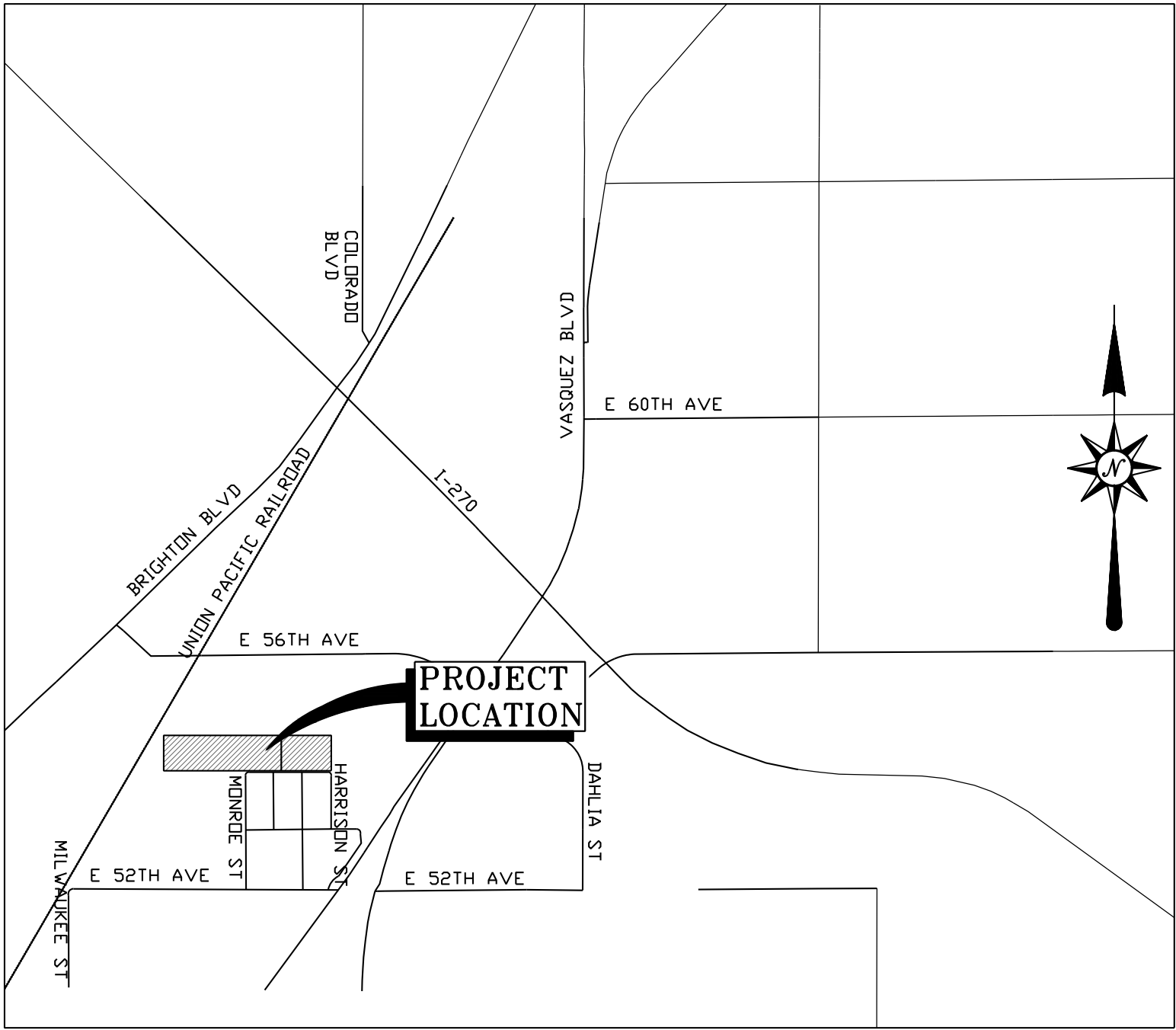


CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISIONLOCATED IN THE NORHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN,CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001

DEVELOPMENT PLAN NOTES:

- A. LIGHTING NOTE:  
IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- B. TRASH ENCLOSURE NOTE:  
TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6- FEET AND OF THE SAME OR COMPLIMENTARY. MATERIAL AND COLOR AS THE MAIN BUILDING.
- C. SCREENING NOTE:  
ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- D. SIGNAGE NOTE:  
APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS FOR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- E. FENCING NOTE:  
APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.
- F. DOWNSPOUT NOTE:  
NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
- G. AMERICANS WITH DISABILITIES NOTE:  
THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THE DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- H. CONSTRUCTION NOTE:  
THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- I. UNDERGROUND UTILITY NOTE:  
ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.



VICINITY MAP  
SCALE 1" = 500'

CONTACT LIST

OWNER:  
MONROE STREET PARTNERS WEST, LLC  
2801 WEST MANSFIELD AVE.  
ENGLEWOOD, CO 80110  
(303) 699-6005  
CONTACT: ED DOLAN

CIVIL ENGINEER:  
R&R ENGINEERS & SURVEYOR'S, INC.  
1635 WEST 13TH AVENUE, SUITE 310,  
DENVER, COLORADO 80204  
(303) 753-6730  
CONTACT: CLIF DAYTON

MECHANICAL ENGINEER:  
NAME  
ADDRESS  
ADDRESS  
PHONE  
CONTACT:

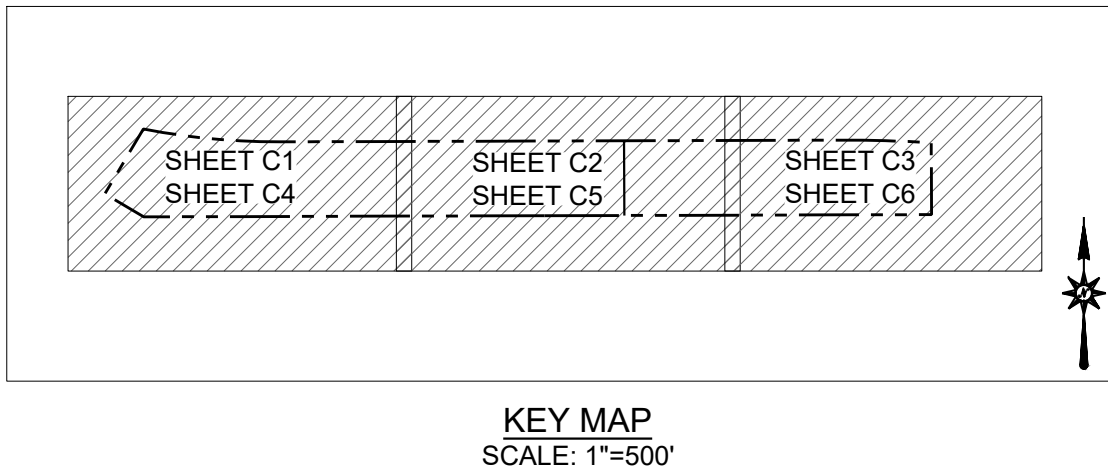
SURVEYOR:  
R&R ENGINEERS & SURVEYORS, INC.  
1635 WEST 13TH AVENUE  
SUITE 310  
(303) 753-6730  
CONTACT: ANTONIO SMITH

LANDSCAPE ARCHITECT:  
STACKLOT  
5639 SOUTH CURTICE ST.  
LITTLETON, CO 80120  
(303) 808-4523  
CONTACT: STEVE WIENS

WATER:  
SOUTH ADAMS COUNTY WATER &  
SANITATION DISTRICT  
6595 EAST 70TH AVENUE, COMMERCE  
CITY, COLORADO 80037  
(303) 288-2646

SANITATION:  
SOUTH ADAMS COUNTY WATER &  
SANITATION DISTRICT  
6595 EAST 70TH AVENUE, COMMERCE  
CITY, COLORADO 80037  
(303) 288-2646

FIRE:  
SOUTH ADAMS COUNTY FIRE DEPARTMENT  
6050 SYRACUSE STREET  
COMMERCE CITY, COLORADO 80022  
(303) 288-0835



SHEET LIST TABLE  
SHEET # SHEET TITLE

- G1 COVER SHEET  
C1 SITE PLAN (WEST)  
C2 SITE PLAN (CENTER)  
C3 SITE PLAN (EAST)  
C4 UTILITY PLAN (WEST)  
C5 UTILITY PLAN (CENTER)  
C6 UTILITY PLAN (EAST)  
C7 FIRE TRUCK ACCESS AND PAVEMENT PLAN (WEST)  
C8 FIRE TRUCK ACCESS AND PAVEMENT PLAN (CENTER)  
C9 FIRE TRUCK ACCESS AND PAVEMENT PLAN (EAST)  
L1 LANDSCAPE PLAN (BY OTHERS)  
L2 LANDSCAPE PLAN (BY OTHERS)  
L3 LANDSCAPE PLAN (BY OTHERS)  
L4 LANDSCAPE PLAN (BY OTHERS)  
L5 LANDSCAPE PLAN (BY OTHERS)  
L6 LANDSCAPE PLAN (BY OTHERS)  
L7 LANDSCAPE PLAN (BY OTHERS)  
LT1 PHOTOMETRIC PLAN (BY OTHERS)  
LT2 LIGHTING DETAILS (BY OTHERS)  
A1 TRANSFER STATION - FLOOR PLAN (BY OTHERS)  
A2 TRANSFER STATION - ELEVATIONS (BY OTHERS)  
A3 NON-FERROUS METALS - FLOOR PLAN (BY OTHERS)  
A4 NON-FERROUS METALS - ELEVATIONS (BY OTHERS)  
A5 OFFICE/MAINT. EAST - FLOOR PLANS (BY OTHERS)  
A6 OFFICE/MAINT. EAST - ELEVATIONS (BY OTHERS)  
A7 OFFICE/MAINT. WEST - FLOOR PLANS (BY OTHERS)  
A8 OFFICE/MAINT. WEST - FLOOR PLANS (BY OTHERS)  
A9 OFFICE/MAINT. WEST - ELEVATIONS (BY OTHERS)  
A10 TYP. SITE FENCING /WALL ELEVATIONS (BY OTHERS)  
A11 CUP DETAILS

SITE DATA TABLE – WEST LOT			
AREA	SQUARE FEET	AC.	% OF TOTAL
EXISTING BUILDING	0	0.00	0.00%
BUILDING FOOTPRINT	14,860	0.34	5.9% *
HARDSCAPE/IMPERVIOUS	167,762	3.85	67.1%
LANDSCAPE/POND AREA	26,150	0.60	10.5%
RAILROAD SPUR AREA	15,975	0.37	6.4%
UNDEVELOPED AREA (NORTH OF R.R. SPUR)	25,438	0.58	10.2%
TOTAL SITE	250,185	5.74	100%
BLDG CONST. AND. OCCUP.			TYPE II
ZONING			I-3
SETBACKS			
FRONT		20.0'	
SIDES		25.0'	
BACK		25.0'	
PARKING COUNTS			
REQUIRED 1 SPACE PER EMPLOYEE			
STANDARD 90' 9x19'		33 STALLS	
VAN ACCESSIBLE 90' 8x19'		2 STALLS	
TOTAL PARKING COUNT		35 STALLS + 5 BIKE SPACES	
ESTIMATED # OF EMPLOYEES		42	

\*FAR = 0.059

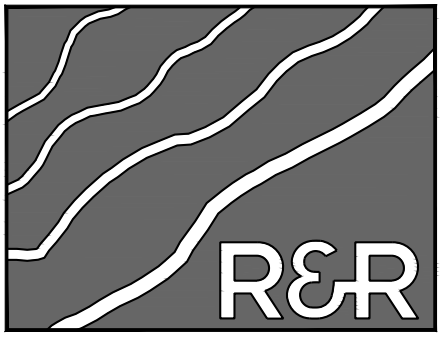
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PARKING COUNTS			
REQUIRED 1 SPACE PER EMPLOYEE			
STANDARD 90' 9x19'		50	
VAN ACCESSIBLE 90' 8x19'		1	
TOTAL PARKING COUNT		51 STALLS + 4 BIKE SPACES	
ESTIMATED # OF EMPLOYEES		40	

\*FAR = 0.22

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



ENGINEERS  
SURVEYORS  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
WWW.R&RENGINEERS.COM

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

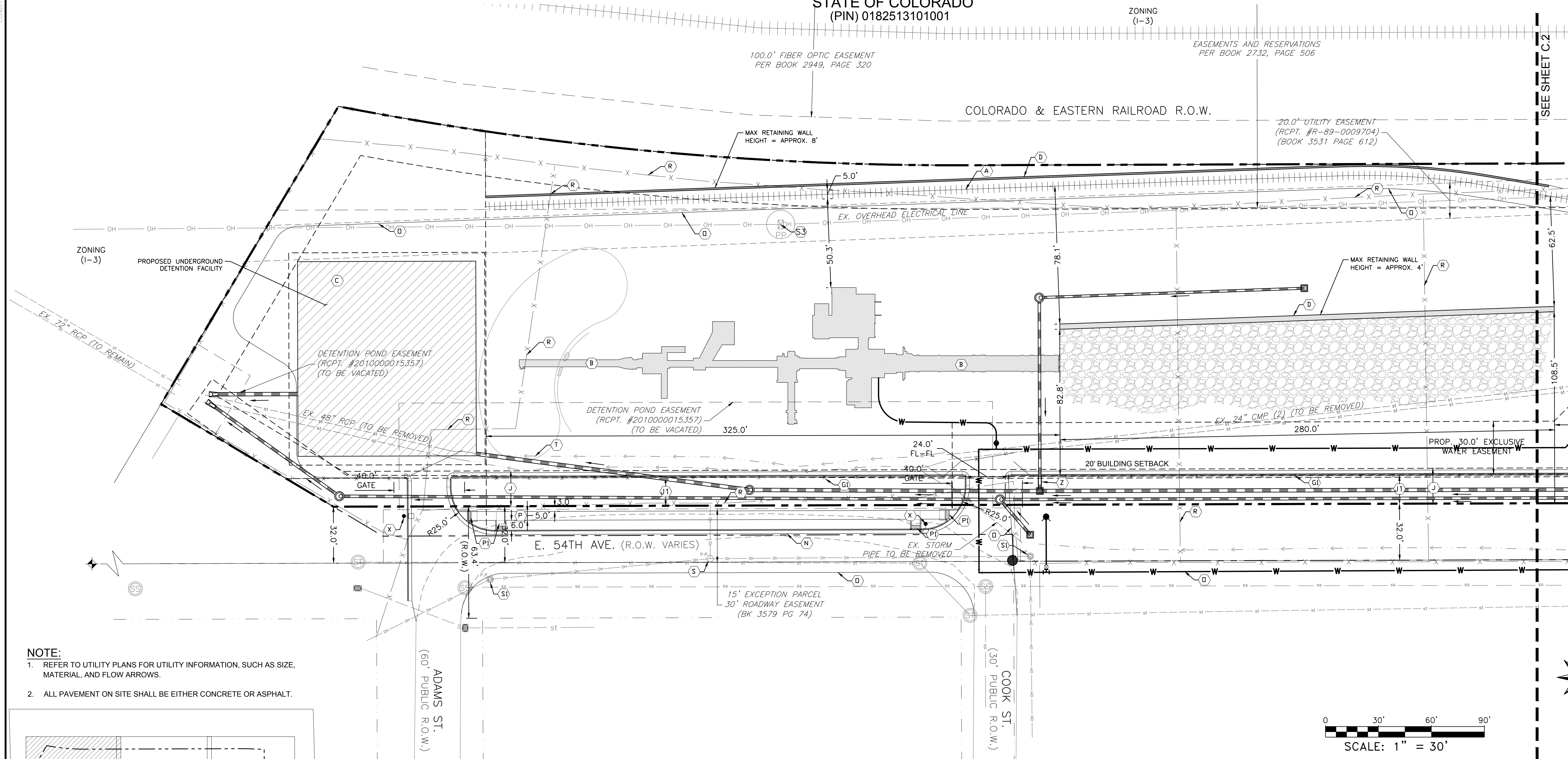
Job No. RD19127  
Date: 11/08/19  
Drawn NGE  
Checked CJD  
Name

COVER  
SHEET

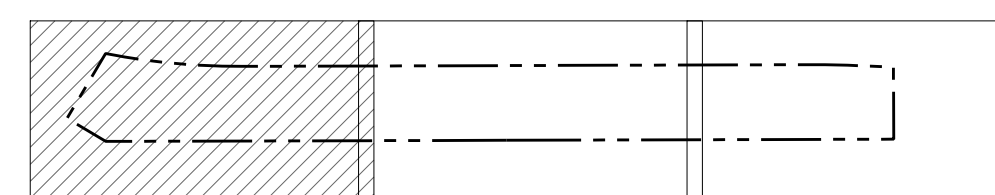
No.

G1

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001



- NOTE:
1. REFER TO UTILITY PLANS FOR UTILITY INFORMATION, SUCH AS SIZE, MATERIAL, AND FLOW ARROWS.
  2. ALL PAVEMENT ON SITE SHALL BE EITHER CONCRETE OR ASPHALT.



KEY MAP  
SCALE: 1"=500'

SITE DATA TABLE - WEST LOT			
AREA	SQUARE FEET	AC.	% OF TOTAL
EXISTING BUILDING	0	0.00	0.00%
BUILDING FOOTPRINT	14,860	0.34	5.9%*
HARDSCAPE/IMPERVIOUS	167,762	3.85	67.1%
LANDSCAPE/POND AREA	26,150	0.60	10.5%
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UNDEVELOPED AREA (NORTH OF R.R. SPUR)	25,438	0.58	10.2%
TOTAL SITE	250,185	5.74	100%
BLDG CONST. AND OCCUP.			TYPE II
ZONING			I-3

SETBACKS	
FRONT	20.0'
SIDES	25.0'
BACK	25.0'

PARKING COUNTS	
REQUIRED 1 SPACE PER EMPLOYEE	
STANDARD 90' 9x19'	33 STALLS
VAN ACCESSIBLE 90' 8x19'	2 STALLS
TOTAL PARKING COUNT	35 STALLS + 5 BIKE SPACES
ESTIMATED # OF EMPLOYEES	42

LINEWORK AND UTILITY LEGEND:

	PROPERTY LINE
	LOT LINE
	PROPOSED EASEMENT/SETBACK
	EXISTING EASEMENT/SETBACK
	EXISTING RIGHT-OF-WAY
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATERLINE
	PROPOSED RAIL ROAD TRACKS
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERLINE
	EXISTING COMMUNICATIONS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING SWALE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING (UNDERGROUND) ELECTRIC LINE

	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING (UNDERGROUND) ELECTRIC LINE
	PROPOSED WATERLINE TEE/CROSS *
	PROPOSED WATERLINE PLUG & CAP *
	EXISTING/PROPOSED REDUCER *
	EXISTING/PROPOSED GATE VALVE *
	EXISTING/PROPOSED FIRE HYDRANT *
	EXISTING/PROPOSED STORM MANHOLE *
	EXISTING/PROPOSED STORM INLET *
	PROPOSED STORM FLARED END SECTION *
	EXISTING SANITARY MANHOLE *
	PROPOSED CLEAN OUT *
	EXISTING POWER POLE *
	CRUSHED/SHREDDER RECYCLING PILE (MAX HEIGHT = 15')

KEYNOTE LEGEND (SITE FEATURES):

	PROPOSED RAILROAD TRACKS		PROPOSED CURB AND GUTTER (6" VERTICAL CURB w/ 2' GUTTER PER COMMERCE CITY ENGINEERING CONSTRUCTION STANDARDS DETAIL NO. 308-07)		EXISTING POWER POLE w/LIGHT TO REMAIN
	PROPOSED SHREDDER		PROPOSED EDGE OF ASPHALT		EXISTING LIGHT POLE TO REMAIN
	PROPOSED UNDERGROUND DETENTION POND		PROPOSED DETACHED SIDEWALK PER COMMERCE CITY ENGINEERING CONSTRUCTION STANDARD DETAIL NO. 307-05)		EXISTING POWER POLE TO REMAIN
	PROPOSED RET. WALL		PROPOSED CURB RAMP PER COMMERCE CITY ENGINEERING CONSTRUCTION STANDARD DETAIL NO. 308-03c)		EXISTING SWALE TO BE REMOVED
	PROPOSED OFFICE BUILDING		PROPOSED VALLEY PAN PER COMMERCE CITY ENGINEERING CONSTRUCTION STANDARD DETAIL NO. 308-04)		EXISTING SHED TO BE REMOVED
	PROPOSED LOT SPLIT		EXISTING FENCE TO REMAIN		EXISTING RAIL CAR TO BE REMOVED
	PROPOSED FENCE		PROPOSED LIGHT		EXISTING FENCE TO BE REMOVED
	PROPOSED 8' TALL STEEL SCREEN FENCE ALONG R.O.W. TO BE STAGGERED 4" EVERY 24' LINEAR FEET		PROPOSED BIKE RACK		PROPOSED CURB CUT FOR DRAINAGE
	PROPOSED PIT SCALE		PROPOSED MONUMENT SIGN		
	PROPOSED ADA PARKING				
	PROPOSED PROPERTY LINE				

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 11/08/19  
Drawn NGE  
Checked CJD  
Name

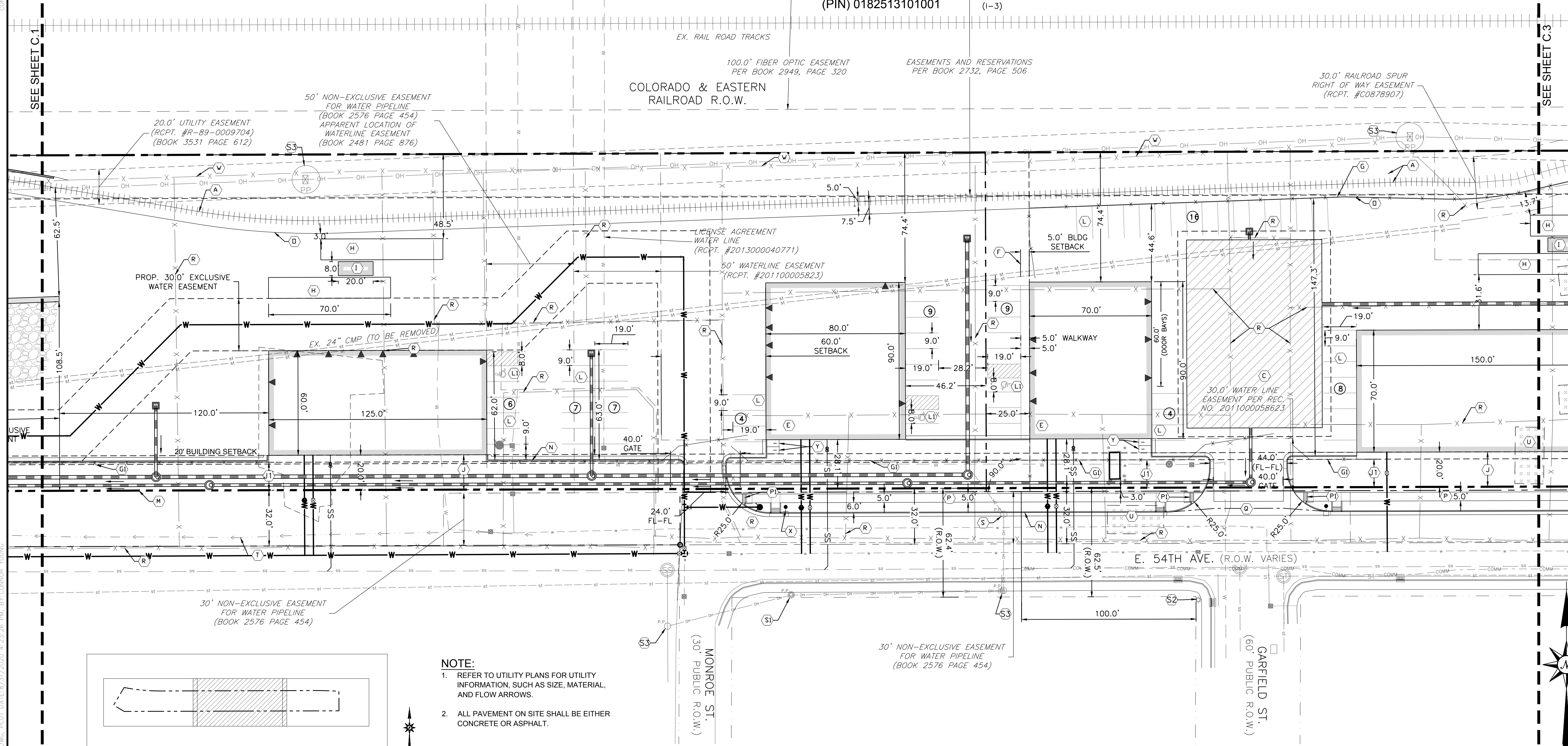
SITE PLAN  
(WEST)

