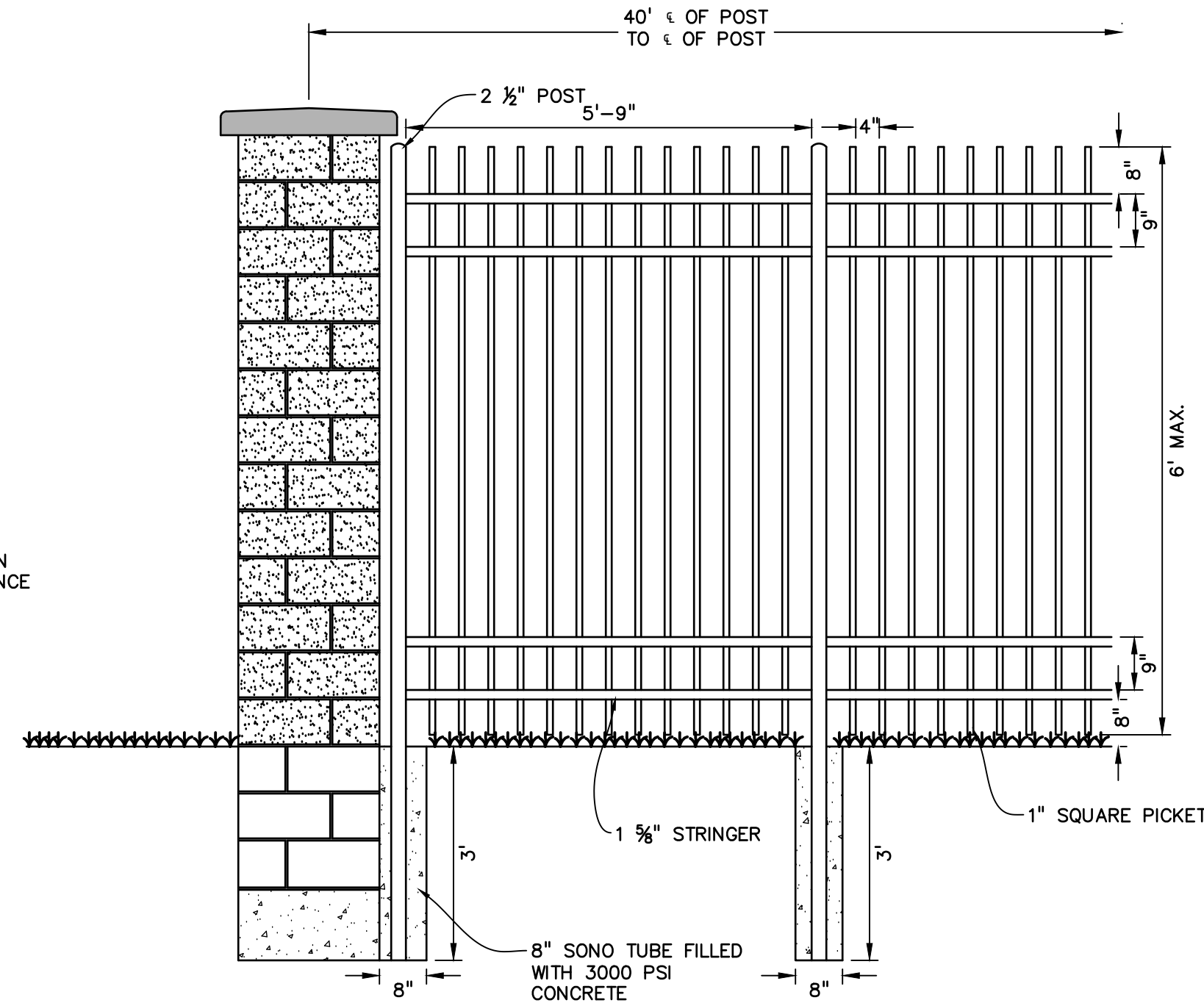
SHEET: 15 OF 16



MASONRY COLUMN

NOT TO SCALE

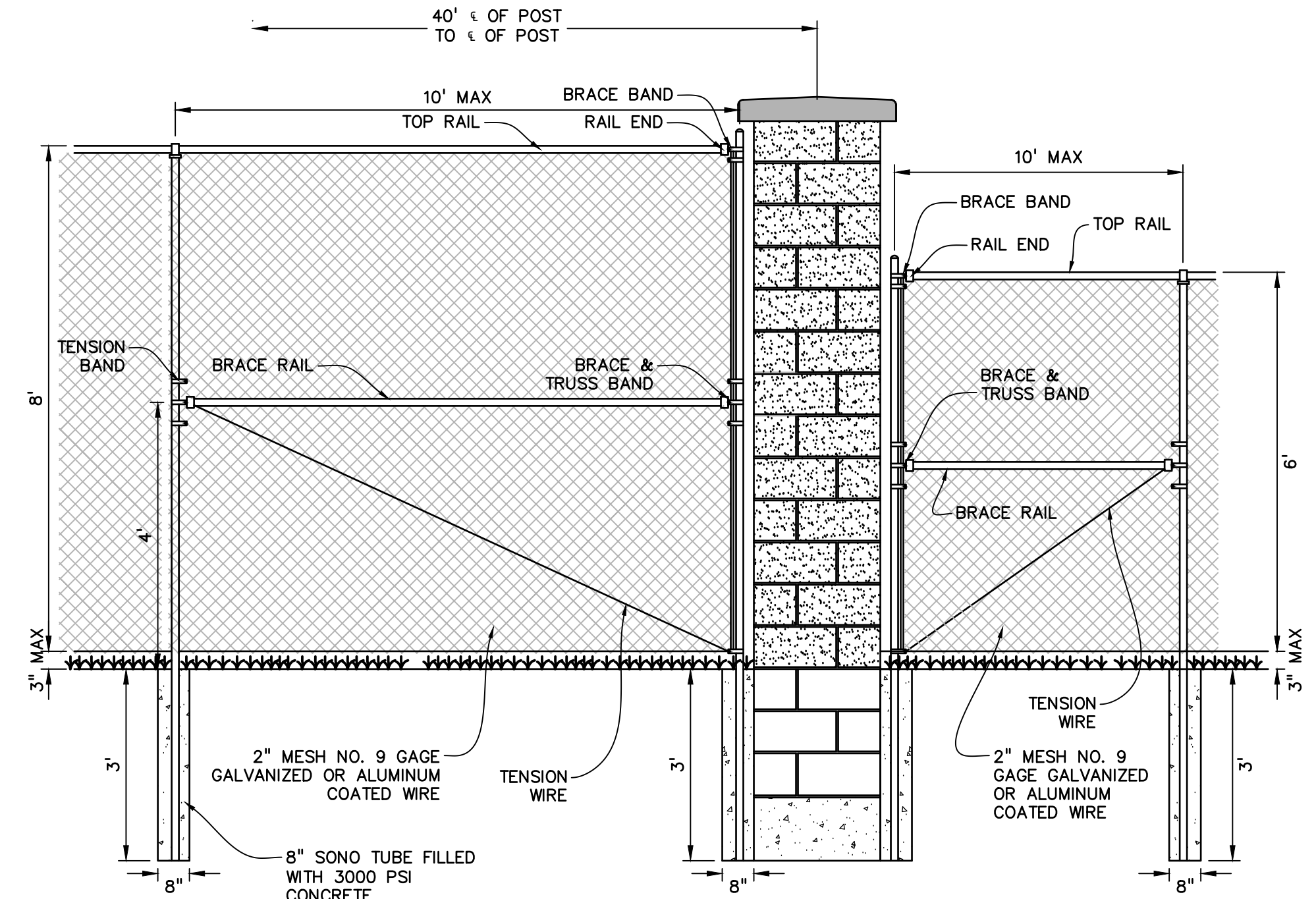
A



CAST IRON FENCE

NOT TO SCALE

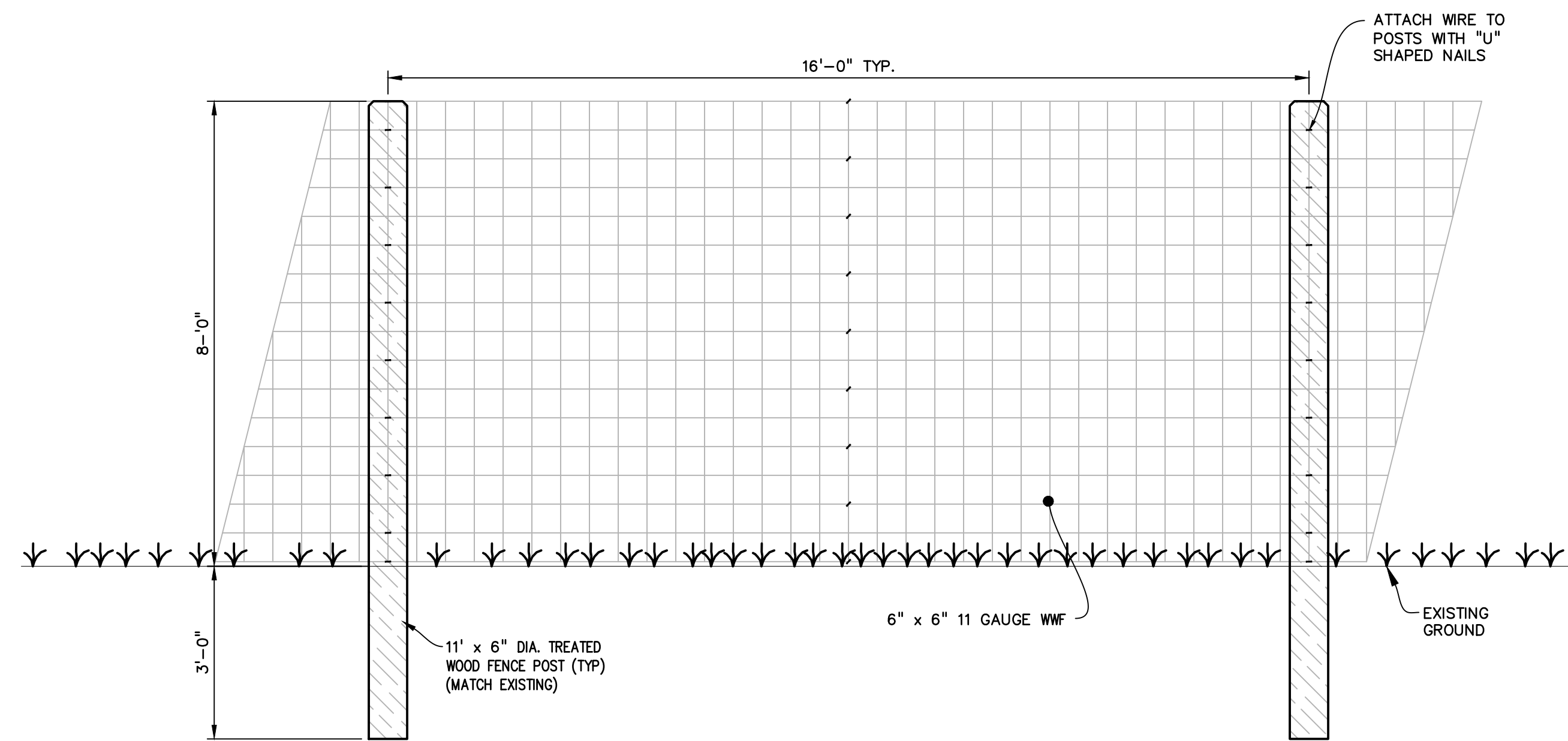
B



CHAIN LINK FENCE

NOT TO SCALE

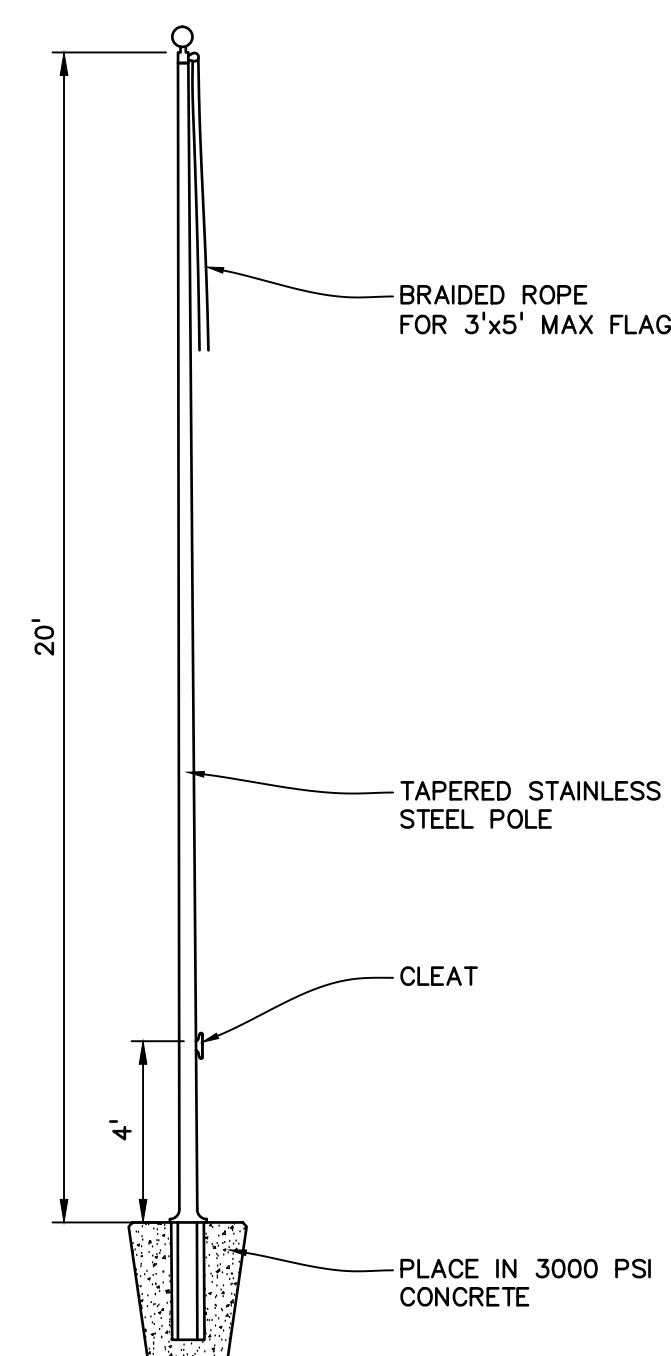
C



WIRE FENCE DETAIL

NOT TO SCALE