C1



# CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET

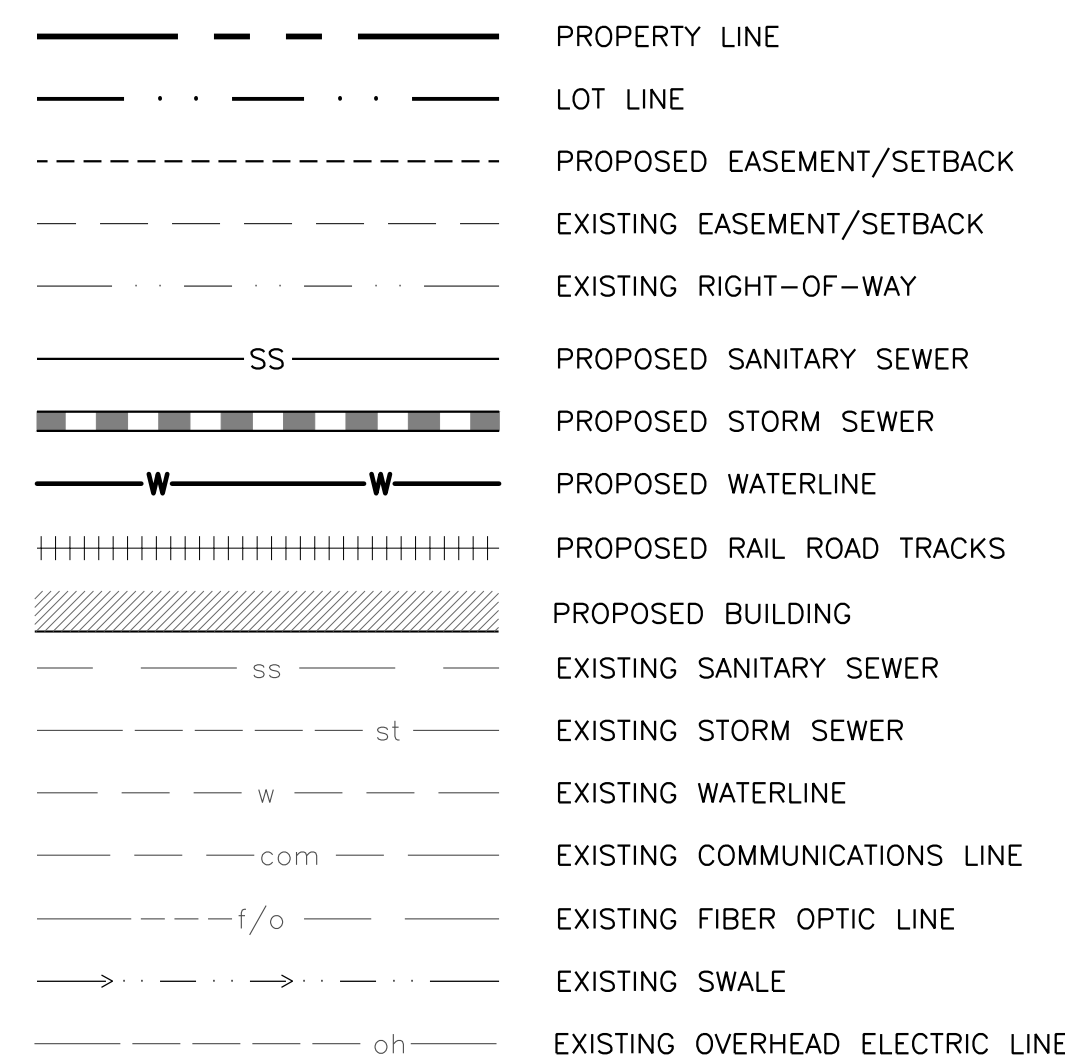
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
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STATE OF COLORADO  
(PIN) 0182513101001

ZONING  
(1-3)

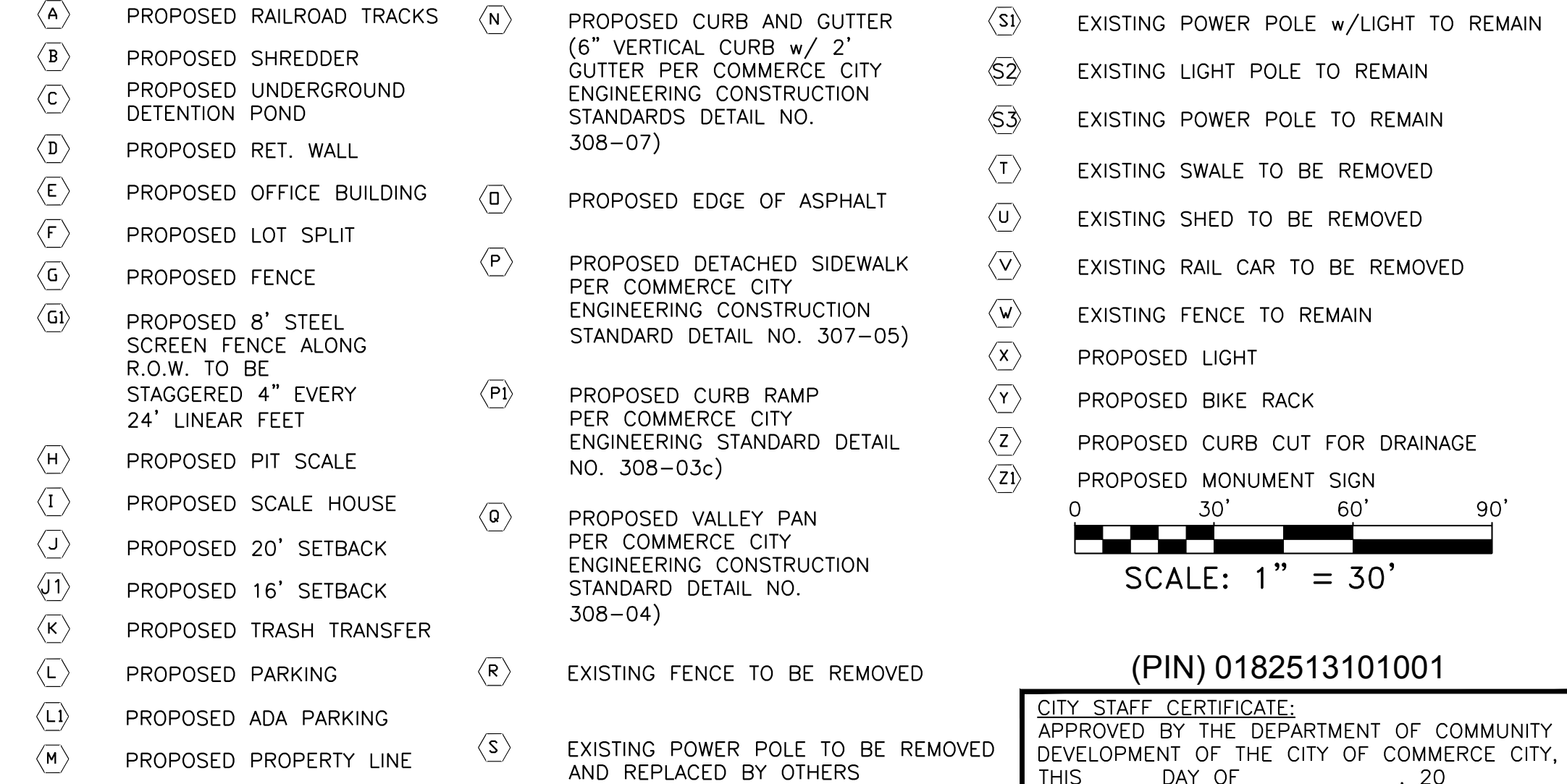
NOTE:

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2. ALL PAVEMENT ON SITE SHALL BE EITHER CONCRETE OR ASPHALT.

LINEWORK AND UTILITY LEGEND:



KEYNOTE LEGEND (SITE FEATURES):



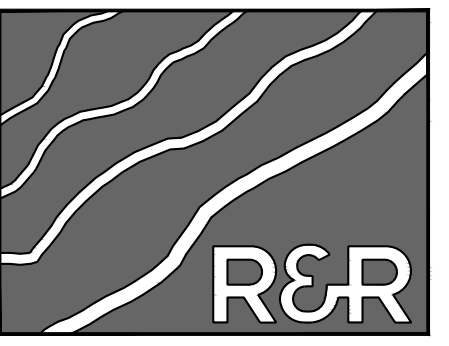
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ZONING			I-3
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SIDES		25.0'	
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PARKING COUNTS			
REQUIRED 1 SPACE PER EMPLOYEE			
STANDARD 90' x 19'		33 STALLS	
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TOTAL PARKING COUNT		35 STALLS + 5 BIKE SPACES	
ESTIMATED # OF EMPLOYEES		42	

\*FAR = 0.059

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS            DAY OF            : 20

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE \_\_\_\_\_



**ENGINEERS  
SURVEYORS** 

1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
[WWW.FRENCHENGINEERS.COM](http://WWW.FRENCHENGINEERS.COM)

**CONDITIONAL USE PERMIT PLAN**  
**5400 MONROE STREET**

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

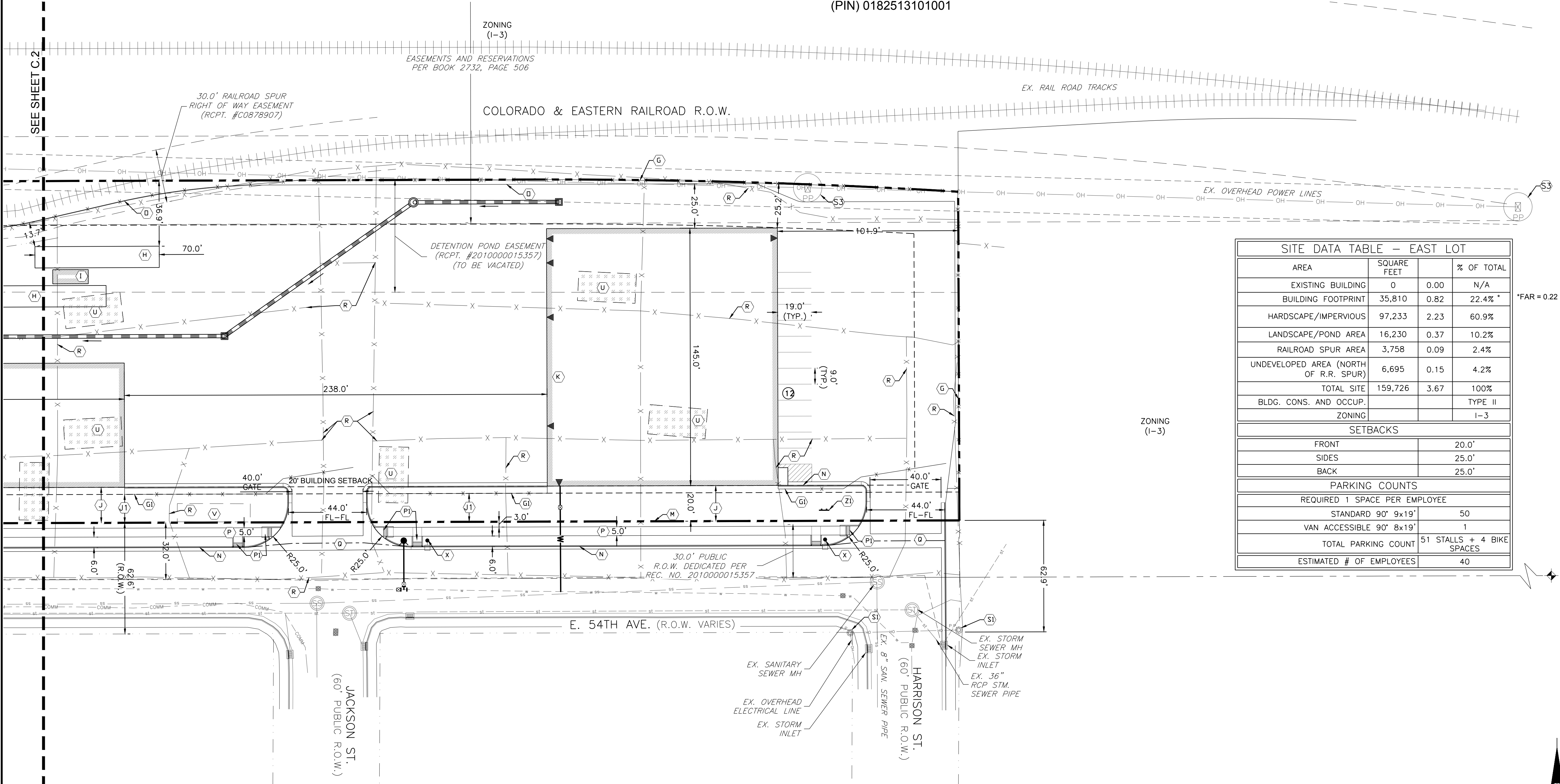
Job No.	RD19127
Date:	11/08/19
Drawn	NGE
Checked	CJD
Name	

## SITE PLAN (CENTER)

# C2

CONDITIONAL USE PERMIT PLAN  
PATH: P:\RD19127 5400 MONROE STREET (COMMERCE CITY)\ENGINEERING\4 DRAWINGS\PLANS\RD19127 - SITE.DWG, PLOT DATE: 8/31/2020 4:23:27 PM, BY: CONNOR YOUNG

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
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SITE DATA TABLE - EAST LOT			
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EXISTING BUILDING	0	0.00	N/A
BUILDING FOOTPRINT	35,810	0.82	22.4% *
HARDSCAPE/IMPERVIOUS	97,233	2.23	60.9%
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ZONING			I-3
SETBACKS			
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SIDES		25.0'	
BACK		25.0'	
PARKING COUNTS			
REQUIRED 1 SPACE PER EMPLOYEE			
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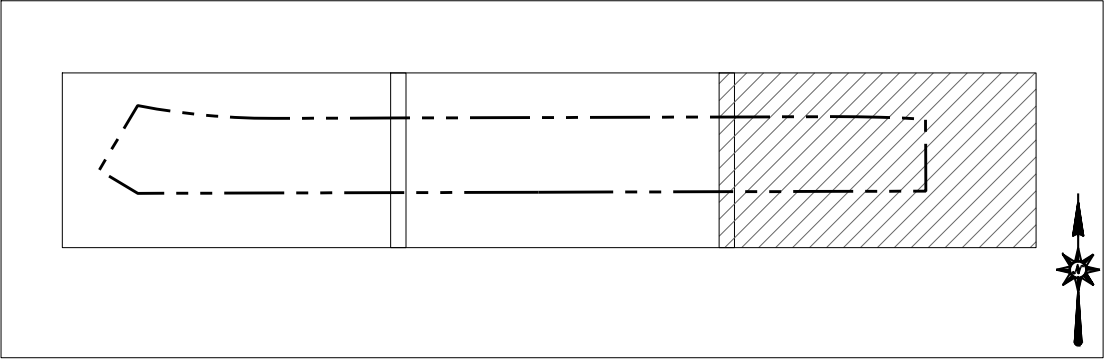
LINEWORK AND UTILITY LEGEND:

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	EXISTING EASEMENT/SETBACK
	EXISTING RIGHT-OF-WAY
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	PROPOSED WATERLINE
	PROPOSED RAIL ROAD TRACKS
	PROPOSED BUILDING
	EXISTING SANITARY SEWER
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	EXISTING FIBER OPTIC LINE
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	EXISTING OVERHEAD ELECTRIC LINE

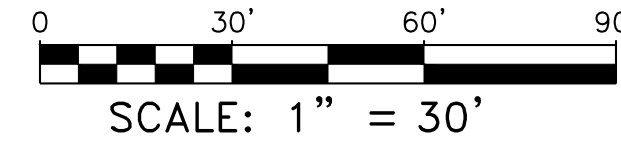
	EXISTING (UNDERGROUND) ELECTRIC LINE
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	EXISTING (UNDERGROUND) ELECTRIC LINE
	PROPOSED WATERLINE BEND *
	PROPOSED WATERLINE TEE/CROSS *
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KEYNOTE LEGEND (SITE FEATURES):

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	PROPOSED RET. WALL		PROPOSED VALLEY PAN PER COMMERCE CITY ENGINEERING CONSTRUCTION STANDARD DETAIL NO. 308-04)		EXISTING SWALE TO BE REMOVED
	PROPOSED OFFICE BUILDING		EXISTING FENCE TO BE REMOVED		EXISTING SHED TO BE REMOVED
	PROPOSED LOT SPLIT		EXISTING POWER POLE TO BE REMOVED AND REPLACED BY OTHERS		EXISTING RAIL CAR TO BE REMOVED
	PROPOSED FENCE				EXISTING FENCE TO REMAIN
	PROPOSED 8' TALL STEEL SCREEN FENCE ALONG R.O.W. TO BE STAGGERED 4" EVERY 24' LINEAR FEET				PROPOSED LIGHT
	PROPOSED PIT SCALE				PROPOSED BIKE RACK
	PROPOSED SCALE HOUSE				PROPOSED CURB CUT FOR DRAINAGE
	PROPOSED 20' SETBACK				PROPOSED MONUMENT SIGN
	PROPOSED 16' SETBACK				
	PROPOSED TRASH TRANSFER				
	PROPOSED PARKING				
	PROPOSED ADA PARKING				
	PROPOSED PROPERTY LINE				

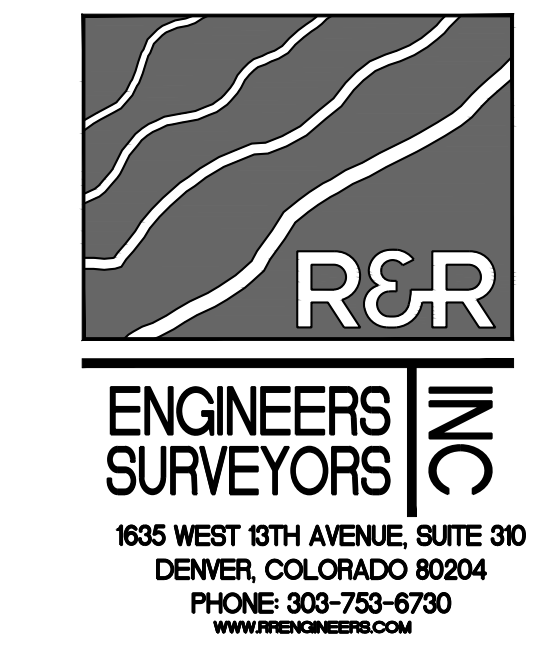


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(PIN) 0182513101001  
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET



NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 11/08/19  
Drawn: NGE  
Checked: CJD  
Name:

SITE PLAN  
(EAST)

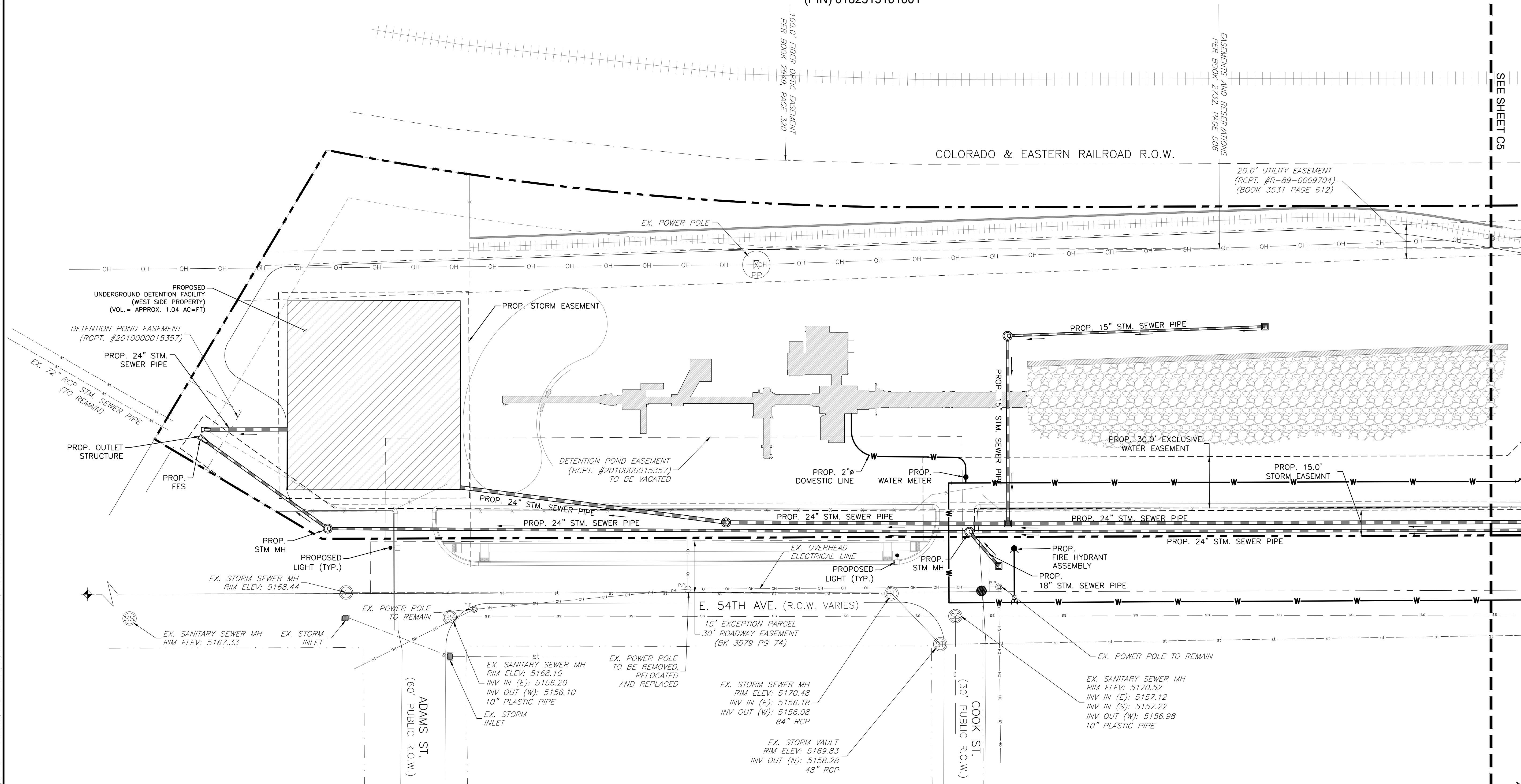
C3



## CONDITIONAL USE PERMIT PLAN

## 5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001

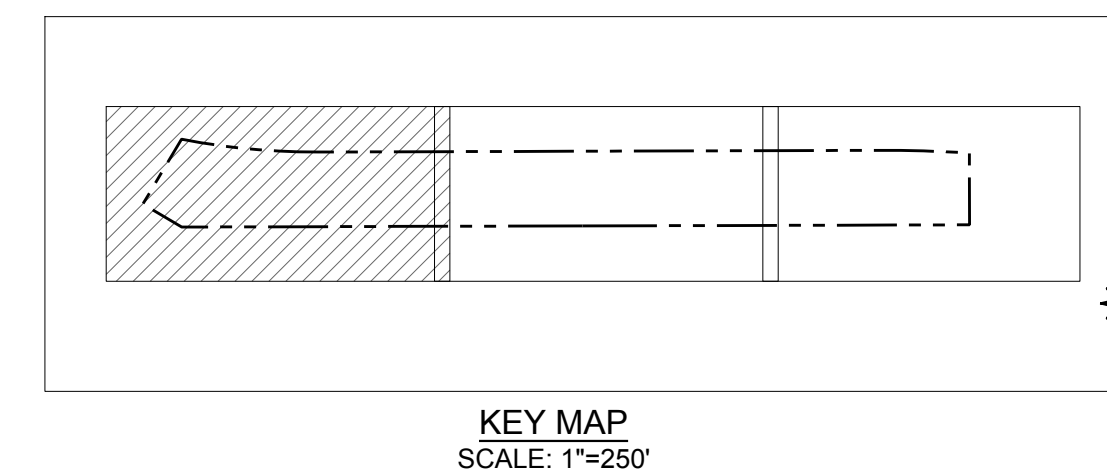


## LEGEND

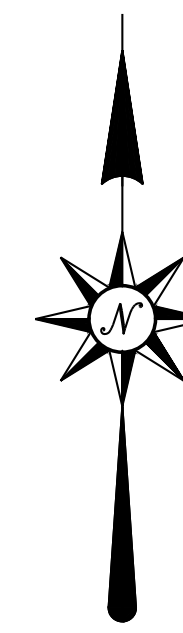
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	LOT LINE		EXISTING STORM SEWER
	PROPOSED EASEMENT/SETBACK		EXISTING WATERLINE
	EXISTING EASEMENT/SETBACK		EXISTING COMMUNICATIONS LINE
	EXISTING RIGHT-OF-WAY		EXISTING FIBER OPTIC LINE
	PROPOSED CURB		EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED FLOW LINE		EXISTING (UNDERGROUND) ELECTRIC LINE
	PROPOSED PAN/LIP		PROPOSED REDUCER *
	EXISTING CURB TO REMAIN		EXISTING/PROPOSED GATE VALVE *
	EXISTING FLOW LINE TO REMAIN		EXISTING/PROPOSED FIRE HYDRANT *
	EXISTING PAN/LIP TO REMAIN		EXISTING STORM MANHOLE *
	EXISTING/PROPOSED SIGN *		EXISTING STORM INLET *
	PROPOSED SANITARY SEWER		EXISTING SANITARY MANHOLE *
	PROPOSED STORM SEWER		EXISTING POWER POLE *
	PROPOSED WATERLINE		

## UTILITY NOTES:

- ALL PROPOSED ONSITE STORM PIPES SHALL BE HDPE.
- ALL UTILITIES THAT SERVICE THE PROPERTY EAST OF THE THE PROPOSED LOT LINES ARE SHADED BACK FOR REFERENCE.