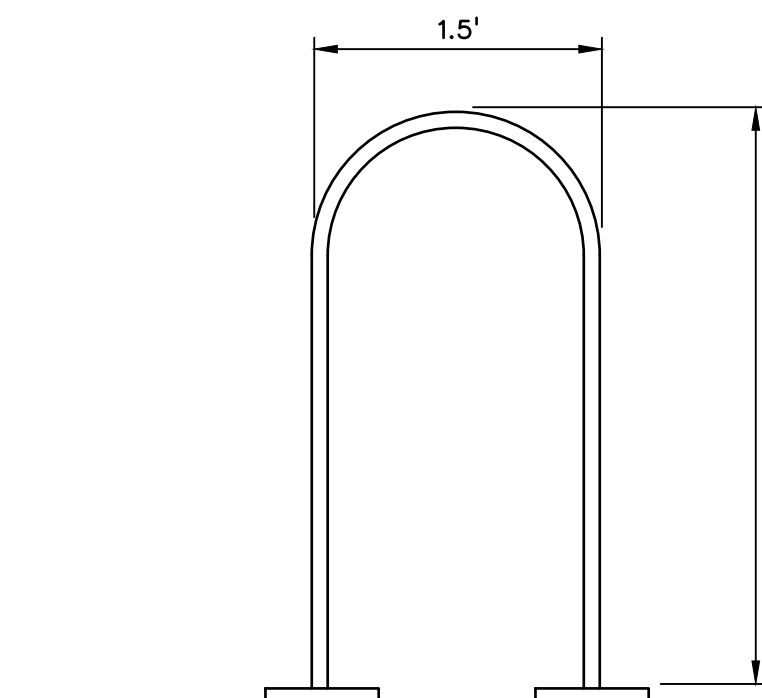
D



FLAG POLE DETAIL

NOT TO SCALE

E



INVERTED "U" BIKE RACK

NOT TO SCALE

F

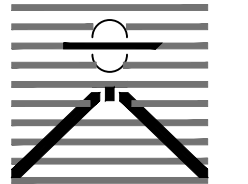
CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT
OF THE CITY OF

COMMERCE CITY, THIS _____ DAY OF _____, A.D. _____.

DEPARTMENT OF COMMUNITY
DEVELOPMENT SIGNATURE

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers-Surveyors
1800 38th STREET
BOULDER, CO 80301
303-442-4338
CONTACT: KEITH E. HENSEL, P.E.
BOULDER • COLORADO SPRINGS
GRAND JUNCTION

APPLICANT:



GROENDYKE TRANSPORT, INC.
COMMERCE CITY
COLORADO
(303) 289-3373
CONTACT: LEE BOULDIN

DEVELOPMENT PLANS FOR:
GROENDYKE TRANSPORT, INC.
LOT 1
MARTY FARMS SUB FILING NO. 5
COMMERCE CITY
ADAMS COUNTY, COLORADO

ISSUE	DATE
DEVELOPMENT PLAN	12/6/13

DESIGNED BY:	JPF
DRAWN BY:	JPF
CHECKED BY:	KEH
FILE NAME:	20608-00DT01

DRAWING SCALE:
HORIZONTAL: X" = XX"
VERTICAL: X" = XX"

DETAIL SHEET

PROJECT NO. 20608-00BLCV

C4.0

SHEET: 16 OF 16