KEY MAP  
SCALE: 1"=250'

0 30' 60' 90'  
SCALE: 1" = 30'



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 11/08/19  
Drawn: NGE  
Checked: CJD  
Name:

UTILITY PLAN  
(WEST)

No.

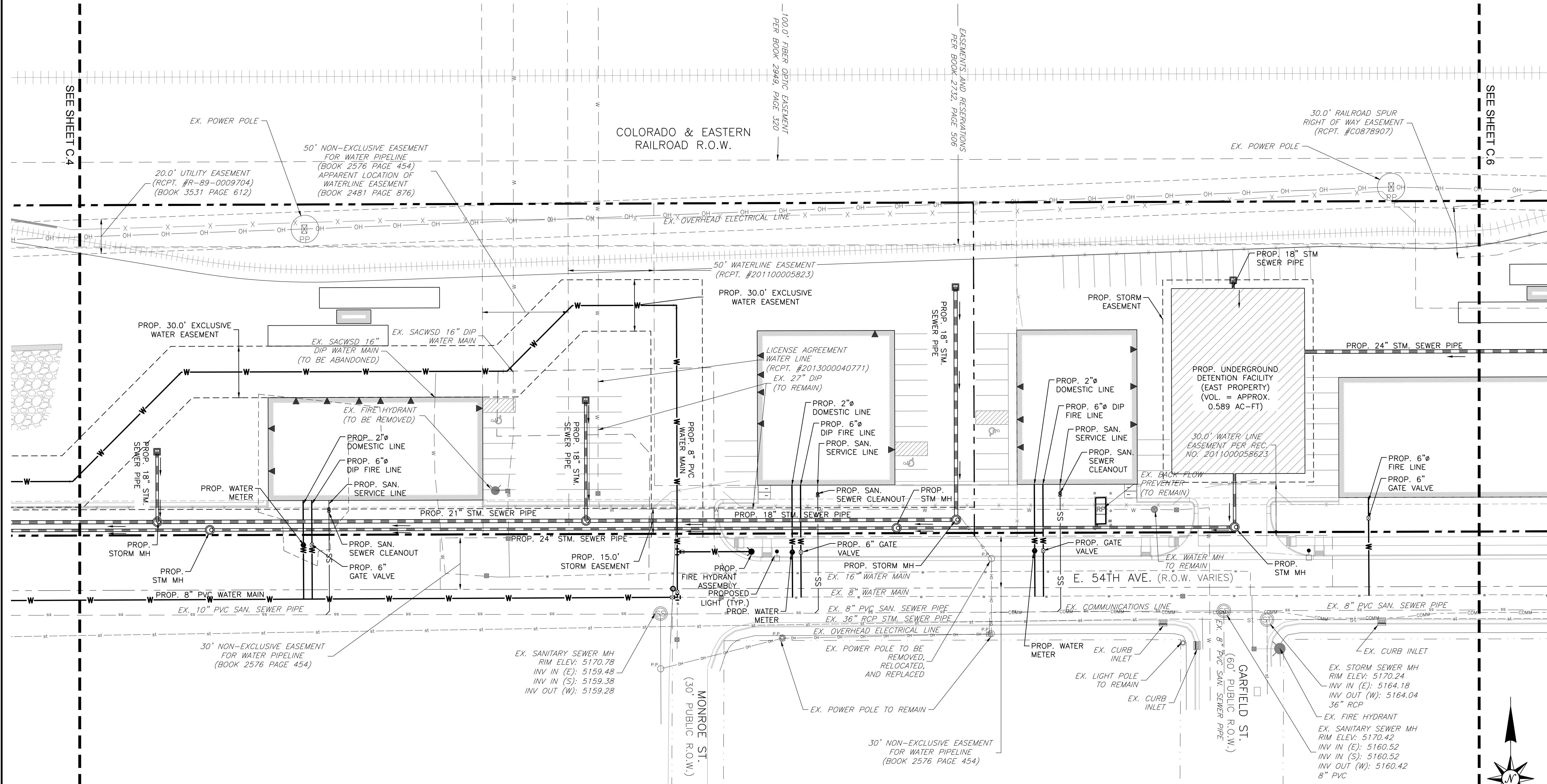
C4

(PIN) 0182513101001  
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

## CONDITIONAL USE PERMIT PLAN

## 5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001

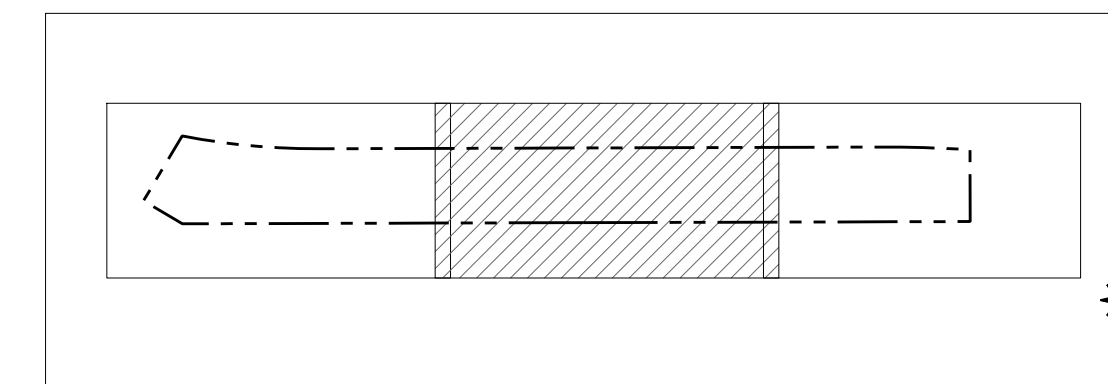


## LEGEND

	PROPERTY LINE		EXISTING SANITARY SEWER
	LOT LINE		EXISTING STORM SEWER
	PROPOSED EASEMENT/SETBACK		EXISTING WATERLINE
	EXISTING EASEMENT/SETBACK		EXISTING COMMUNICATIONS LINE
	EXISTING RIGHT-OF-WAY		EXISTING FIBER OPTIC LINE
	PROPOSED CURB		EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED FLOW LINE		EXISTING (UNDERGROUND) ELECTRIC LINE
	PROPOSED PAN/LIP		PROPOSED REDUCER *
	EXISTING CURB TO REMAIN		EXISTING/PROPOSED GATE VALVE *
	EXISTING FLOW LINE TO REMAIN		EXISTING/PROPOSED FIRE HYDRANT *
	EXISTING PAN/LIP TO REMAIN		EXISTING STORM MANHOLE *
	EXISTING/PROPOSED SIGN *		EXISTING STORM INLET *
	PROPOSED SANITARY SEWER		EXISTING SANITARY MANHOLE *
	PROPOSED STORM SEWER		EXISTING POWER POLE *
	PROPOSED WATERLINE		
	BUILDING OUTLINE		

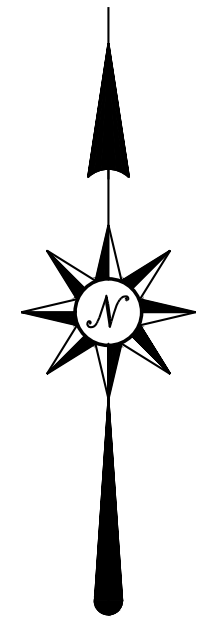
## UTILITY NOTES:

- ALL PROPOSED ONSITE STORM PIPES SHALL BE HDPE.
- ALL UTILITIES THAT SERVICE THE PROPERTY EAST OF THE PROPOSED LOT LINES ARE SHADED BACK FOR REFERENCE.



KEY MAP  
SCALE: 1"=250'

0 30' 60' 90'  
SCALE: 1" = 30'



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

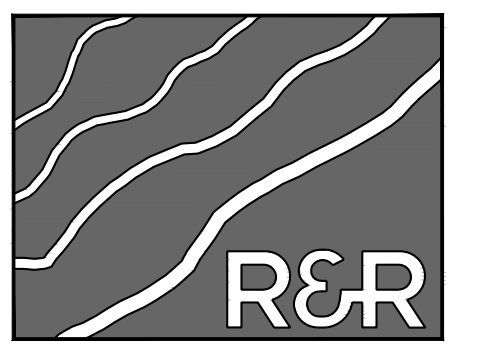
NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 11/08/19  
Drawn NGE  
Checked CJD  
Name

UTILITY PLAN  
(CENTER)

No.

C5

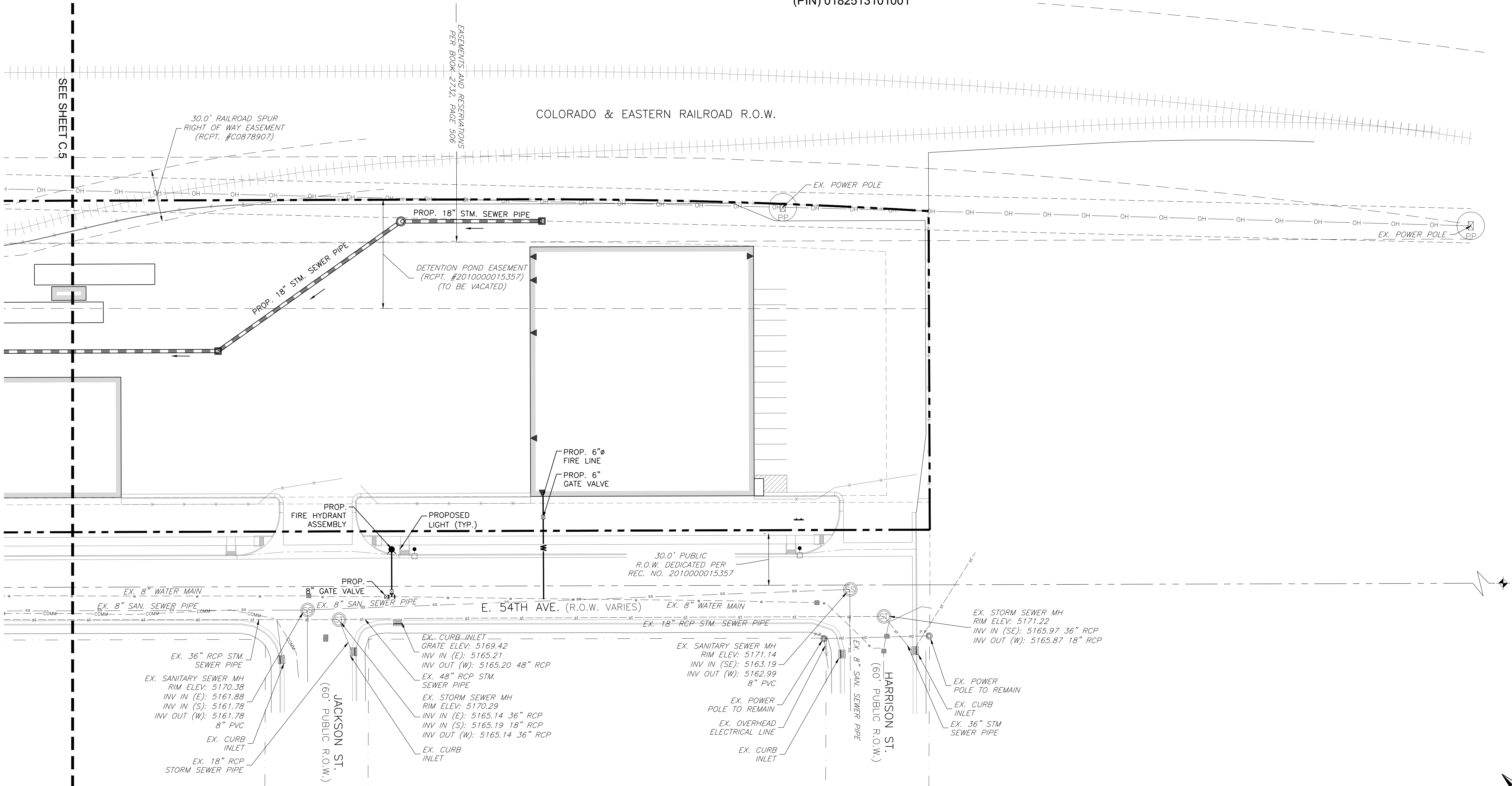


ENGINEERS  
SURVEYORS

1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
WWW.RENCONSTRUCT.COM



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001

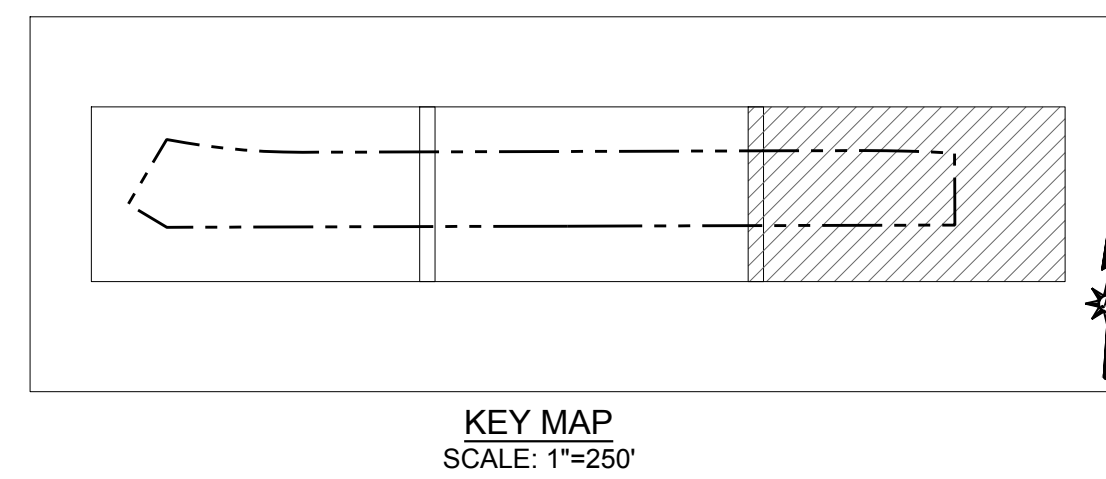


## LEGEND

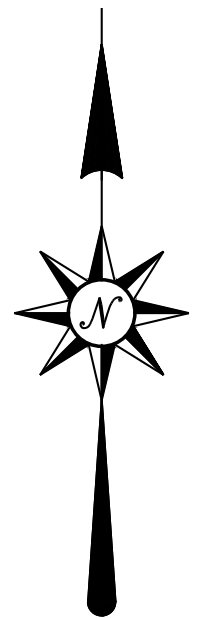
	PROPERTY LINE		EXISTING SANITARY SEWER
	LOT LINE		EXISTING STORM SEWER
	PROPOSED EASEMENT/SETBACK		EXISTING WATERLINE
	EXISTING EASEMENT/SETBACK		EXISTING COMMUNICATIONS LINE
	EXISTING RIGHT-OF-WAY		EXISTING FIBER OPTIC LINE
	PROPOSED CURB		EXISTING OVERHEAD ELECTRIC LINE
	PROPOSED FLOW LINE		EXISTING (UNDERGROUND) ELECTRIC LINE
	PROPOSED PAN/LIP		PROPOSED REDUCER *
	EXISTING CURB TO REMAIN		EXISTING/PROPOSED GATE VALVE *
	EXISTING FLOW LINE TO REMAIN		EXISTING/PROPOSED FIRE HYDRANT *
	EXISTING PAN/LIP TO REMAIN		EXISTING STORM MANHOLE *
	EXISTING/PROPOSED SIGN *		EXISTING STORM INLET *
	PROPOSED SANITARY SEWER		EXISTING SANITARY MANHOLE *
	PROPOSED STORM SEWER		EXISTING POWER POLE *
	PROPOSED WATERLINE		
	BUILDING OUTLINE		

## UTILITY NOTES:

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0 30' 60' 90'  
SCALE: 1" = 30'



## CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 11/08/19  
Drawn: NGE  
Checked: CJD  
Name:

## UTILITY PLAN (EAST)

No.

C6

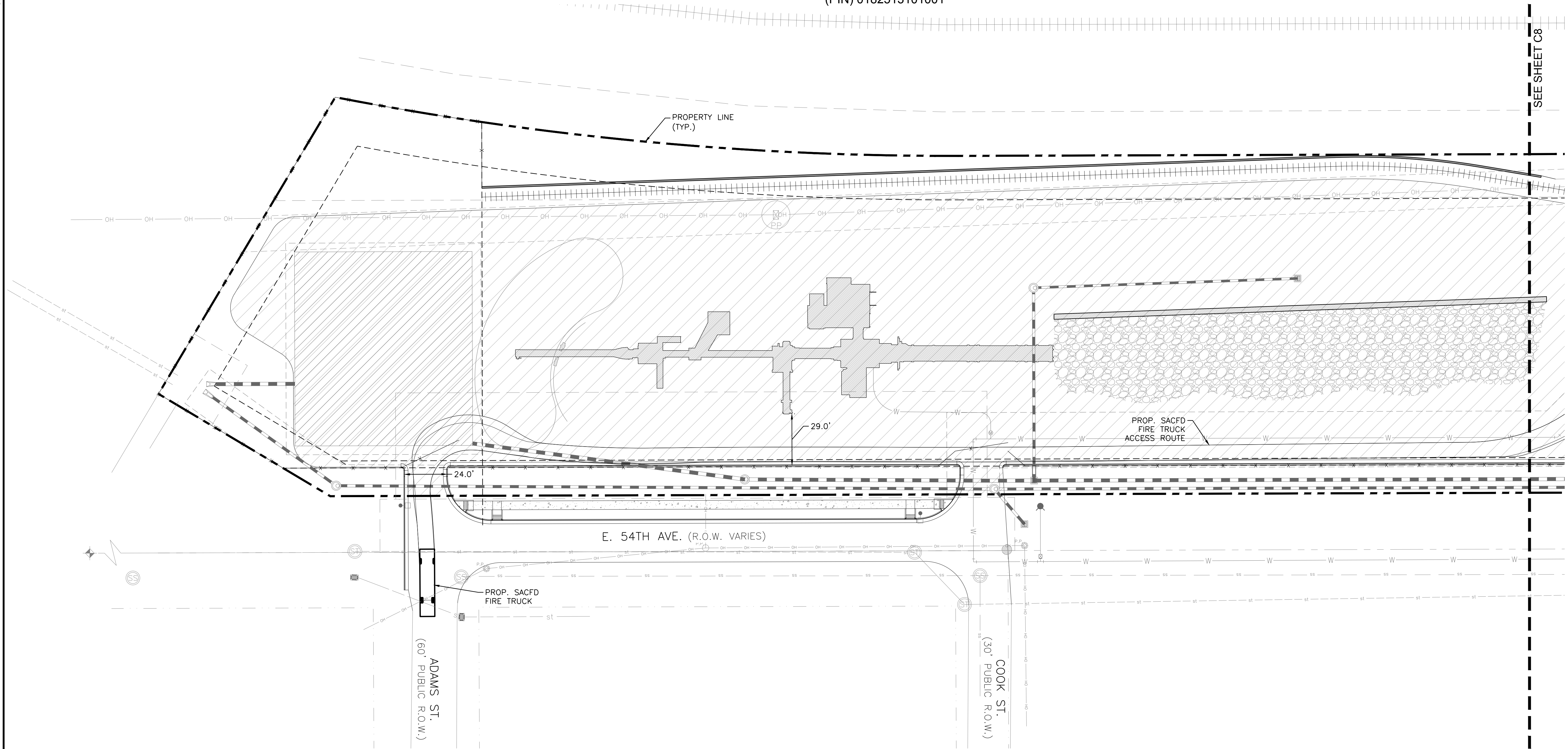
(PIN) 0182513101001  
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

**R&R**  
ENGINEERS  
SURVEYORS  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
WWW.RANDRENGINEERS.COM

CONDITIONAL USE PERMIT PLAN

PATH-P:\RD19127 5400 MONROE STREET (COMMERCE CITY)\ENGINEERING\4 DRAWINGS\PLANS\RD19127 - FIRE-ACCESS.DWG, PLOT DATE: 8/31/2020 4:24:05 PM, BY: CONNOR YOUNG

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001



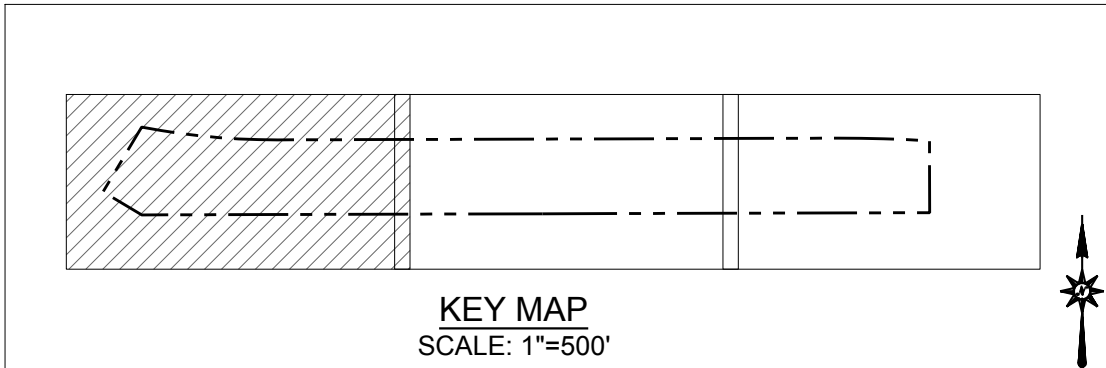
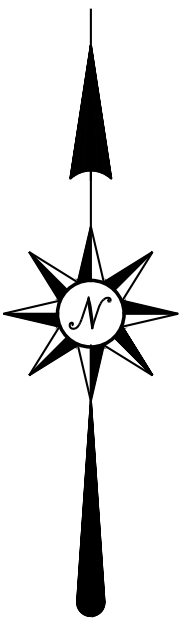
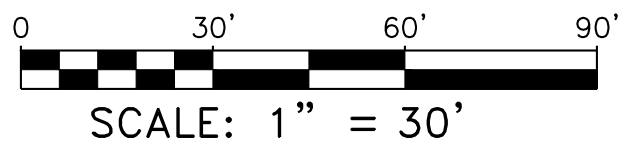
SEE SHEET C8

LINEWORK AND UTILITY LEGEND:

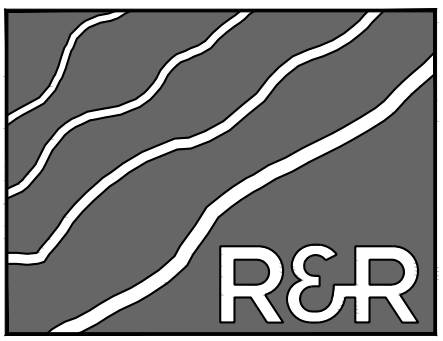
---	PROPERTY LINE
---	LOT LINE
---	PROPOSED EASEMENT/SETBACK
---	EXISTING EASEMENT/SETBACK
---	EXISTING RIGHT-OF-WAY
SS	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER
W	PROPOSED WATERLINE
	PROPOSED RAIL ROAD TRACKS
X	PROPOSED FENCE
ss	EXISTING SANITARY SEWER
st	EXISTING STORM SEWER
w	EXISTING WATERLINE
com	EXISTING COMMUNICATIONS LINE
f/o	EXISTING FIBER OPTIC LINE
oh	EXISTING OVERHEAD ELECTRIC LINE
e	EXISTING (UNDERGROUND) ELECTRIC LINE

oh	EXISTING OVERHEAD ELECTRIC LINE
e	EXISTING (UNDERGROUND) ELECTRIC LINE
+	PROPOSED WATERLINE BEND *
+	PROPOSED WATERLINE TEE/CROSS *
+	PROPOSED WATERLINE PLUG & CAP *
+	EXISTING/PROPOSED REDUCER *
+	EXISTING/PROPOSED GATE VALVE *
+	EXISTING/PROPOSED FIRE HYDRANT *
+	EXISTING/PROPOSED STORM MANHOLE *
+	EXISTING/PROPOSED STORM INLET *
+	PROPOSED STORM FLARED END SECTION *
+	EXISTING SANITARY MANHOLE *
+	PROPOSED CLEAN OUT *
+	EXISTING POWER POLE *

CRUSHED/SHREDDER RECYCLING PILE (MAX HEIGHT = 15')
PROPOSED PAVEMENT (EITHER STANDARD ASPHALT OR CONCRETE PAVEMENT)
PROPOSED CONCRETE PAVEMENT



(PIN) 0182513101001  
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ENGINEERS  
SURVEYORS  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
WWW.R&RENGINEERS.COM

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 11/08/19  
Drawn: NGE  
Checked: CJD  
Name:

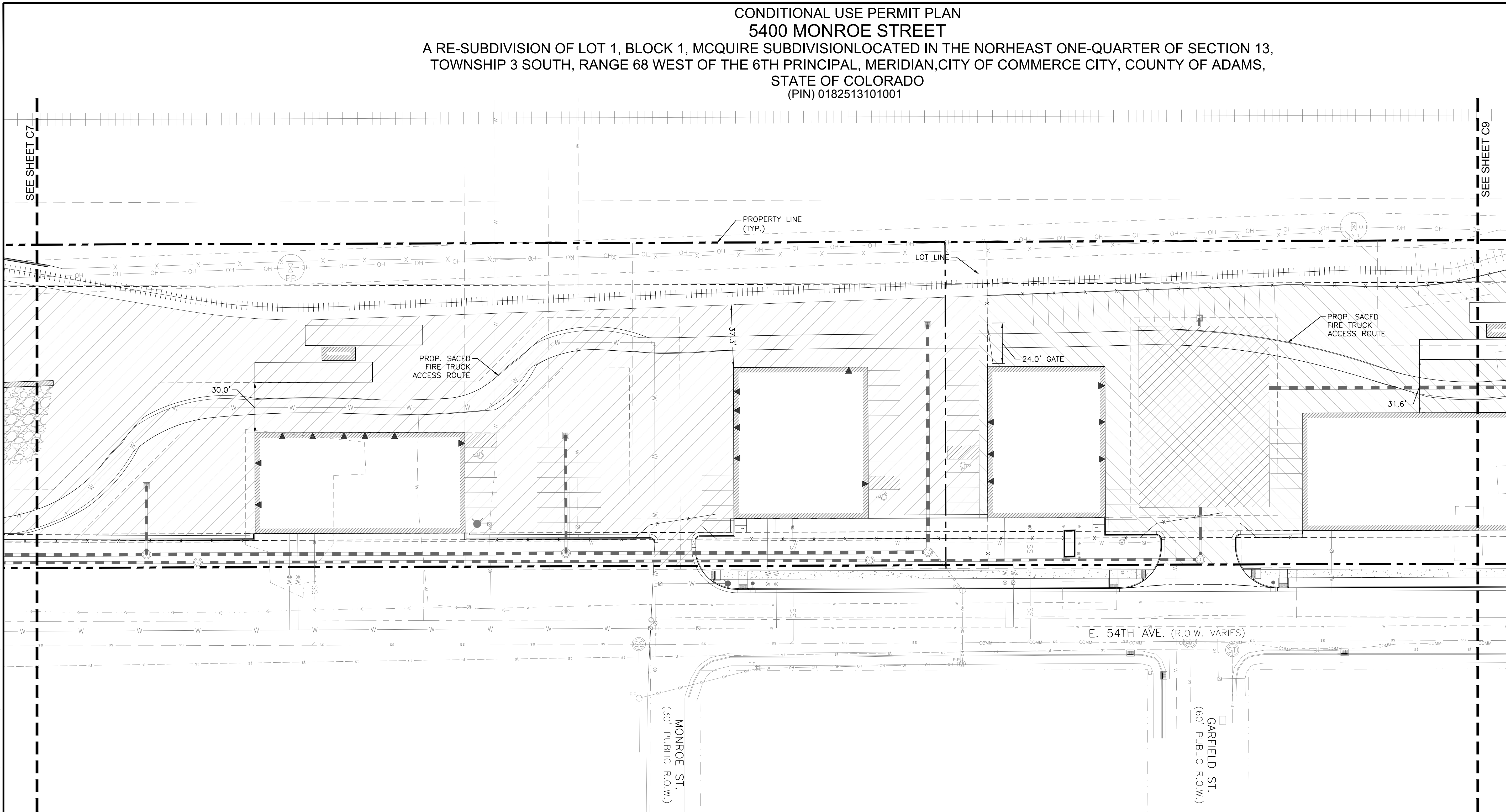
FIRE TRUCK  
ACCESS AND  
PAVEMENT PLAN  
(WEST)

No.

C7



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001

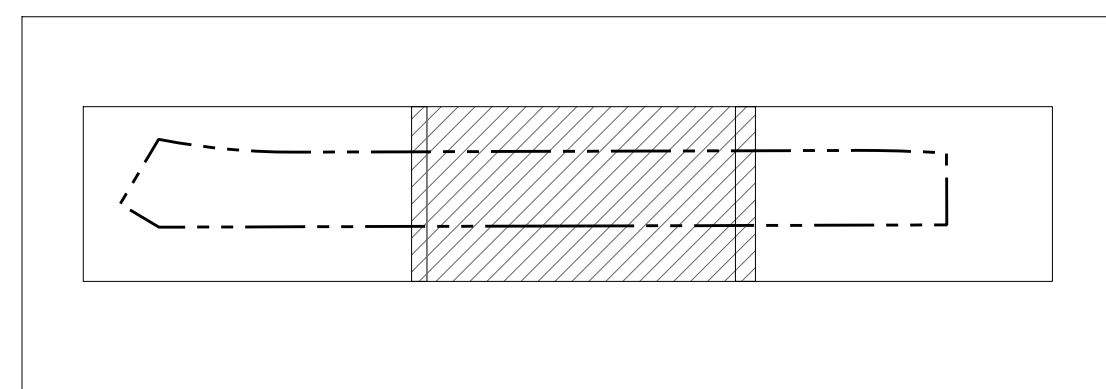
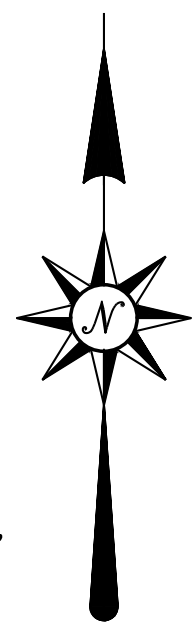
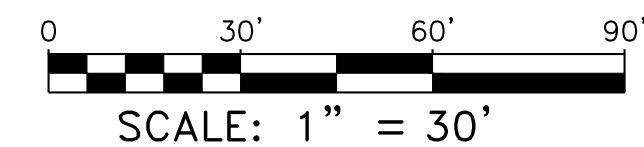


LINEWORK AND UTILITY LEGEND:

---	PROPERTY LINE
- - -	LOT LINE
- - - - -	PROPOSED EASEMENT/SETBACK
- - - - -	EXISTING EASEMENT/SETBACK
- - - - -	EXISTING RIGHT-OF-WAY
SS	PROPOSED SANITARY SEWER
W	PROPOSED STORM SEWER
W	PROPOSED WATERLINE
	PROPOSED RAIL ROAD TRACKS
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ss	EXISTING SANITARY SEWER
st	EXISTING STORM SEWER
w	EXISTING WATERLINE
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oh	EXISTING OVERHEAD ELECTRIC LINE
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oh	EXISTING OVERHEAD ELECTRIC LINE
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+	PROPOSED WATERLINE BEND *
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CRUSHED/SHREDDER RECYCLING PILE (MAX HEIGHT = 15')
PROPOSED PAVEMENT (EITHER STANDARD ASPHALT OR CONCRETE PAVEMENT)
PROPOSED CONCRETE PAVEMENT



KEY MAP  
SCALE: 1"=500'



(PIN) 0182513101001  
CITY STAFF CERTIFICATE:  
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THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

**R&R**  
**ENGINEERS**  
**SURVEYORS**  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
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CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

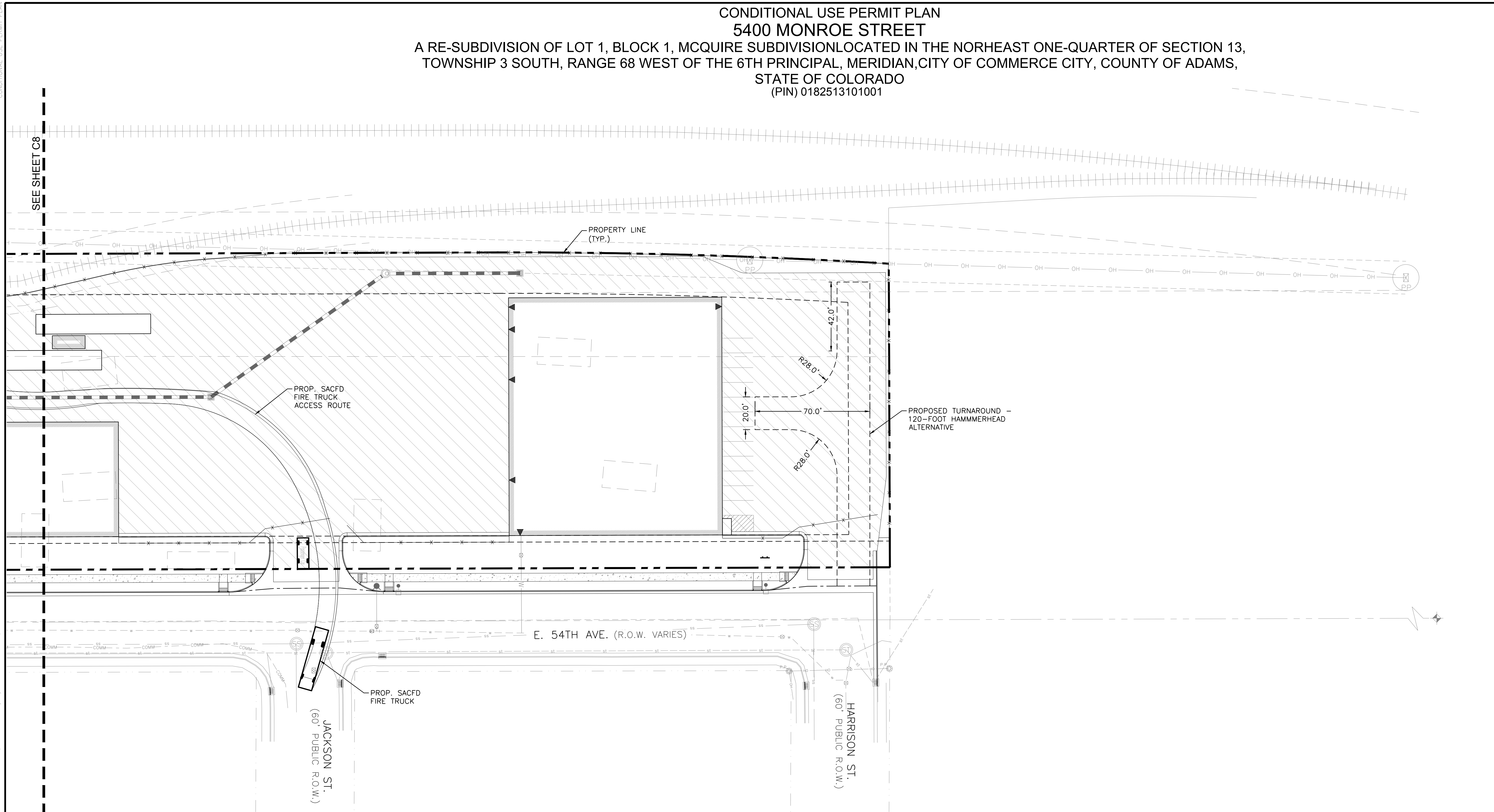
Job No. RD19127  
Date: 11/08/19  
Drawn: NGE  
Checked: CJD  
Name:

**FIRE TRUCK  
ACCESS AND  
PAVEMENT PLAN  
(CENTER)**

No.

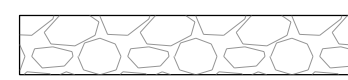
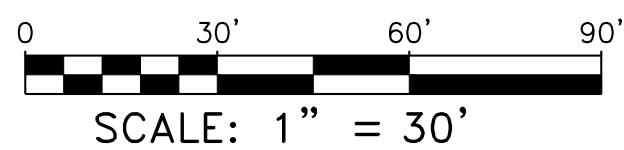
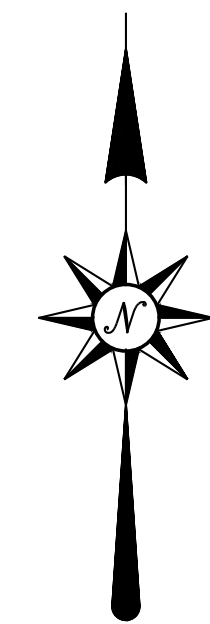
**C8**

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
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(PIN) 0182513101001

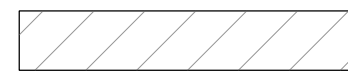


LINEWORK AND UTILITY LEGEND:

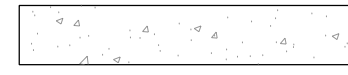
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	LOT LINE		EXISTING (UNDERGROUND) ELECTRIC LINE
	PROPOSED EASEMENT/SETBACK		PROPOSED WATERLINE BEND *
	EXISTING EASEMENT/SETBACK		PROPOSED WATERLINE TEE/CROSS *
	EXISTING RIGHT-OF-WAY		PROPOSED WATERLINE PLUG & CAP *
	PROPOSED SANITARY SEWER		EXISTING/PROPOSED REDUCER *
	PROPOSED STORM SEWER		EXISTING/PROPOSED GATE VALVE *
	PROPOSED WATERLINE		EXISTING/PROPOSED FIRE HYDRANT *
	PROPOSED RAIL ROAD TRACKS		EXISTING/PROPOSED STORM MANHOLE *
	PROPOSED FENCE		EXISTING/PROPOSED STORM INLET *
	EXISTING SANITARY SEWER		PROPOSED STORM FLARED END SECTION *
	EXISTING STORM SEWER		EXISTING SANITARY MANHOLE *
	EXISTING WATERLINE		PROPOSED CLEAN OUT *
	EXISTING COMMUNICATIONS LINE		EXISTING POWER POLE *
	EXISTING FIBER OPTIC LINE		
	EXISTING OVERHEAD ELECTRIC LINE		
	EXISTING (UNDERGROUND) ELECTRIC LINE		



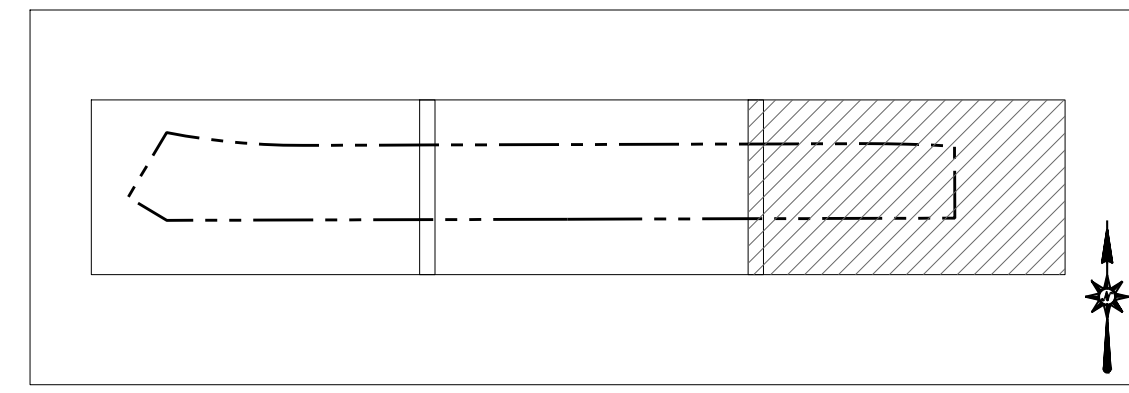
CRUSHED/SHREDDER RECYCLING PILE  
(MAX HEIGHT = 15')



PROPOSED PAVEMENT (EITHER STANDARD ASPHALT OR CONCRETE PAVEMENT)



PROPOSED CONCRETE PAVEMENT



KEY MAP  
SCALE: 1"=500'

(PIN) 0182513101001  
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

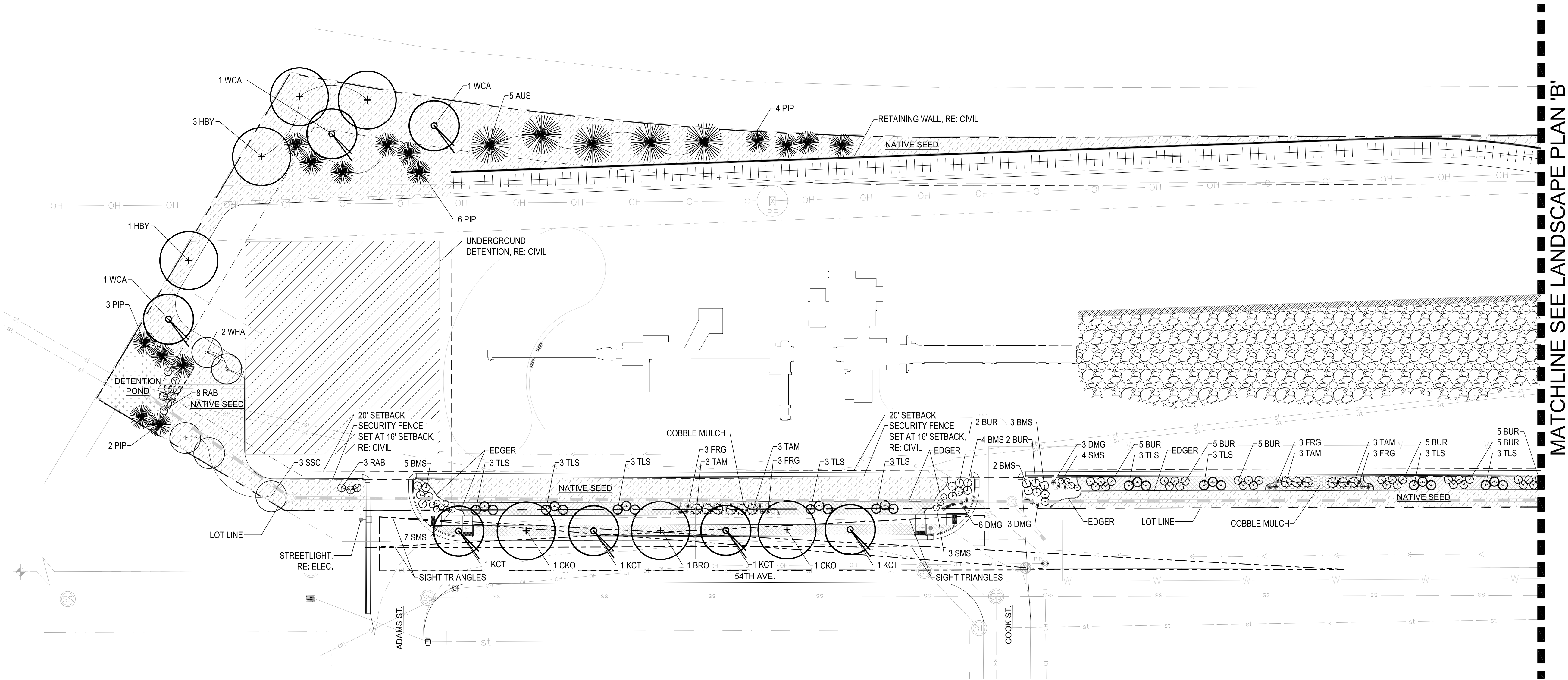
Job No.	RD19127
Date:	11/08/19
Drawn	NGE
Checked	CJD
Name	
FIRE TRUCK ACCESS AND PAVEMENT PLAN (EAST)	
No.	C9



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO

Date	Submission / Revision
11/08/19	CUP 1ST SUBMITTAL
05/15/20	CUP 2ND SUBMITTAL



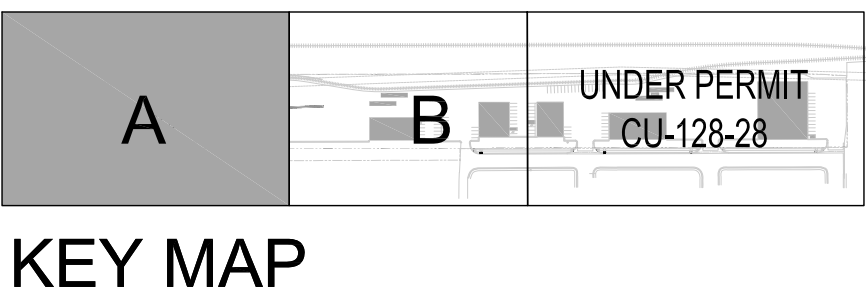
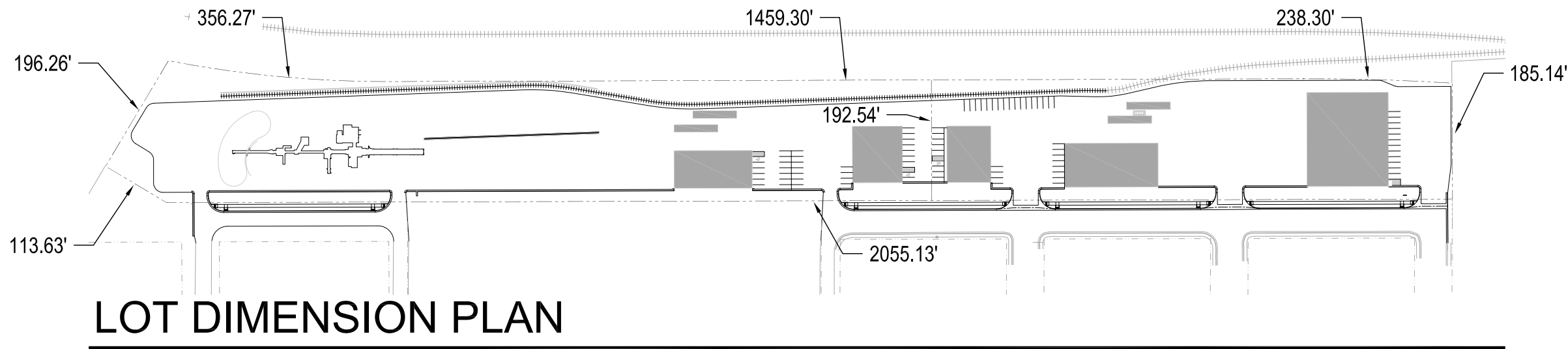
LANDSCAPE PLAN 'A'

LEGEND

- DECIDUOUS TREES
- ORNAMENTAL TREES
- EVERGREEN TREE
- SHRUBS
- ORNAMENTAL GRASSES

- Ground Covers**
- DETENTION GRASS SEED  
NOTE: EROSION CONTROL BLANKET TO BE INSTALLED WHERE APPLICABLE
- RED TOP 2 0.1 LBS/ACRE  
SWITCHGRASS (PATHFINDER) 2.2 LBS/ACRE  
WESTERN WHEATGRASS (ARRIBA) 7.9 LBS/ACRE  
INDIAN SALTGRASS 1.0 LBS/ACRE  
WOOLY SEDGE 0.1 LBS/ACRE  
BAL TIC RUSH 0.1 LBS/ACRE  
PRAIRIE CORDGRASS 1.0 LBS/ACRE  
ANNUAL RYE 10 LBS/ACRE  
NUTTALL'S SUNFLOWER 0.1 LBS/ACRE  
WILD BERGAMOT 0.12 LBS/ACRE  
YARROW 0.06 LBS/ACRE  
BLUE VERNAIN 0.12 LBS/ACRE
- NATIVE SEED W/ EROSION CONTROL BLANKET  
NOTE: EROSION CONTROL BLANKET TO BE INSTALLED WHERE APPLICABLE
- MIX RATIO: SEEDING RATE - 20lbs/acre  
10% ALKALI SACATON - Sporobolus airoides  
10% INLAND SALTGRASS - Distichlis spicata  
10% NUTTALL'S ALKALIGRASS - Puccinellia nuttalliana  
10% PRAIRIE CORDGRASS - Spartina pectinata  
10% SLENDER WHEATGRASS - Elymus trachycaulus spp.  
10% WESTERN WHEATGRASS - Pascopyrum smithii  
10% FOWL MANNAGRASS - Glyceria striata  
10% HARDSTEM BULRUSH - Scirpus acutus  
10% BAL TIC RUSH - Juncus balticus  
10% CREEPING SPIKERUSH - Eleocharis palustris

- HARDWOOD MULCH
- 1 1/2" ROCK MULCH
- 3"- 6" DIA. ROUND COBBLE
- STEEL EDGING WITH PROTECTIVE CAP
- SIGHT DISTANCE TRIANGLE



LANDSCAPE ARCHITECT

**STACK Lot**

[landscape architecture] [planning] [entitlements] [urban design]

5639 south curtice street  
littleton, colorado 80120  
303.883.2755  
stacklot.com

CITY STAFF CERTIFICATE:  
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

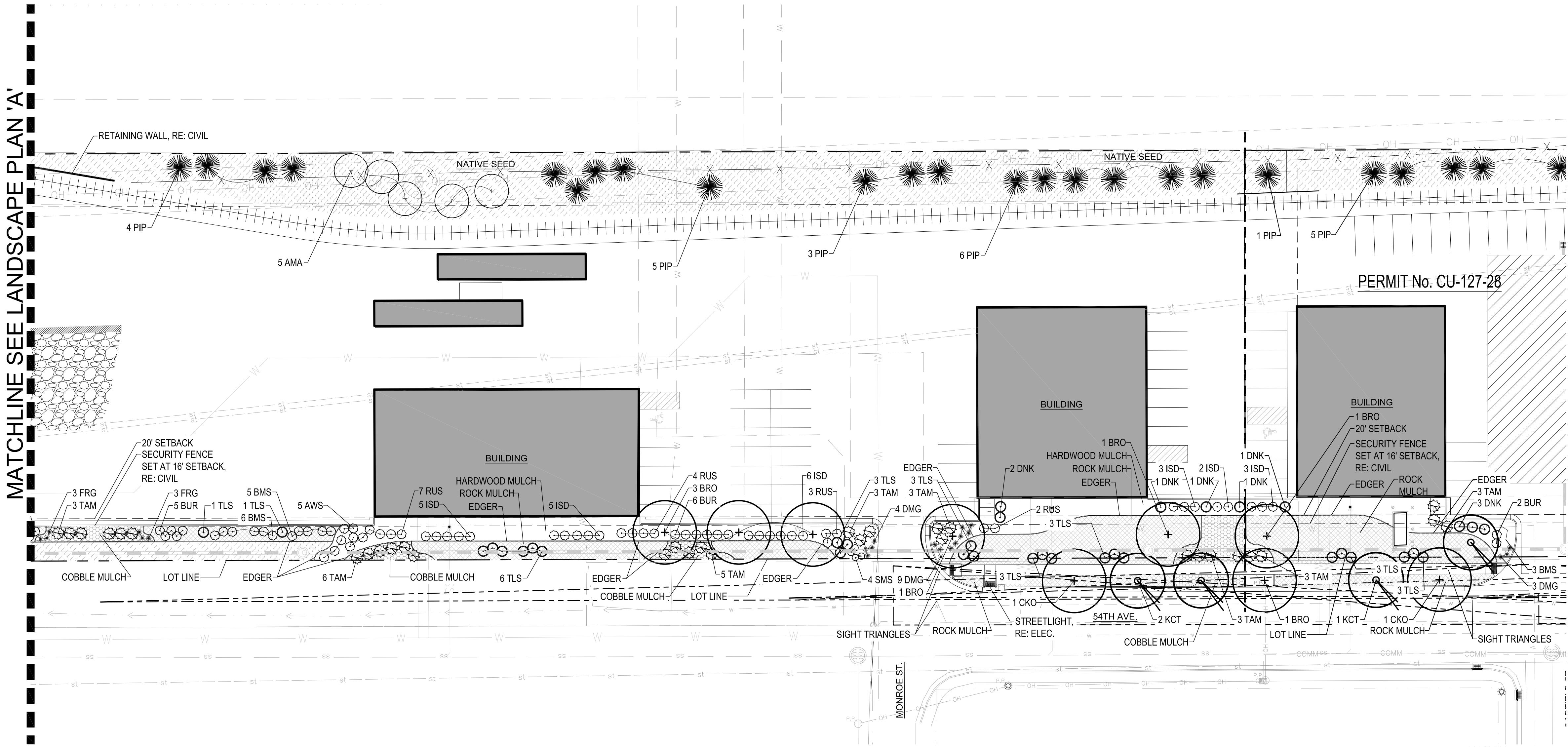
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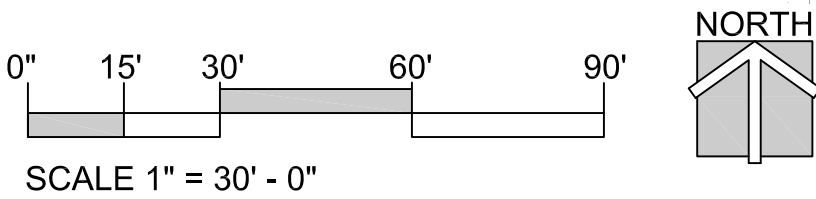
CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

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TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO

Date	Submission / Revision
11/08/19	CUP 1ST SUBMITTAL
05/15/20	CUP 2ND SUBMITTAL



LANDSCAPE PLAN 'B'



LEGEND

DECIDUOUS TREES

ORNAMENTAL TREES

EVERGREEN TREE

SHRUBS

ORNAMENTAL GRASSES

**Ground Covers**

DETENTION GRASS SEED  
NOTE: EROSION CONTROL BLANKET TO BE INSTALLED WHERE APPLICABLE

REDTOP 2	0.1 LBS/ACRE
SWITCHGRASS (PATHFINDER)	2.2 LBS/ACRE
WESTERN WHEATGRASS (ARRIBA)	7.9 LBS/ACRE
INDIAN SALTGRASS	1.0 LBS/ACRE
WOOLY SEDGE	0.1 LBS/ACRE
BALTIC RUSH	0.1 LBS/ACRE
PRAIRIE CORDGRASS	1.0 LBS/ACRE
ANNUAL RYE	10 LBS/ACRE
NUTTALL'S SUNFLOWER	0.1 LBS/ACRE
WILD BERGAMOT	0.12 LBS/ACRE
YARROW	0.06 LBS/ACRE
BLUE VERAIN	0.12 LBS/ACRE

NATIVE SEED W/ EROSION CONTROL BLANKET  
NOTE: EROSION CONTROL BLANKET TO BE INSTALLED WHERE APPLICABLE

MIX RATIO: SEEDING RATE - 20lbs/acre  
10% ALKALI SACATON - Sporobolus airoides  
10% INLAND SALTGRASS - Distichlis spicata  
10% NUTTALL'S ALKALIGRASS - Puccinellia nuttalliana  
10% PRAIRIE CORDGRASS - Spartina pectinata  
10% SLENDER WHEATGRASS - Elymus trachycaulus spp.  
10% WESTERN WHEATGRASS - Pascopyrum smithii  
10% FOWL MANNAGRASS - Glyceria striata  
10% HARDSTEM BULRUSH - Scirpus acutus  
10% BALTIC RUSH - Juncus balticus  
10% CREEPING SPIKERUSH - Eleocharis palustris

NON-HATCHED PLANTING AREAS

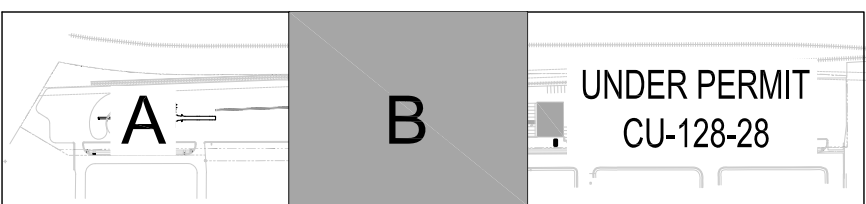
HARDWOOD MULCH

1 1/2" ROCK MULCH

3"- 6" DIA. ROUND COBBLE

STEEL EDGING WITH PROTECTIVE CAP

SIGHT DISTANCE TRIANGLE



KEY MAP

LANDSCAPE ARCHITECT

**STACKLot**

[landscape architecture] [planning] [entitlements] [urban design]

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CONDITIONAL USE PERMIT PLAN

5400 MONROE STREET

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TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN,CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO

Date	Submission / Revision
11/08/19	CUP 1ST SUBMITTAL
05/15/20	CUP 2ND SUBMITTAL

QUAN. SYM. COMMON/BOTANICAL NAME INSTALLED SIZE COND. WATER NEEDS

DECIDUOUS TREES

4	kct	KENTUCKY COFFEE TREE Gymnocladus dioicus	2" CAL. SINGLE TRUNK	B & B	xeric
3	wca	WESTERN CATALPA Catalpa speciosa	2" CAL. SINGLE TRUNK	B & B	xeric
4	hby	COMMON HACKBERRY Celtis Occidentalis	2" CAL. SINGLE TRUNK	B & B	xeric
6	bro	BURR OAK Quercus macrocarpa	2" CAL. SINGLE TRUNK	B & B	xeric
2	cko	CHINKAPIN OAK Quercus muehlenbergii	2" CAL. SINGLE TRUNK	B & B	MODERATE

ORNAMENTAL TREES

3	ssc	SPRING SNOW CRABAPPLE Malus sp. 'Spring Snow'	1 1/2" CAL. SINGLE TRUNK	B & B	LOW
5	ama	AMUR MAPLE Amur Maackia	1 1/2 " CAL. SINGLE TRUNK	B & B	LOW - MEDIUM
2	wha	WASHINGTON HAWTHORN 'Winter King' Crataegus viridis 'Winter King'	1 1/2" CAL. SINGLE TRUNK	B & B	MEDIUM

EVERGREEN TREES

34	plp	PINYON PINE Pinus cembroides edulis	6' HT.	B & B	xeric
5	aus	AUSTRIAN PINE Pinus nigra	6' HT.	B & B	LOW - MEDIUM

DECIDUOUS SHRUBS

47	tlis	THREE LEAF SUMAC Rhus trilobata	5 GAL.	CONT.	XERIC
16	rus	RUSSIAN SAGE Perovskia artiplicifolia	5 GAL.	CONT.	XERIC
11	rab	RABBITBRUSH Chrysothamnus sp.	5 GAL.	CONT.	XERIC
18	sms	SNOWMOUND SPIREA Spiraea nipponica 'Snowmound'	5 GAL.	CONT.	LOW
45	bur	BURNING BUSH 'Dwarf Nana' Eounymus alata 'Dwarf Nana'	5 GAL.	CONT.	MEDIUM
5	dnk	DWARF NINEBARK Physocarpus opulifolius 'Nanus'	5 GAL.	CONT.	LOW
25	bms	BLUE MIST SPIREA Caryopteris x clandonensis	5 GAL.	CONT.	MEDIUM
13	isd	ISANTI DOGWOOD Cornus sericea 'Isanti'	5 GAL.	CONT.	LOW
5	aws	ANTHONY WATERER SPIREA Spirea japonica 'Anthony Waterer'	5 GAL.	CONT.	LOW

EVERGREEN SHRUBS

41	tam	TAMMY JUNIPER Juniperus sabina 'Tamariscifolia'	5 GAL.	CONT.	LOW
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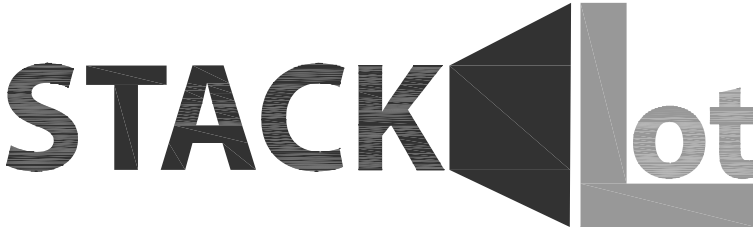
ORNAMENTAL GRASSES

42	frg	KARL FOERSTER FEATHER REED Calamagrostis acuti. 'Karl Foerster'	1 GAL.	CONT.	LOW
25	dmg	DWARF MAIDEN GRASS Miscanthus sinensis 'Yaku Jima'	1 GAL.	CONT.	LOW

LANDSCAPE CALCULATIONS

SITE AREA: 228,226 SF (FULL PHASE BUILDOUT: 413,716 SF/9.50 AC)
PARKING LOT
REQUIRED TREES (1/30 LF):195 ft. / 30 = 6 trees
REQUIRED SHRUBS (5/30 LF): 195 ft. / 30(5) = 32 shrubs
PROVIDED TREES: 6
PROVIDED SHRUBS: 37
STREET TREES
E. 54TH AVE - 368.00 FEET
REQUIRED TREES (1/40 LF): 386 ft./ 40 = 10 trees
PROVIDED TREES: 11
DETENTION AREAS: 1,388SF.
DETENTION PERIMETER(S): 140 LF.
REQUIRED TREES (1/50 LF): 3
REQUIRED SHRUBS (10/50 LF):28 (1 TREE = 10 SHRUBS)
PROVIDED TREES: 5
PROVIDED SHRUBS: 8+(2 TREES=20) = 28
ENTIRE YARD - 69,042 SF.
69,042 (-) 1,388 = 67,654 SF.
REQUIRED TREES (1/1200 SF): 57
REQUIRED SHRUBS (1/300 SF): 226
OVERALL PROVIDED TREES: 60
OVERALL PROVIDED SHRUBS: 229
LIVE PLANT MATERIAL:
REQUIRED LIVE PLANT AREA (75% LANDSCAPE AREA): 50,741 SF.
PROVIDED LIVE PLANT AREA: 76%

LANDSCAPE ARCHITECT



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L3

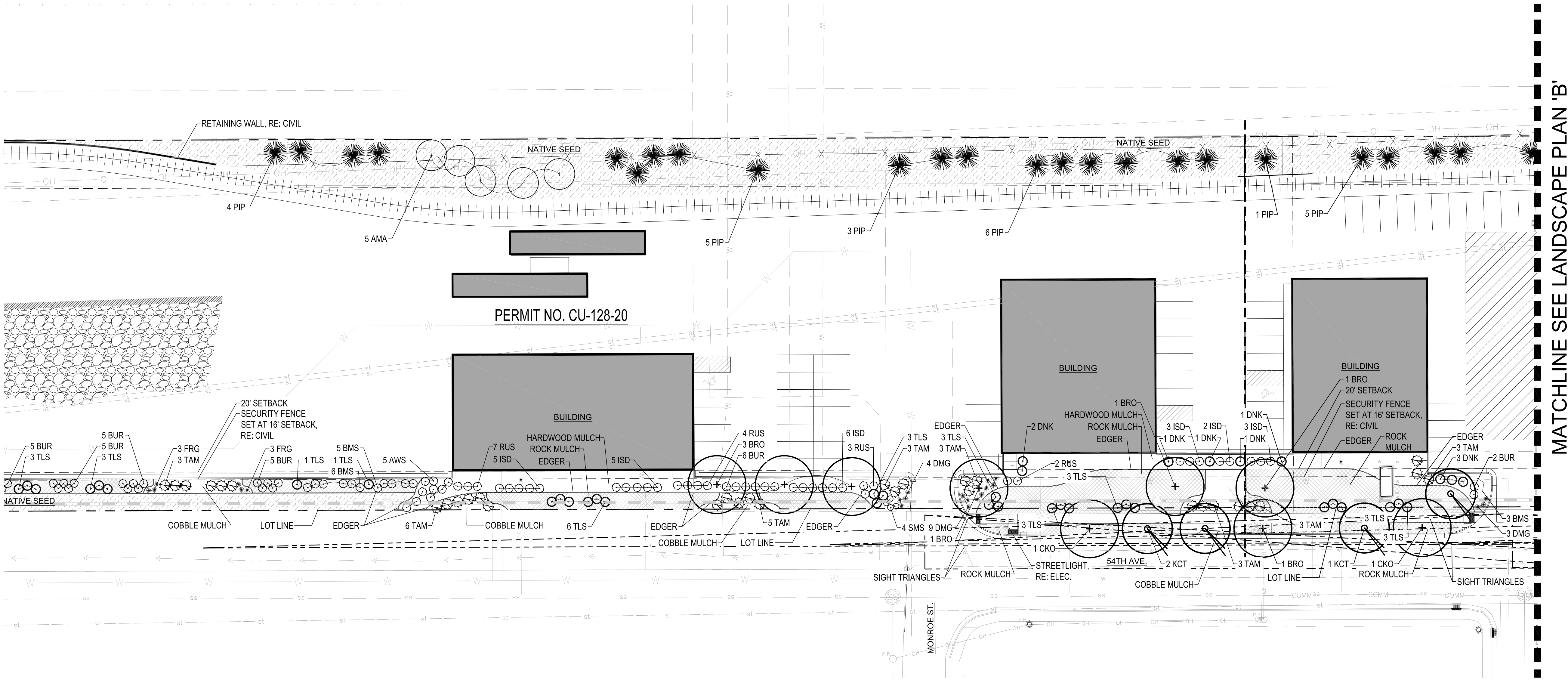
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DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

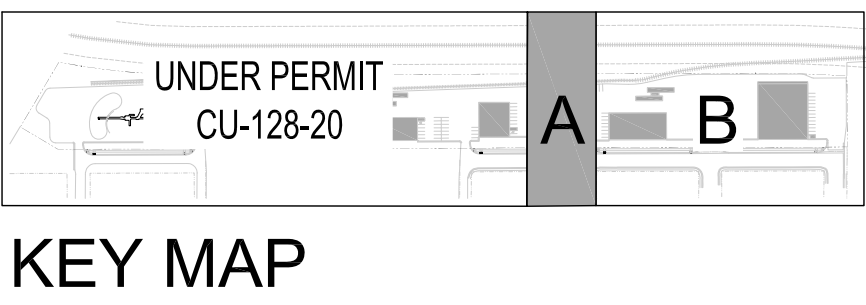
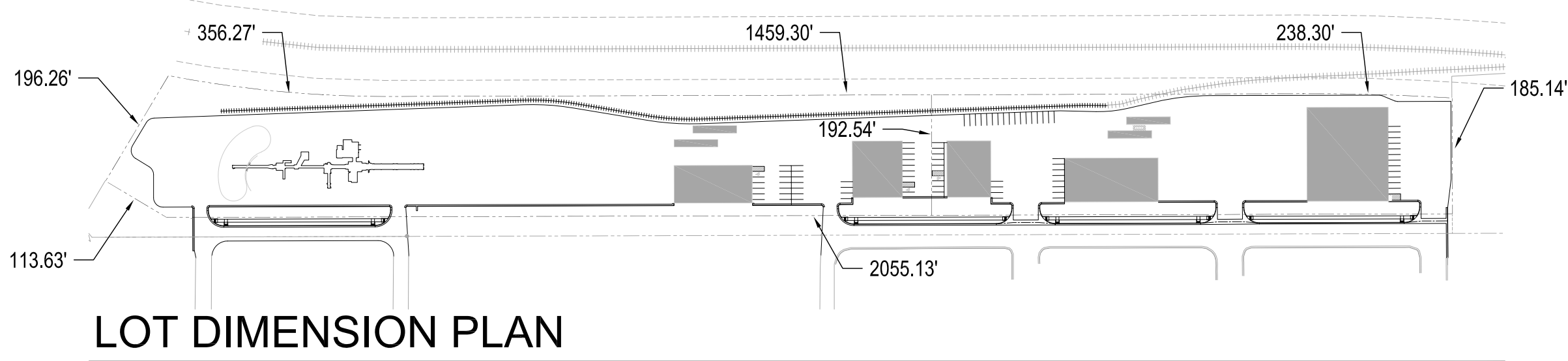
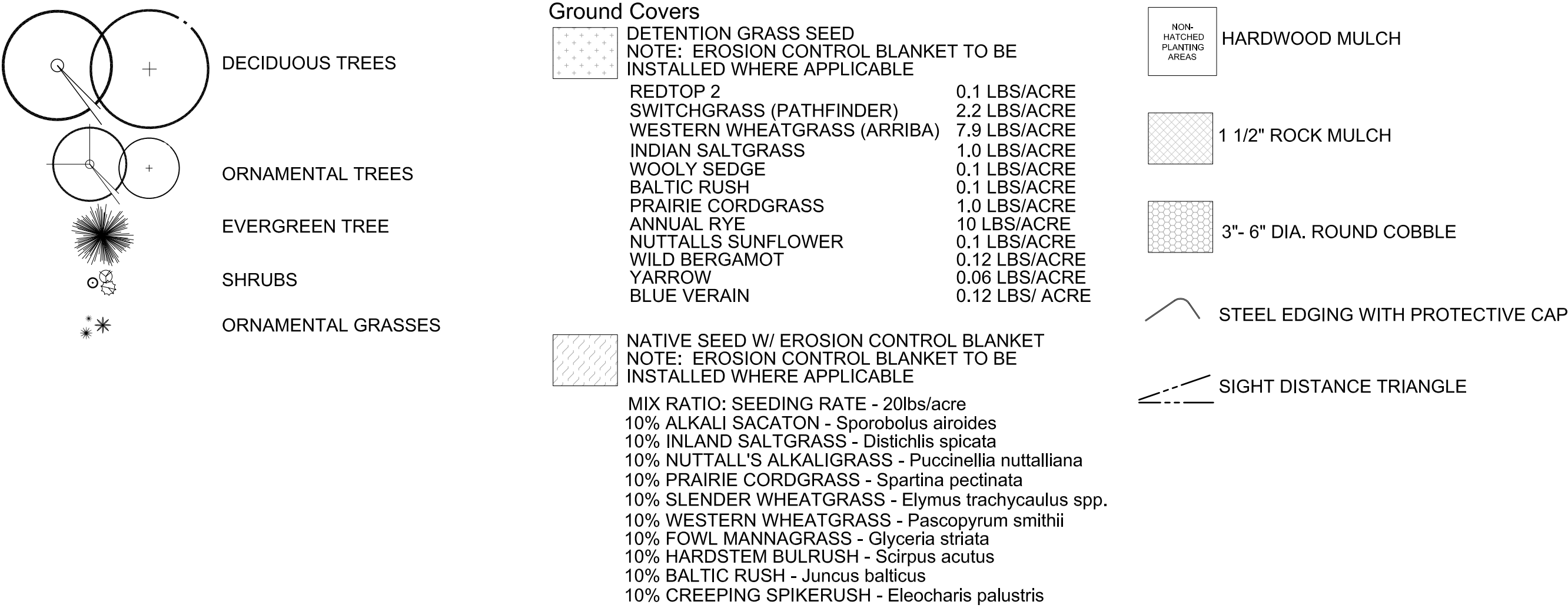
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11/08/20	CUP 1ST SUBMITTAL
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LANDSCAPE PLAN 'A'

LEGEND



LANDSCAPE ARCHITECT

**STACK**Lot

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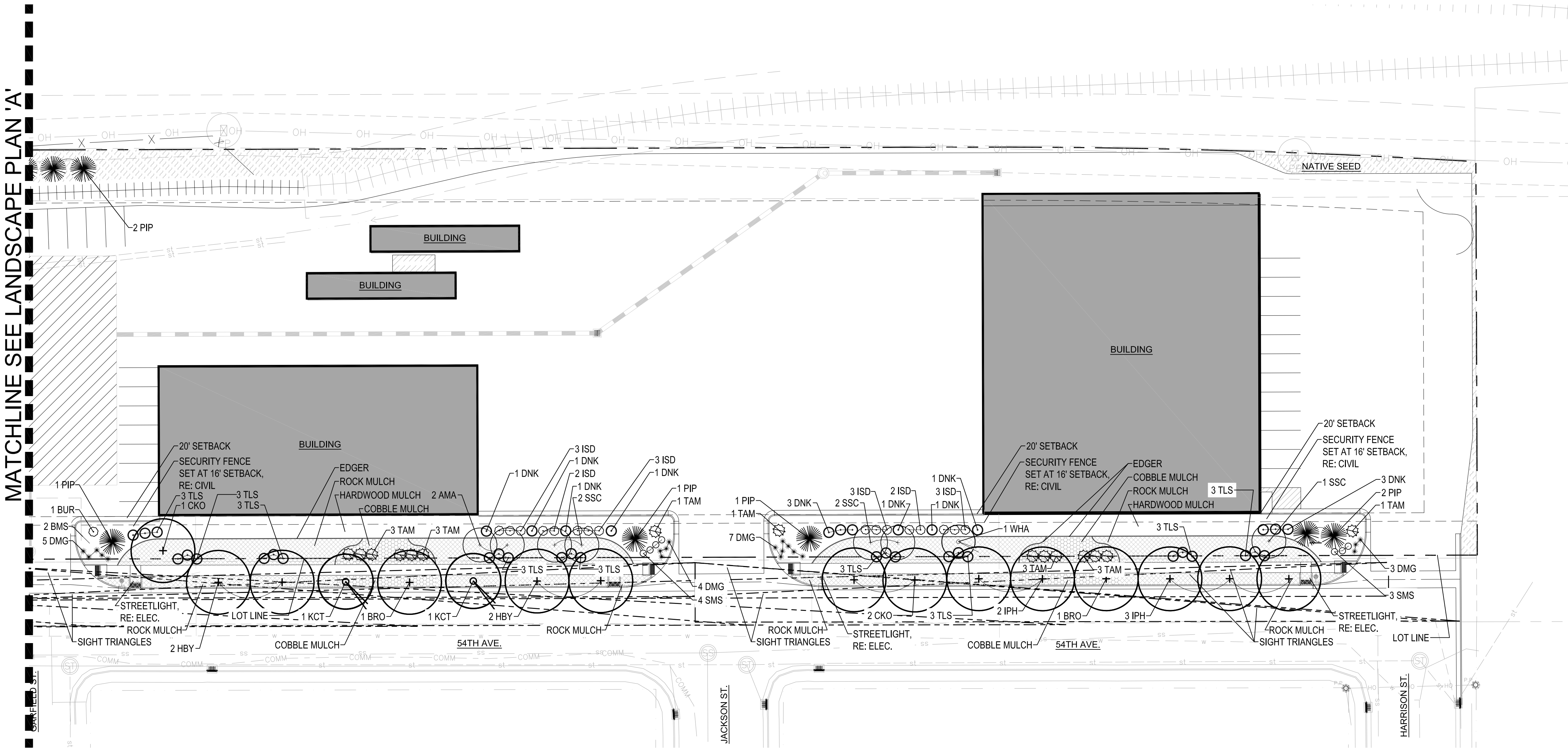
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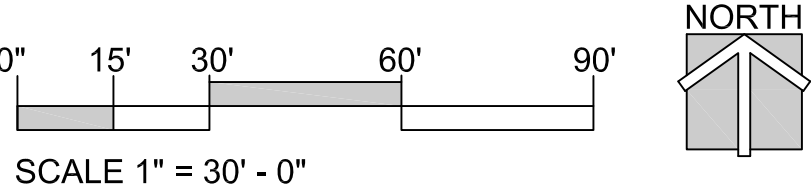
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LANDSCAPE PLAN 'B'



LEGEND

DECIDUOUS TREES

ORNAMENTAL TREES

EVERGREEN TREE

SHRUBS

ORNAMENTAL GRASSES

**Ground Covers**

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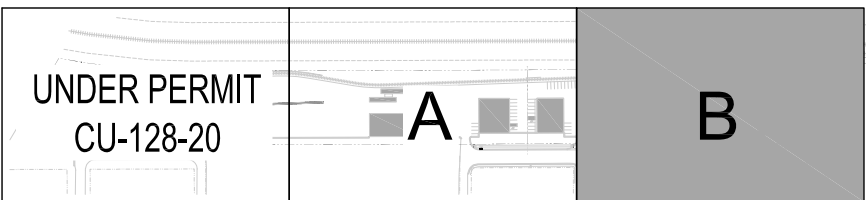
HARDWOOD MULCH

1 1/2" ROCK MULCH

3"- 6" DIA. ROUND COBBLE

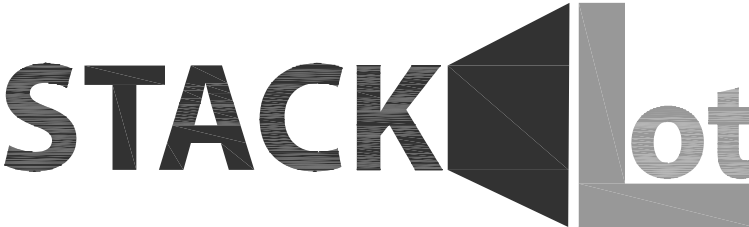
STEEL EDGING WITH PROTECTIVE CAP

SIGHT DISTANCE TRIANGLE



KEY MAP

LANDSCAPE ARCHITECT



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CONDITIONAL USE PERMIT PLAN

5400 MONROE STREET

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Date	Submission / Revision
11/08/20	CUP 1ST SUBMITTAL
05/15/20	CUP 2ND SUBMITTAL

GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (⅔) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (⅓) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE ⅜ INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- PLANT SYMBOLS ON SHEET L1.0 ARE SYMBOLS ONLY. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF PLANT SPECIES PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS AND CIVIL UTILITY LAYOUT PLANS.

PERFORMANCE GUARANTEE:

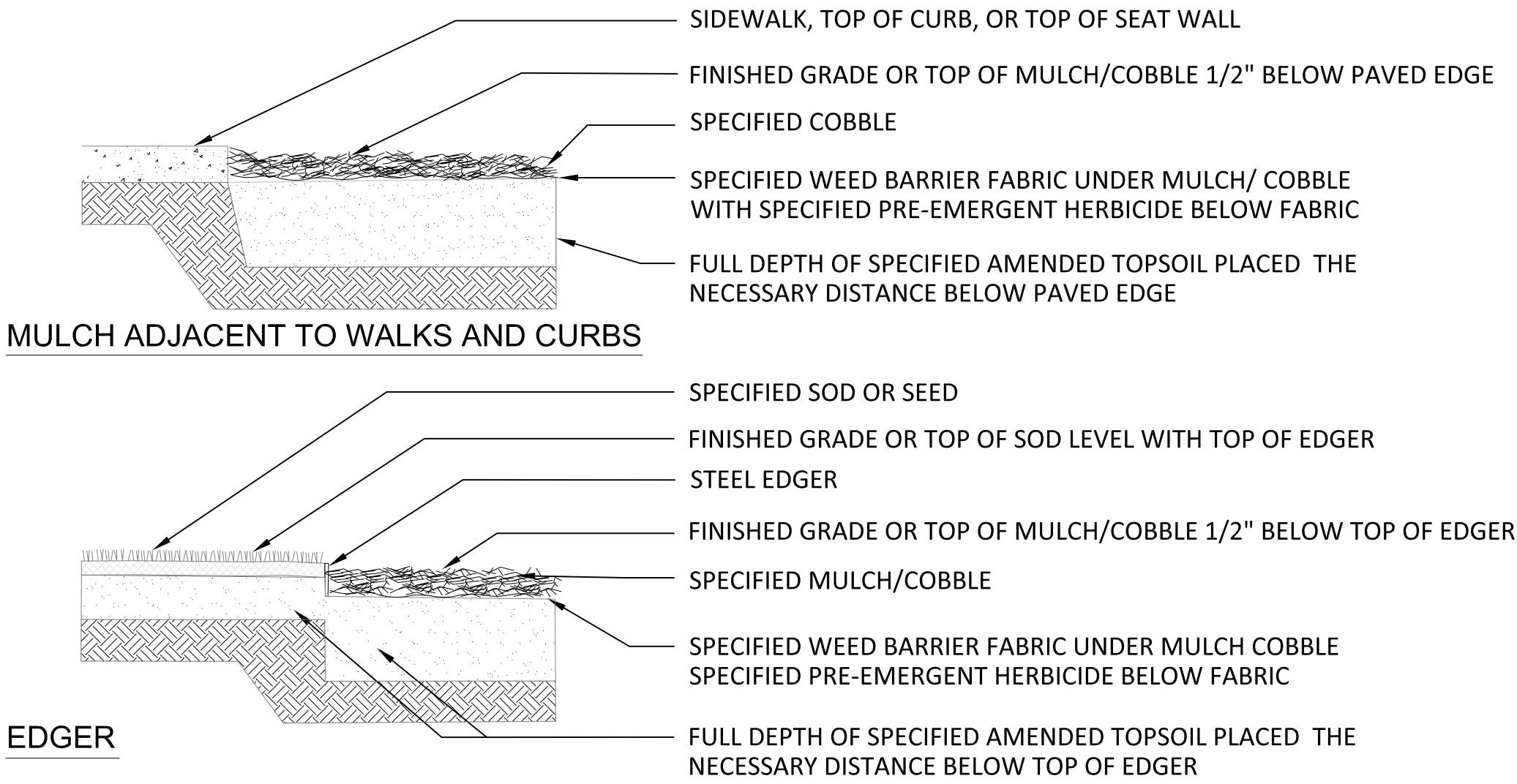
- ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.

COMMERCE CITY LANDSCAPE NOTES

- MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2 ¼ POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6 - INCHES FOR EVERY 1,000 SF. OF LANDSCAPE AREA.
- THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
- POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
- PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
- ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD..
- THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
- LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
- THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
- ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT -DISTANCE-TRIANGLES. INFORMATION ON THE SIGHT-DISTANCE-TRIANGLES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS.
- ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED SHALL BE SEEDED WITH NATIVE GRASSES.

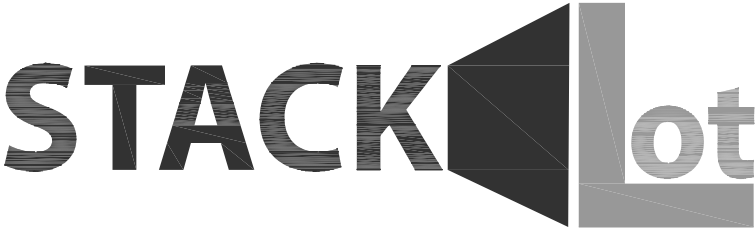
LANDSCAPE CALCULATIONS

SITE AREA: 185,490 SF (FULL PHASE BUILDOUT:413,716 SF/9.50 AC)
PARKING LOT/LOADING SCREENING
REQUIRED TREES (1/30 LF): 273 ft. / 30 = 9 trees
REQUIRED SHRUBS (5/30 LF): 273 ft. / 30(5) = 47 shrubs
PROVIDED TREES: 9
PROVIDED SHRUBS: 47
STREET TREES
E. 54TH AVE - 711.00 FEET
REQUIRED TREES (1/40 LF): 711 ft./ 40 = 18 trees
PROVIDED TREES: 18
DETENTION AREAS: PART OF WEST PHASE
ENTIRE YARD - 24,316 SF.
REQUIRED TREES (1/1200 SF): 20
REQUIRED SHRUBS (1/300 SF): 81
OVERALL PROVIDED TREES: 20
OVERALL PROVIDED SHRUBS: 105
LIVE PLANT MATERIAL:
REQUIRED LIVE PLANT AREA (75% LANDSCAPE AREA): 18,237 SF.
PROVIDED LIVE PLANT AREA: 76%



NOT TO SCALE

LANDSCAPE ARCHITECT



[landscape architecture] [planning] [entitlements] [urban design]

5639 south curtice street  
littleton, colorado 80120  
303.883.2735  
stacklot.com

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

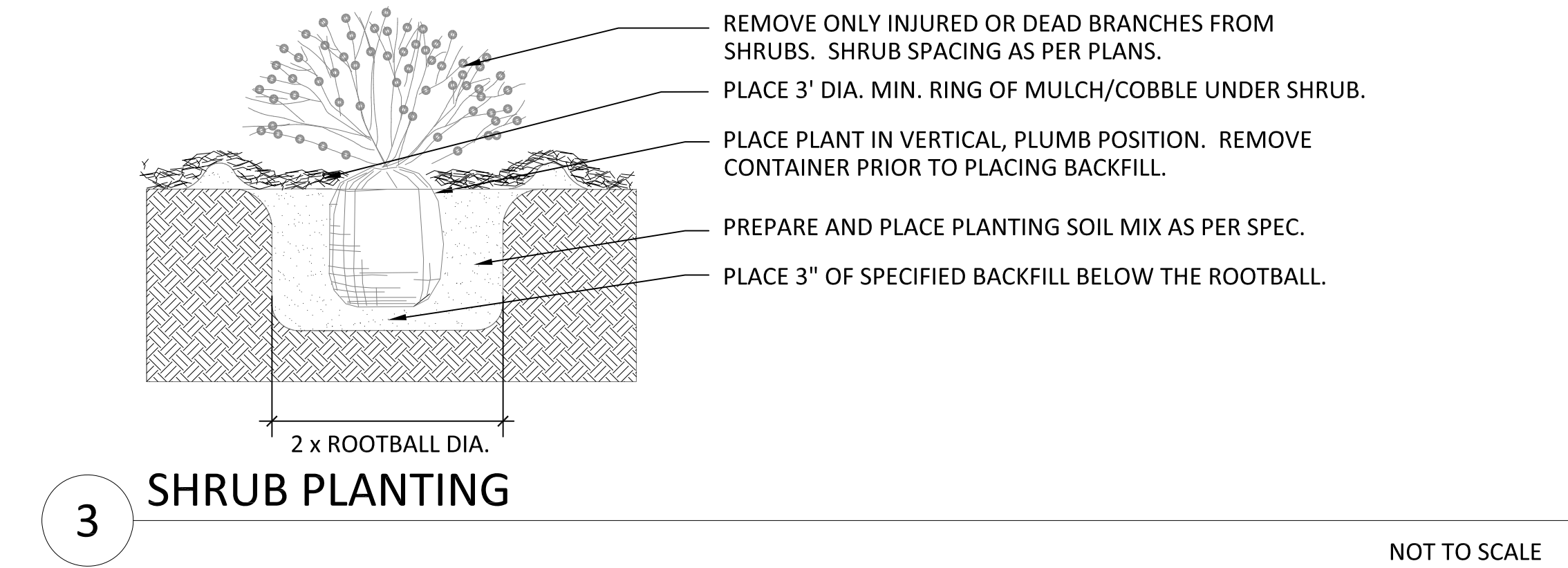
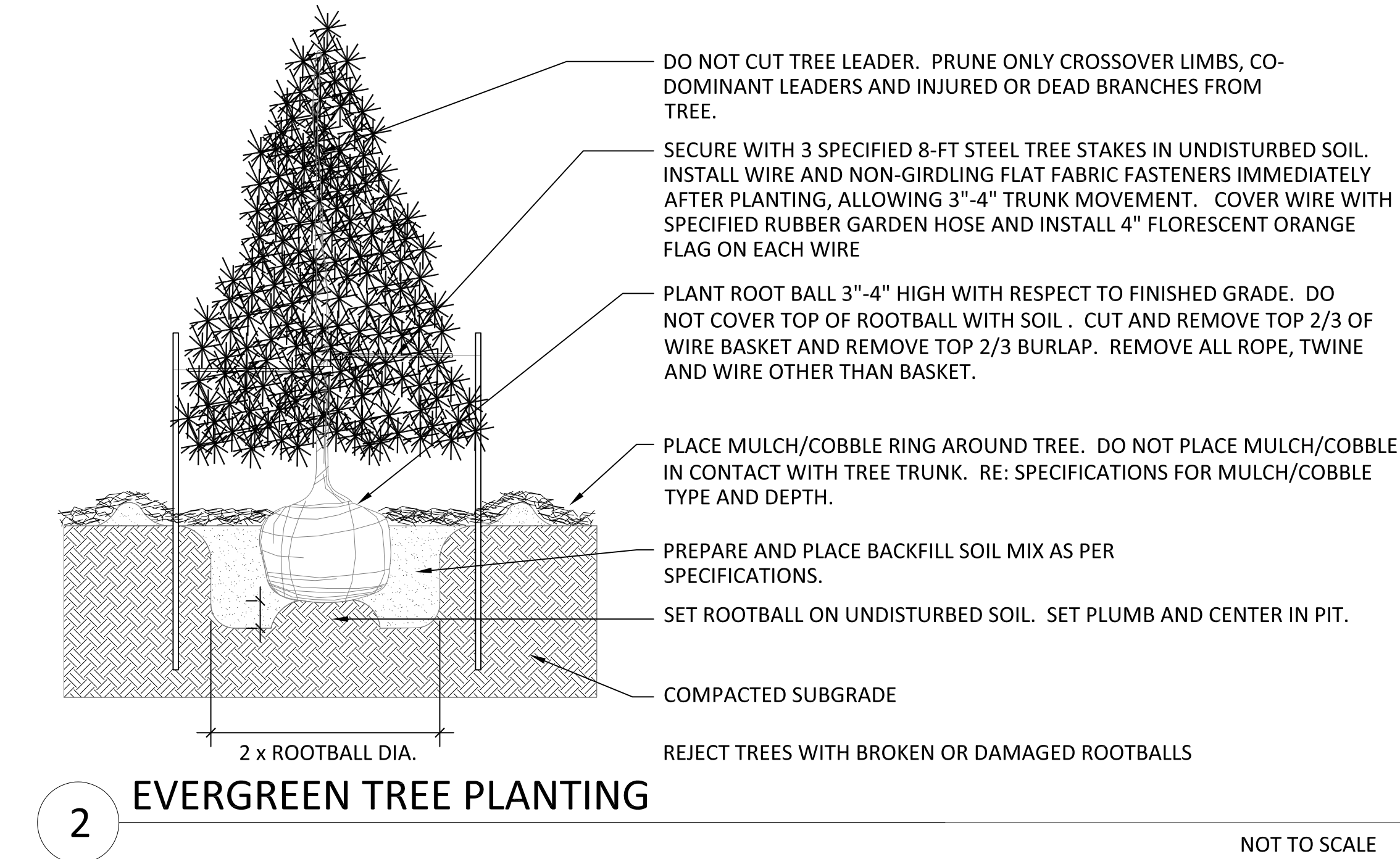
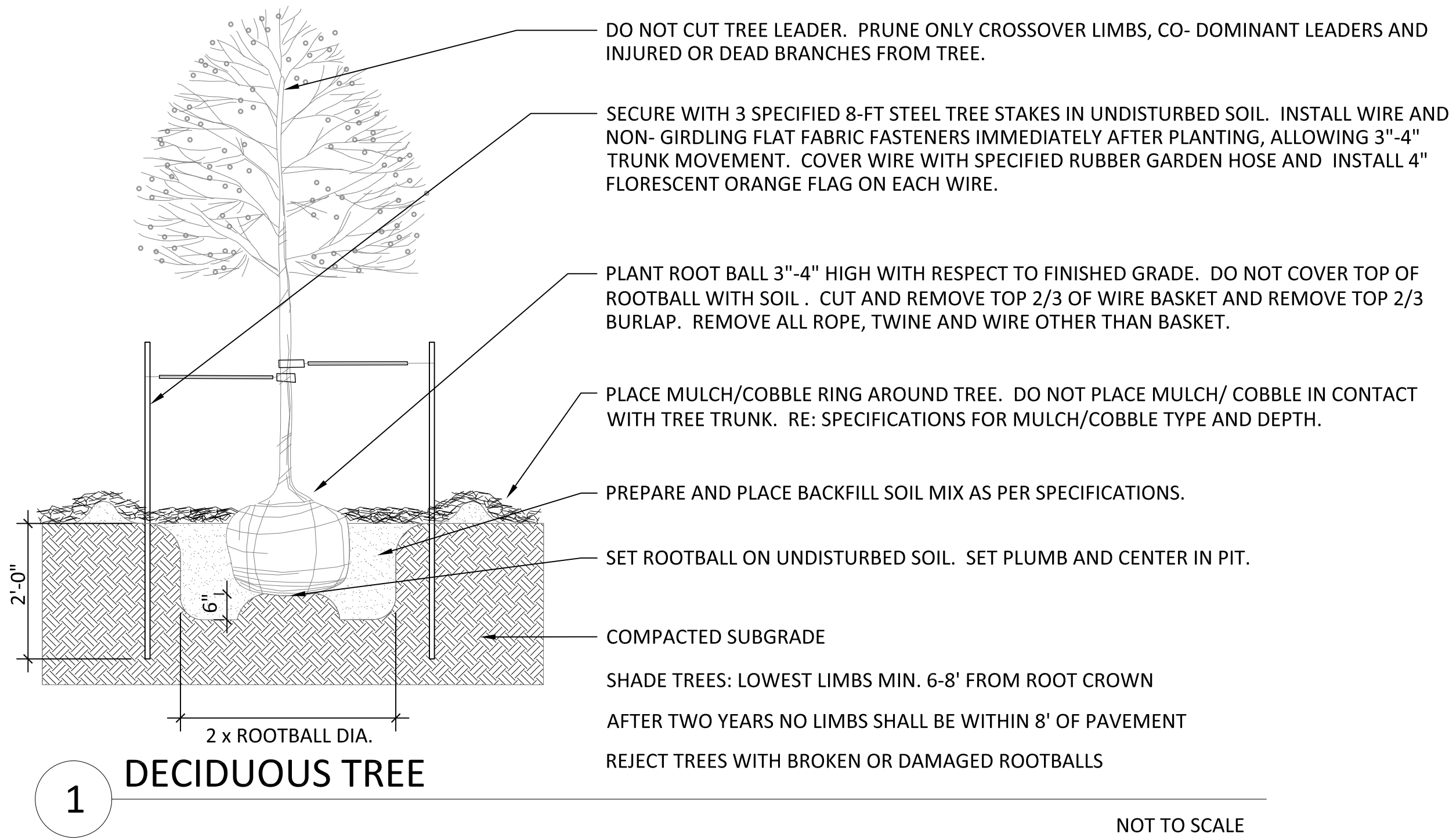
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

L6

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

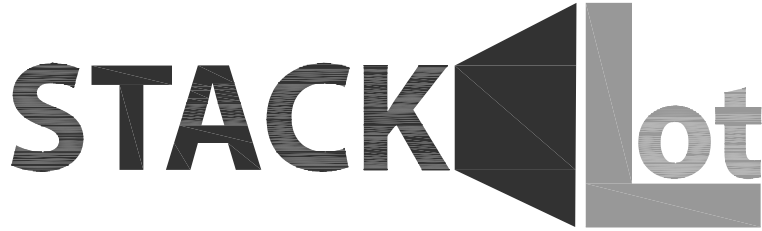
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN,CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO

Date	Submission / Revision
11/08/20	CUP 1ST SUBMITTAL
05/15/20	CUP 2ND SUBMITTAL



QUAN.	SYM.	COMMON/BOTANICAL NAME	INSTALLED SIZE	COND.	WATER NEEDS
<input type="checkbox"/> DECIDUOUS TREES					
6	kct	KENTUCKY COFFEE TREE Gymnocladus dioicus	2" CAL. SINGLE TRUNK	B & B	xeric
5	iph	IMPERIAL HONEYLOCUST Gleditsia triacanthos inermis 'Redmond'	2" CAL. SINGLE TRUNK	B & B	xeric
4	hby	COMMON HACKBERRY Celtis Occidentalis	2" CAL. SINGLE TRUNK	B & B	xeric
5	bro	BURR OAK Quercus macrocarpa	2" CAL. SINGLE TRUNK	B & B	xeric
6	cko	CHINKAPIN OAK Quercus muehlenbergii	2" CAL. SINGLE TRUNK	B & B	MODERATE
<input type="checkbox"/> EVERGREEN TREES					
13	pip	PINYON PINE Pinus cembroides edulis	6' HT.	B & B	xeric
<input type="checkbox"/> ORNAMENTAL TREES					
5	wha	WASHINGTON HAWTHORN 'Winter King' Crataegus viridis 'Winter King'	1 1/2" CAL. SINGLE TRUNK	B & B	MEDIUM
6	ama	AMUR MAPLE Amur Maackia	1 1/2 " CAL. SINGLE TRUNK	B & B	LOW - MEDIUM
7	ssc	SPRING SNOW CRABAPPLE Malus sp. 'Spring Snow'	1 1/2" CAL. SINGLE TRUNK	B & B	LOW
<input type="checkbox"/> DECIDUOUS SHRUBS					
39	tls	THREE LEAF SUMAC Rhus trilobata	5 GAL.	CONT.	XERIC
2	rus	RUSSIAN SAGE Perovskia artiplicifolia	5 GAL.	CONT.	XERIC
7	ss	SNOWMOUND SPIREA Spiraea nipponica 'Snowmound'	5 GAL.	CONT.	LOW
3	bur	BURNING BUSH 'Dwarf Nana' Eounymus alata 'Dwarf Nana'	5 GAL.	CONT.	MEDIUM
23	dnk	DWARF NINEBARK Physocarpus opulifolius 'Nanus'	5 GAL.	CONT.	LOW
27	isd	ISANTI DOGWOOD Cornus sericea 'Isanti'	5 GAL.	CONT.	LOW
5	bms	BLUE MIST SPIREA Caryopteris x clandonensis	5 GAL.	CONT.	MEDIUM
<input type="checkbox"/> EVERGREEN SHRUBS					
24	tam	TAMMY JUNIPER Juniperus sabina 'Tamariscifolia'	5 GAL.	CONT.	LOW
<input type="checkbox"/> ORNAMENTAL GRASSES					
22	dmg	DWARF MAIDEN GRASS Miscanthus sinensus 'Yaku Jima';	1 GAL.	CONT.	LOW

LANDSCAPE ARCHITECT



[[landscape architecture]] [[planning]] [[entitlements]] [[urban design]]

5639 south curtice street  
littleton, colorado 80120  
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stacklot.com

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

L7



A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001

5400 MONROE STREET  
COMMERCE CITY, CO

Job No.	RD19127
Date:	11/08/19
Drawn	ER
Checked	ER
Name	

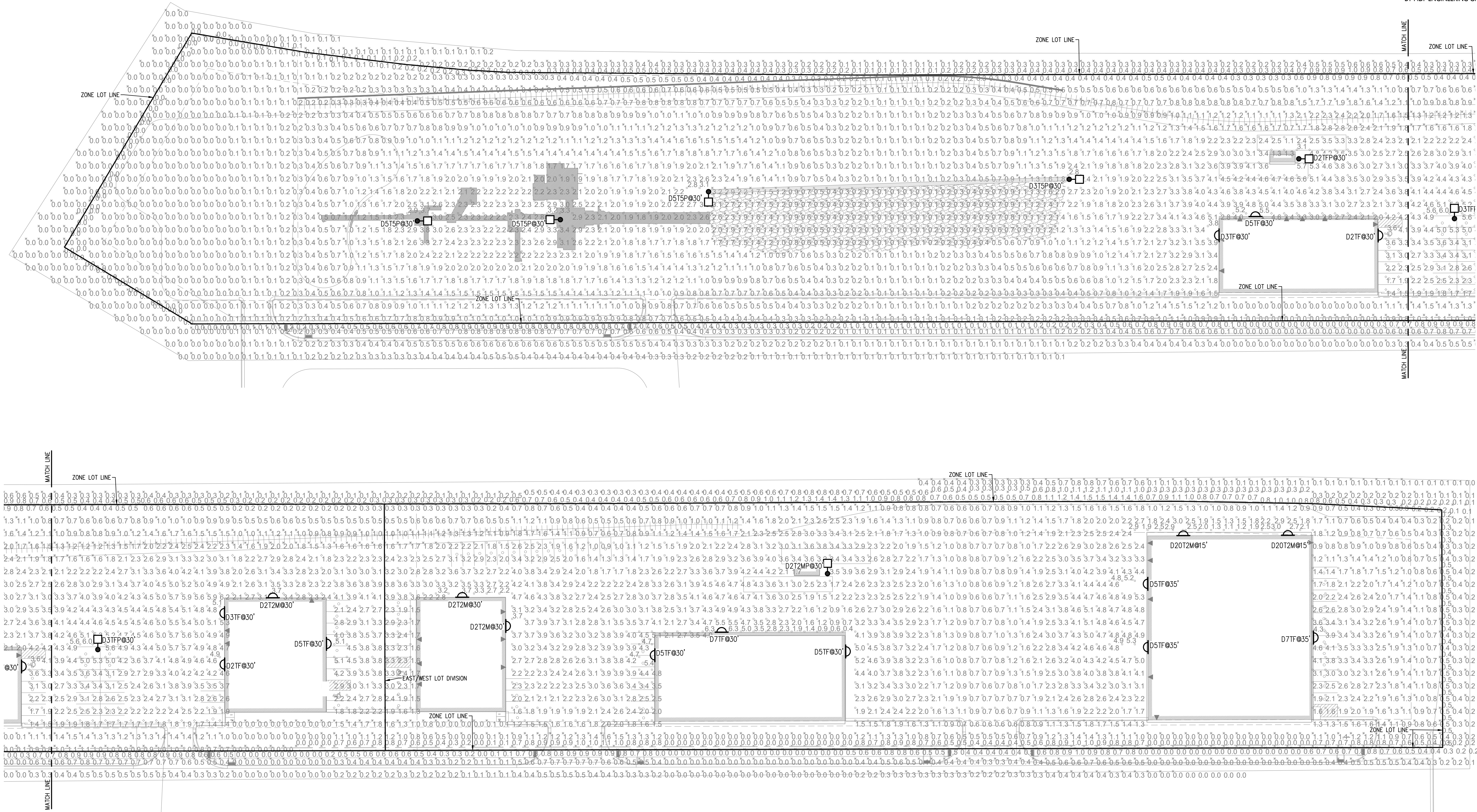
## PHOTOMETRIC PLANS

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

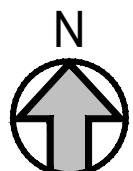
No

LTI



# ELECTRICAL PHOTOMETRIC SITE PLAN

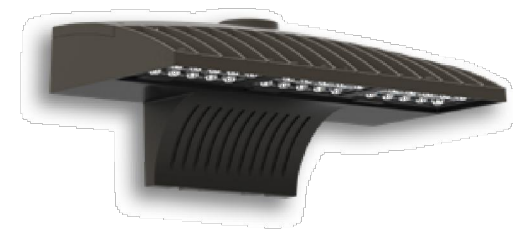
SCALE: 1" = 40'





CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
STATE OF COLORADO  
(PIN) 0182513101001



D-Series Size 2  
LED Wall Luminaire



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

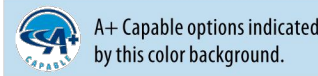
Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**1

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED	Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW2 LED	20C	20 LEDs (two engines)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT <sup>1</sup>	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type <sup>2</sup>
	30C	30 LEDs (three engines)	530 530 mA	40K 4000 K	T2M Type II Medium	120 <sup>4</sup>		PER NEMA twist-lock receptacle only (control ordered separately)
			700 700 mA	50K 5000 K	T3S Type III Short	208 <sup>4</sup>		PERS Five-wire receptacle only (control ordered separately) <sup>1,5</sup>
			1000 1000 mA (1 A)	AMBPC Amber phosphor converted <sup>6</sup>	T3M Type III Medium	240 <sup>4</sup>		PER7 Seven-wire receptacle only (control ordered separately) <sup>1,5</sup>
					T4M Type IV Medium	277 <sup>4</sup>	Shipped separately <sup>6</sup> BBW Surface-mounted back box (for conduit entry)	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)
					TFTM Forward Throw Medium	347 <sup>4,5</sup>		PIR 180° motion/ambient light sensor, <15' mtg ht <sup>8,11</sup>
						480 <sup>4,5</sup>		PIRH 180° motion/ambient light sensor, 8-15' mounting height, ambient sensor enabled at 1ft <sup>11,12</sup>
								PIRHFC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1ft <sup>11,12</sup>

2 FIXTURE D20T2M

SCALE: NO SCALE

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Shredder Area	□	1.9 fc	3.8 fc	0.7 fc	5.4:1	2.7:1
Site	✕	1.2 fc	6.3 fc	0.0 fc	N/A	N/A
Work Area East	□	2.3 fc	6.3 fc	0.4 fc	15.8:1	5.8:1
Work Area West	◇	3.1 fc	6.2 fc	0.6 fc	10.3:1	5.2:1
Zone Lot Line	✕	0.4 fc	1.5 fc	0.0 fc	N/A	N/A
Zone Lot Line East	✕	0.5 fc	1.5 fc	0.0 fc	N/A	N/A
Zone Lot Line West	+	0.3 fc	0.9 fc	0.0 fc	N/A	N/A

EXTERIOR LIGHTING DESIGN CONCEPTS

- CALCULATIONS ARE USING POINT-TO-POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS. SOFTWARE USED: VISUAL 2.6.
- THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLES LEVEL FOR ENHANCED SECURITY CONDITIONS.

EXTERIOR LIGHTING OPERATION REQUIREMENTS

- ALL OUTDOOR LIGHTING NECESSARY FOR PUBLIC HEALTH, SAFETY AND WELFARE PURPOSES MAY BE ACTIVATED BY MOTION SENSING DEVICES. ALL OUTDOOR LIGHTING ON PRIVATE PROPERTY SHALL BE TURNED OFF BETWEEN 11:00 PM AND SUNRISE UNLESS EXEMPTED.
- LIGHTING MAY REMAIN ON WHILE THE BUSINESS FACILITY IS OPEN TO THE PUBLIC.
- LIGHTING MAY REMAIN ON WHILE IT IS USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, ROADWAYS, DRIVEWAYS, EQUIPMENT OR STORAGE YEARS, AND PARKING LOTS WHERE ACCESSIBLE AT NIGHT, AS APPROVED BY CITY AUTHORITIES.

PHOTOMETRIC CALCULATION DISCLAIMER

- LIGHTING PATTERN USED FOR LUMINAIRES REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD AND EQUIPMENT CONDITIONS.

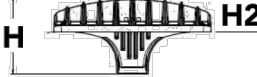
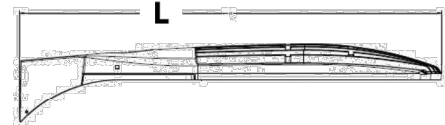
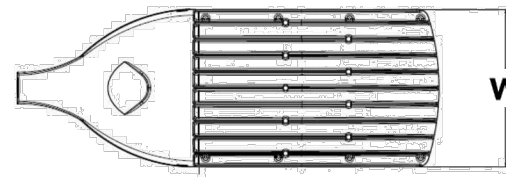


D-Series Size 2  
LED Area Luminaire



Specifications

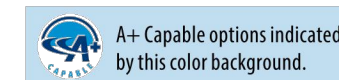
EPA: 1.1 ft<sup>2</sup> (0.10 m<sup>2</sup>)  
Length: 40" (101.6 cm)  
Width: 15" (38.1 cm)  
Height 1: 7-1/4" (18.4 cm)  
Height 2: (max): 3.5"  
Weight: 36lbs



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.



Ordering Information

EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED	Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics	P1 P5	30K 3000 K	T1S Type I Short	MVOLT <sup>1</sup>	Shipped included
		P2 P6	40K 4000 K	T2S Type II Short	120 <sup>4</sup>	SPA Square pole mounting
		P3 P7	50K 5000 K	T2M Type II Medium	208 <sup>4</sup>	RPA Round pole mounting
		P4 P8		T3S Type III Short	240 <sup>4</sup>	WBA Wall bracket
	Rotated optics <sup>1</sup>	P10 P13		T3M Type III Medium	277 <sup>4</sup>	SPUMBA Square pole universal mounting adaptor <sup>2</sup>
		P11 P14		T4M Type IV Medium	347 <sup>4</sup>	RPUMBA Round pole universal mounting adaptor <sup>2</sup>
		P12		TFTM Forward Throw Medium	480 <sup>4</sup>	Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>3</sup>

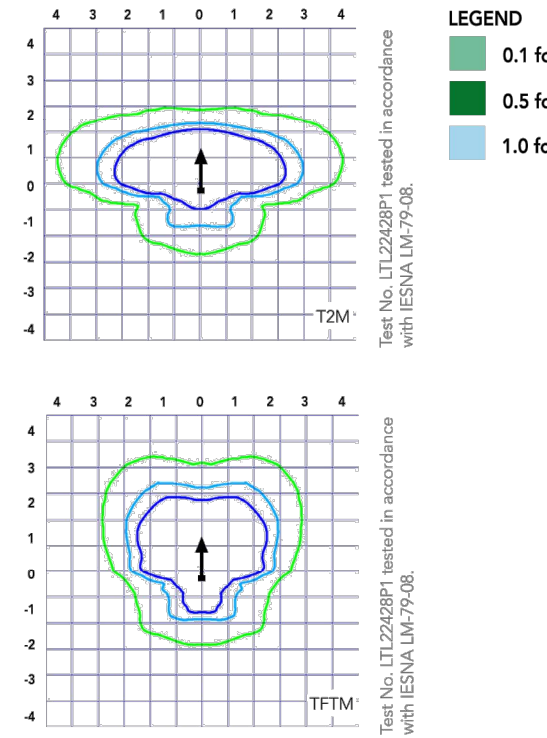
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 2 homepage.

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').

1 FIXTURE D2-D7

SCALE: NO SCALE

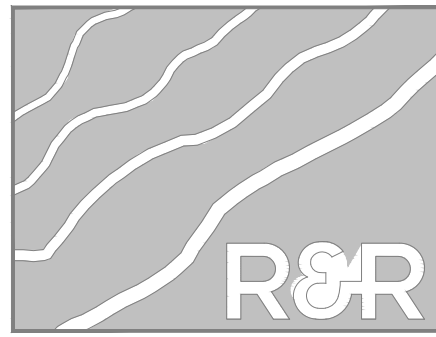


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⌒	D2T2M	3	Lithonia Lighting	DSX2 LED P2 50K T2M MVOLT	DSX2 LED P2 50K T2M MVOLT	LED	1	DSX2_LED_P2_50K_T2M_MVOLT.ies	24306	1	185
●□	D2T2MP	1	Lithonia Lighting	DSX2 LED P2 50K T2M MVOLT	DSX2 LED P2 50K T2M MVOLT	LED	1	DSX2_LED_P2_50K_T2M_MVOLT.ies	24306	1	185
⌒	D2TF	3	Lithonia Lighting	DSX2 LED P2 50K TFTM MVOLT	DSX2 LED P2 50K TFTM MVOLT	LED	1	DSX2_LED_P2_50K_TFTM_MVOLT.ies	24357	1	185
●□	D3T5P	1	Lithonia Lighting	DSX2 LED P3 50K T5W MVOLT	DSX2 LED P3 50K T5W MVOLT	LED	1	DSX2_LED_P3_50K_T5W_MVOLT.ies	29511	1	217
⌒	D3TF	3	Lithonia Lighting	DSX2 LED P3 50K TFTM MVOLT	DSX2 LED P3 50K TFTM MVOLT	LED	1	DSX2_LED_P3_50K_TFTM_MVOLT.ies	28612	1	217
●□	D5T5P	3	Lithonia Lighting	DSX2 LED P5 50K T5W MVOLT	DSX2 LED P5 50K T5W MVOLT	LED	1	DSX2_LED_P5_50K_T5W_MVOLT.ies	39638	1	321
⌒	D5TF	6	Lithonia Lighting	DSX2 LED P5 50K TFTM MVOLT	DSX2 LED P5 50K TFTM MVOLT	LED	1	DSX2_LED_P5_50K_TFTM_MVOLT.ies	38429	1	321
⌒	D7TF	2	Lithonia Lighting	DSX2 LED P7 50K TFTM MVOLT	DSX2 LED P7 50K TFTM MVOLT	LED	1	DSX2_LED_P7_50K_TFTM_MVOLT.ies	46517	1	398
⌒	D20T2M	2	Lithonia Lighting	DSXW2 LED 20C 700 50K T2M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 700mA DRIVER, 5000K LED, TYPE 2 MEDIUM OPTIC	LED	1	DSXW2_LED_20C_700_50_K_T2M_MVOLT.ies	5393	1	47

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



ENGINEERS SURVEYORS  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
WWW.FREENGINEERS.COM

CONDITIONAL USE PERMIT PLAN/P5400 MONROE STREET

5400 MONROE STREET  
COMMERCE CITY, CO

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20

Job No.	RD19127
Date:	11/08/19
Drawn	ER
Checked	ER
Name	

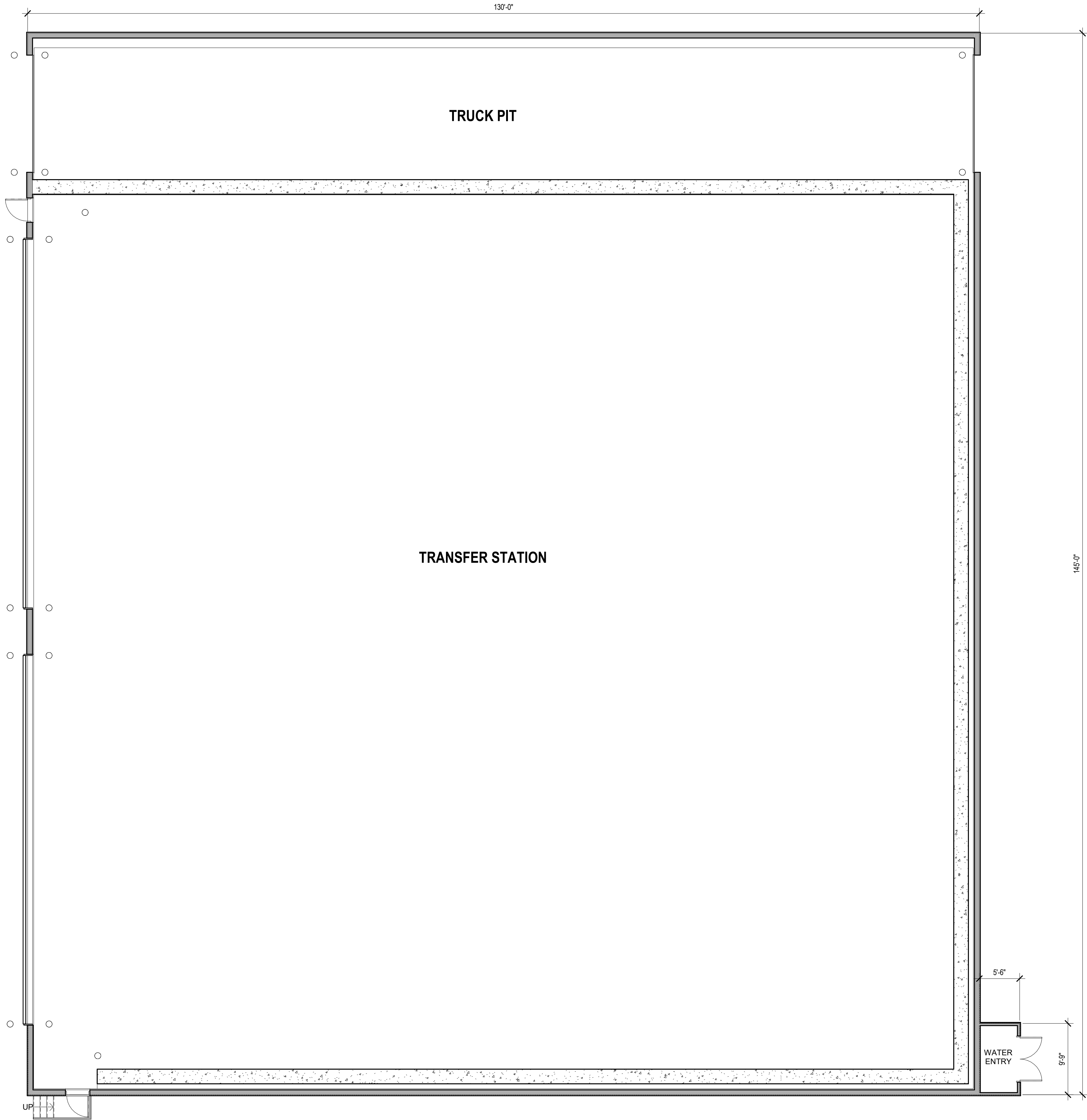
LIGHTING DETAILS

No.

LT2



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001

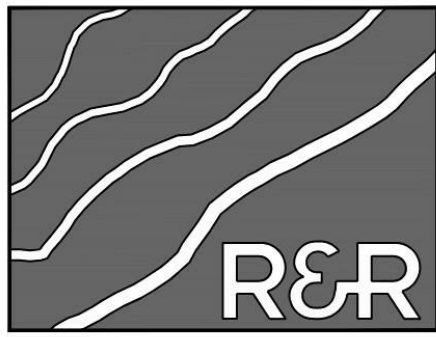


**1** TRANSFER STATION FLOOR PLAN  
1/8" = 1'-0"

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



ENGINEERS  
SURVEYORS  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
WWW.R&RENGINEERS.COM

dc construction company, inc.  
303 East 10th Avenue • Denver, Colorado 80202 • Tel: 303.233.1000 • Fax: 303.233.1001 • www.dcc.com

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

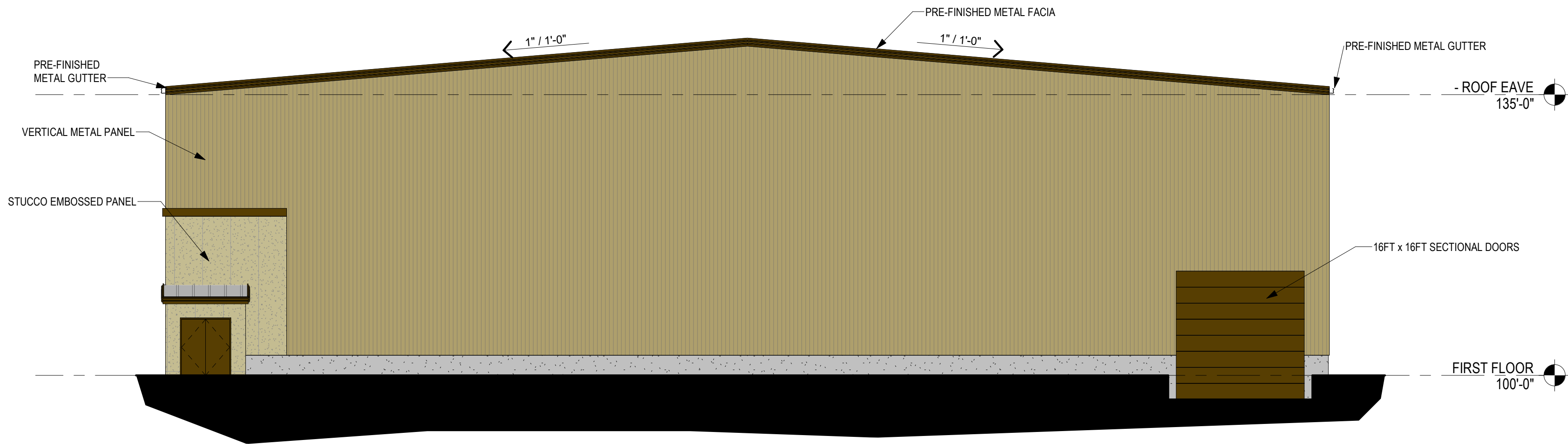
Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name:

TRANSFER  
STATION -  
FLOOR PLAN

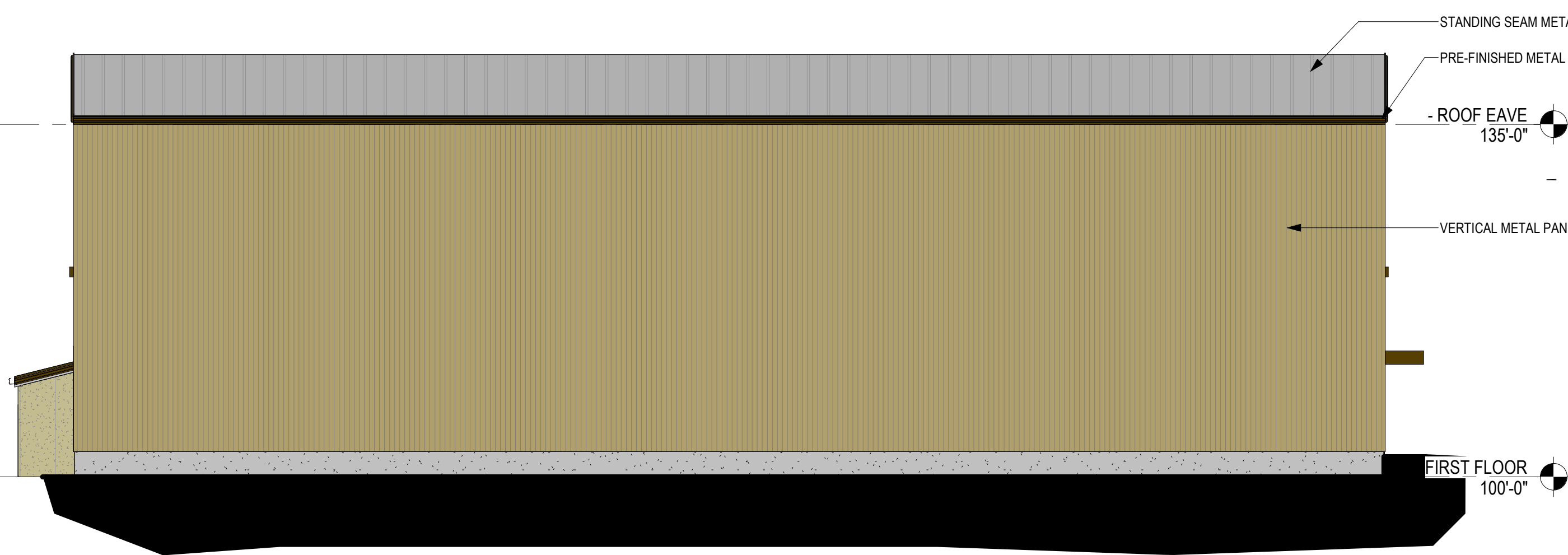
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A1

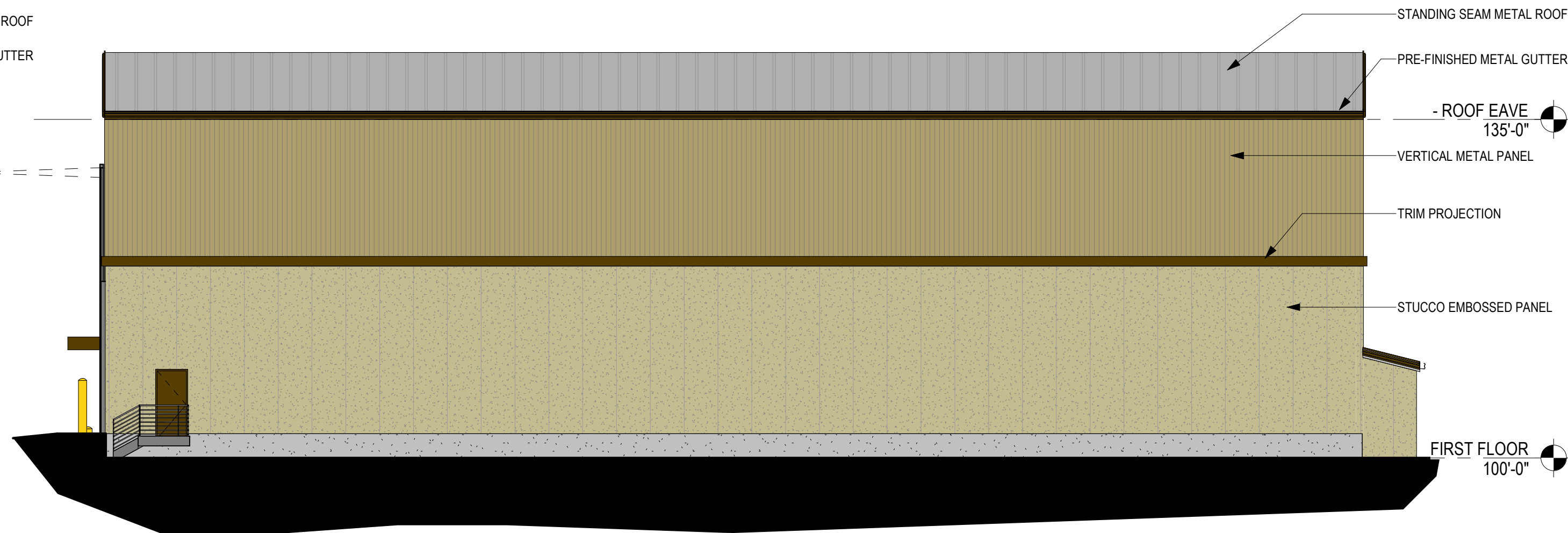
CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001



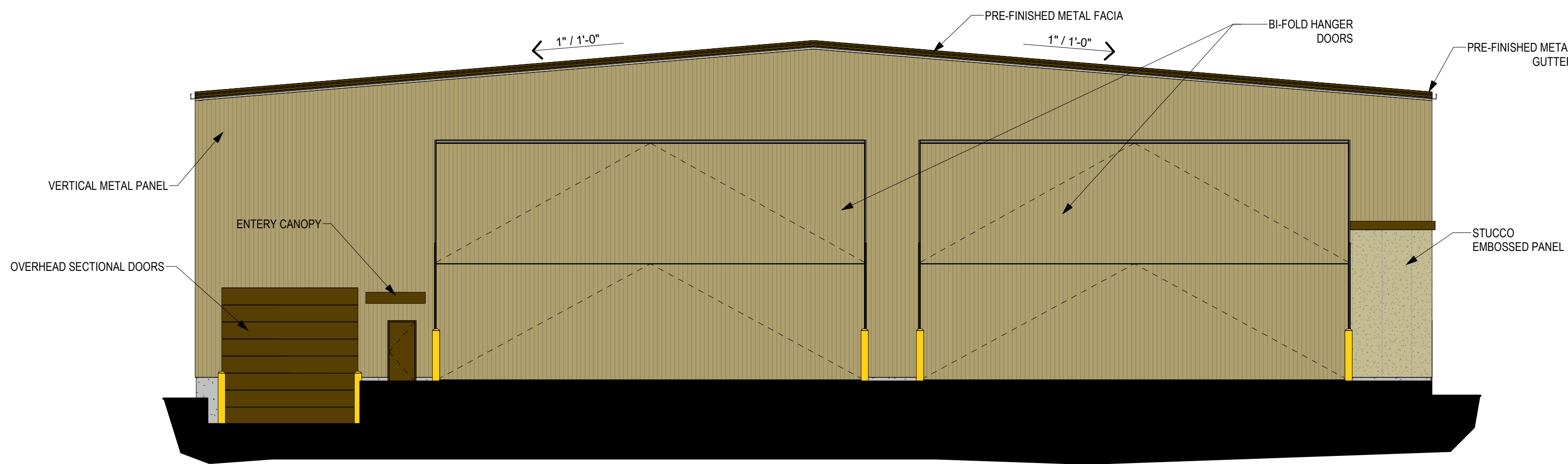
**1 EAST ELEVATION**  
3/32" = 1'-0"



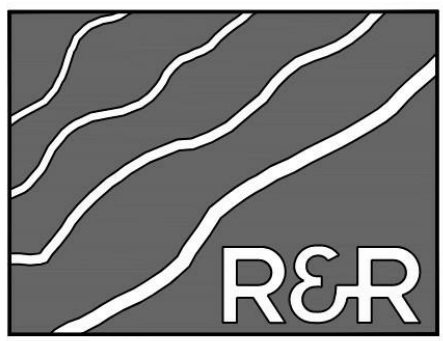
**2 NORTH ELEVATION**  
3/32" = 1'-0"



**3 SOUTH ELEVATION**  
3/32" = 1'-0"



**4 WEST ELEVATION**  
3/32" = 1'-0"



ENGINEERS  
SURVEYORS  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730  
WWW.REENGINEERS.COM

dc construction company, inc.  
100 East 10th Avenue • Denver, Colorado 80202 • 303.227.0000 • Fax 303.227.1007 • www.dcc.com

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name:

TRANSFER  
STATION -  
ELEVATIONS

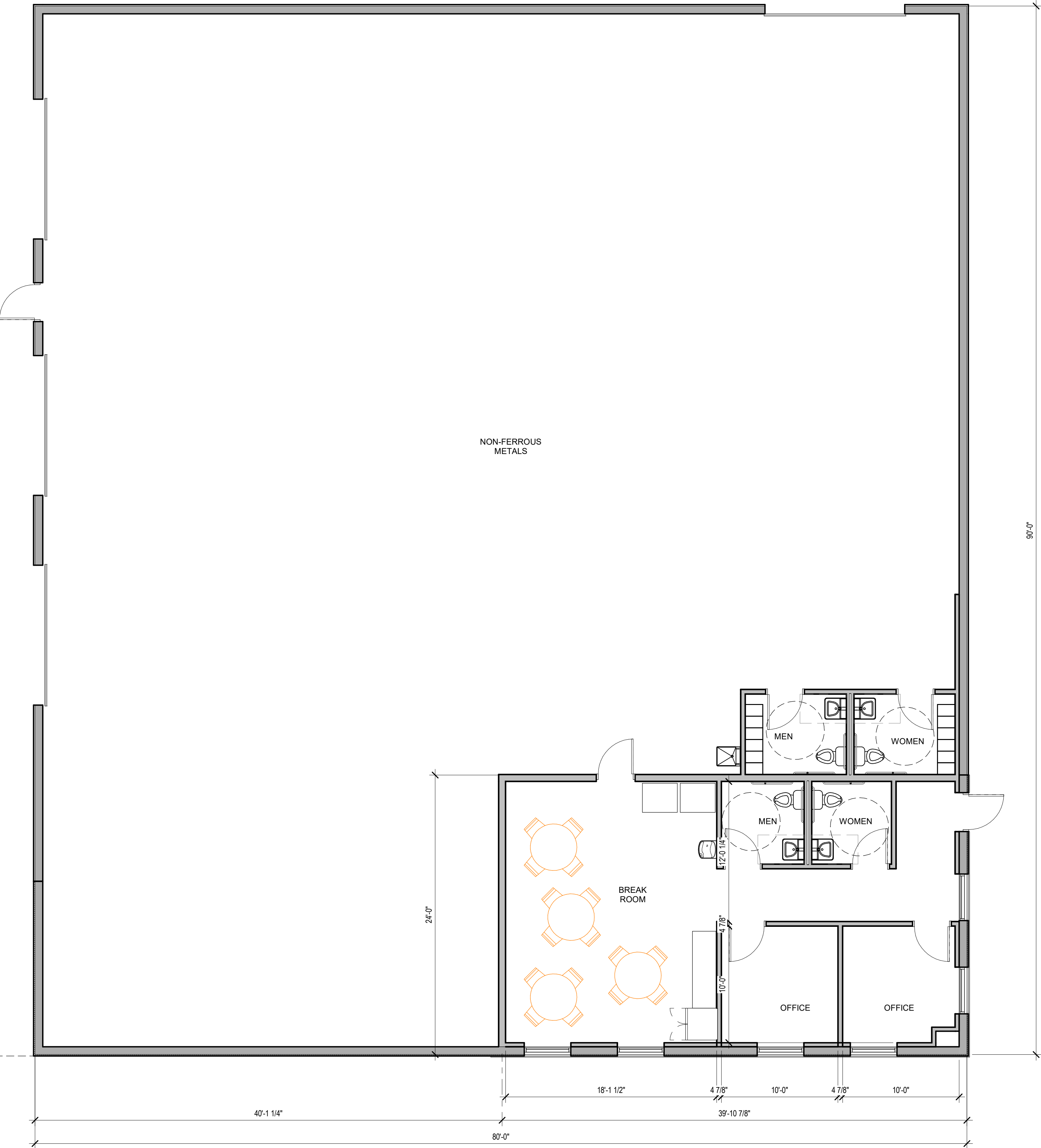
No.

A2

(PIN) 0182513101001  
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001



**1 NON-FERRIS METALS FLOOR PLAN**  
3/16" = 1'-0"

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

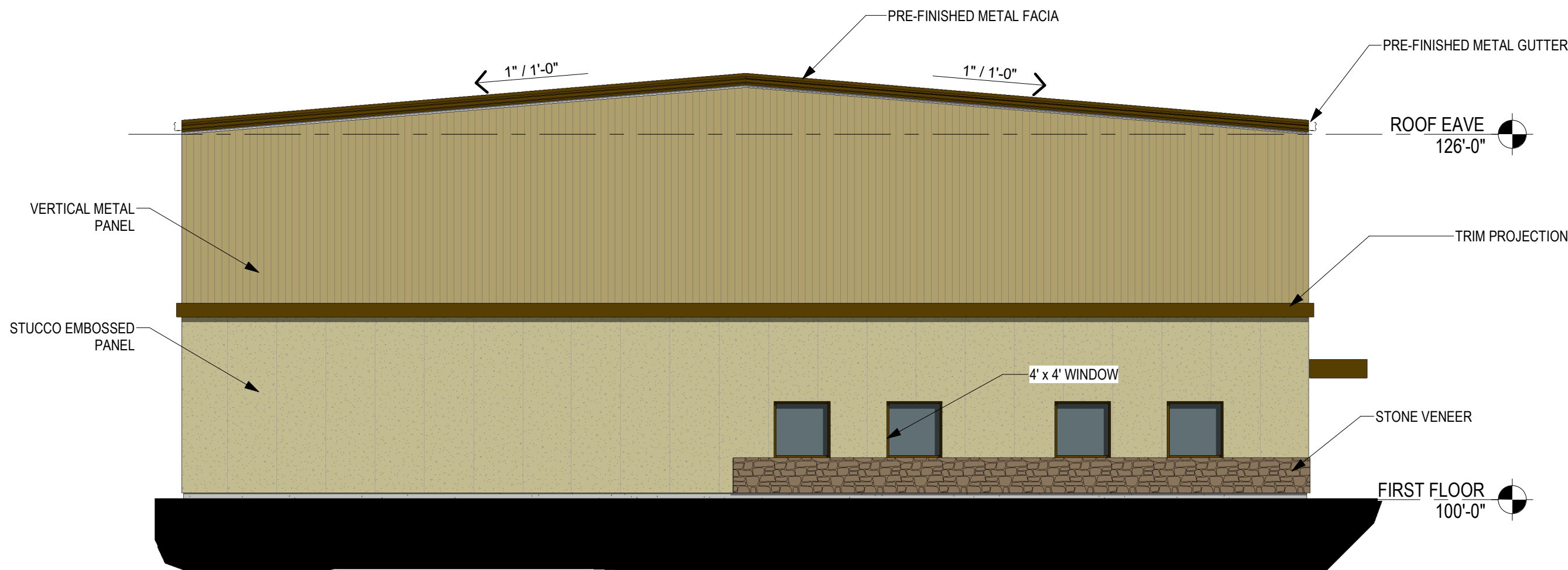
Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name:

NON-FERROUS  
METALS -  
FLOOR PLAN

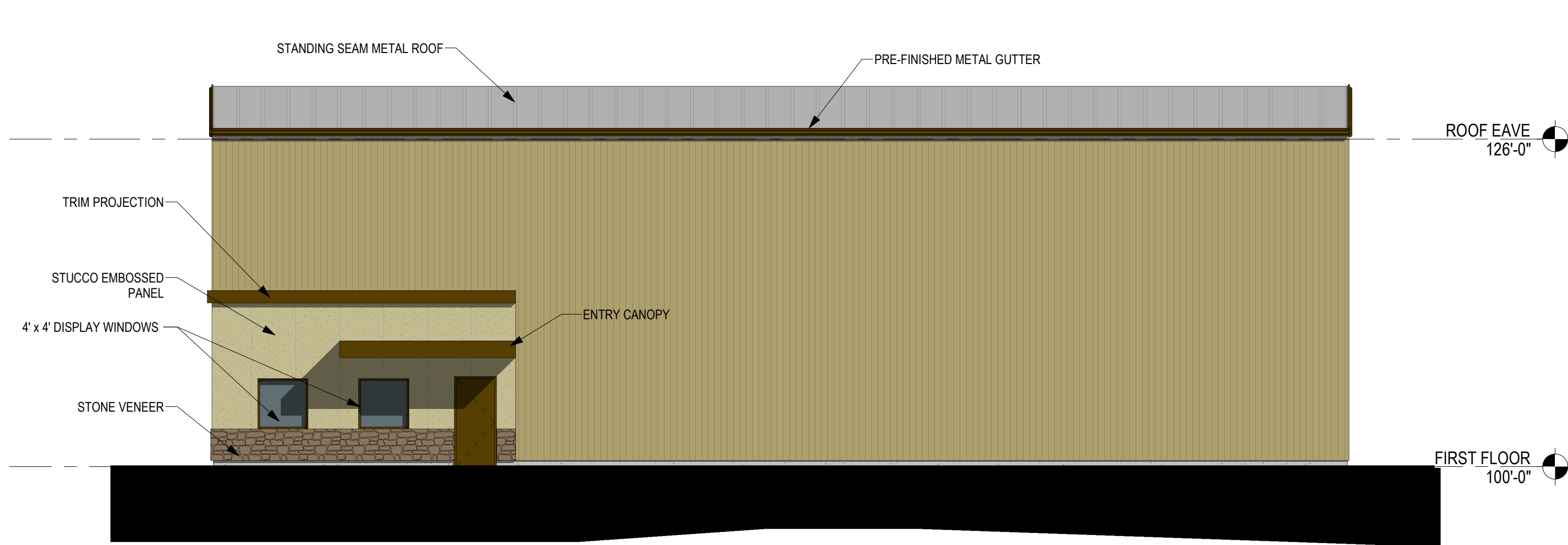
No.

A3

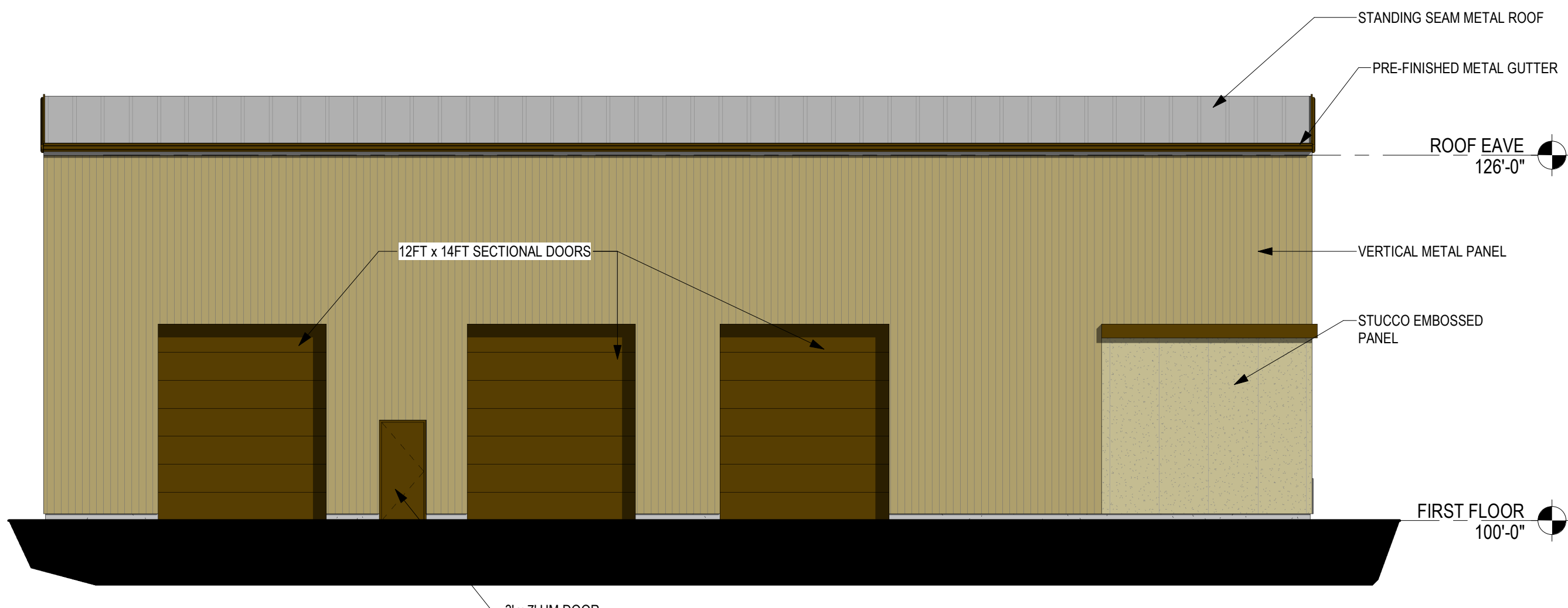
CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001



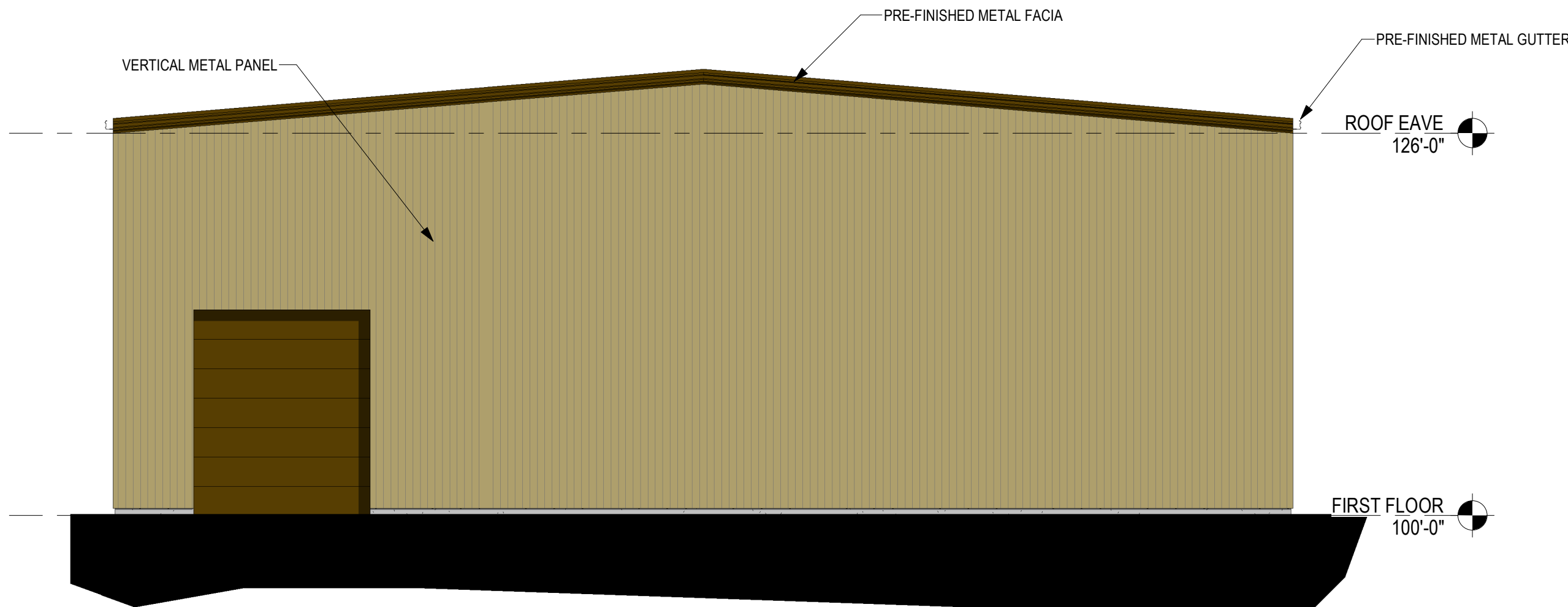
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



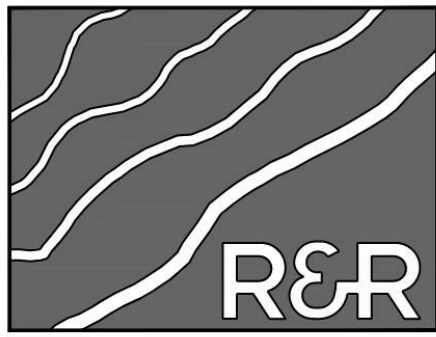
**2 EAST ELEVATION**  
1/8" = 1'-0"



**3 WEST ELEVATION**  
1/8" = 1'-0"



**4 NORTH ELEVATION**  
1/8" = 1'-0"



**ENGINEERS  
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PHONE: 303-753-6730  
WWW.R&RENGINEERS.COM

**dcb** construction company, inc.  
303 East 10th Avenue • Denver, Colorado 80202 • 303.233.0000 • Fax 303.233.0007 • www.dcb.com

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name:

**NON-FERROUS  
METALS -  
ELEVATIONS**

(PIN) 0182513101001

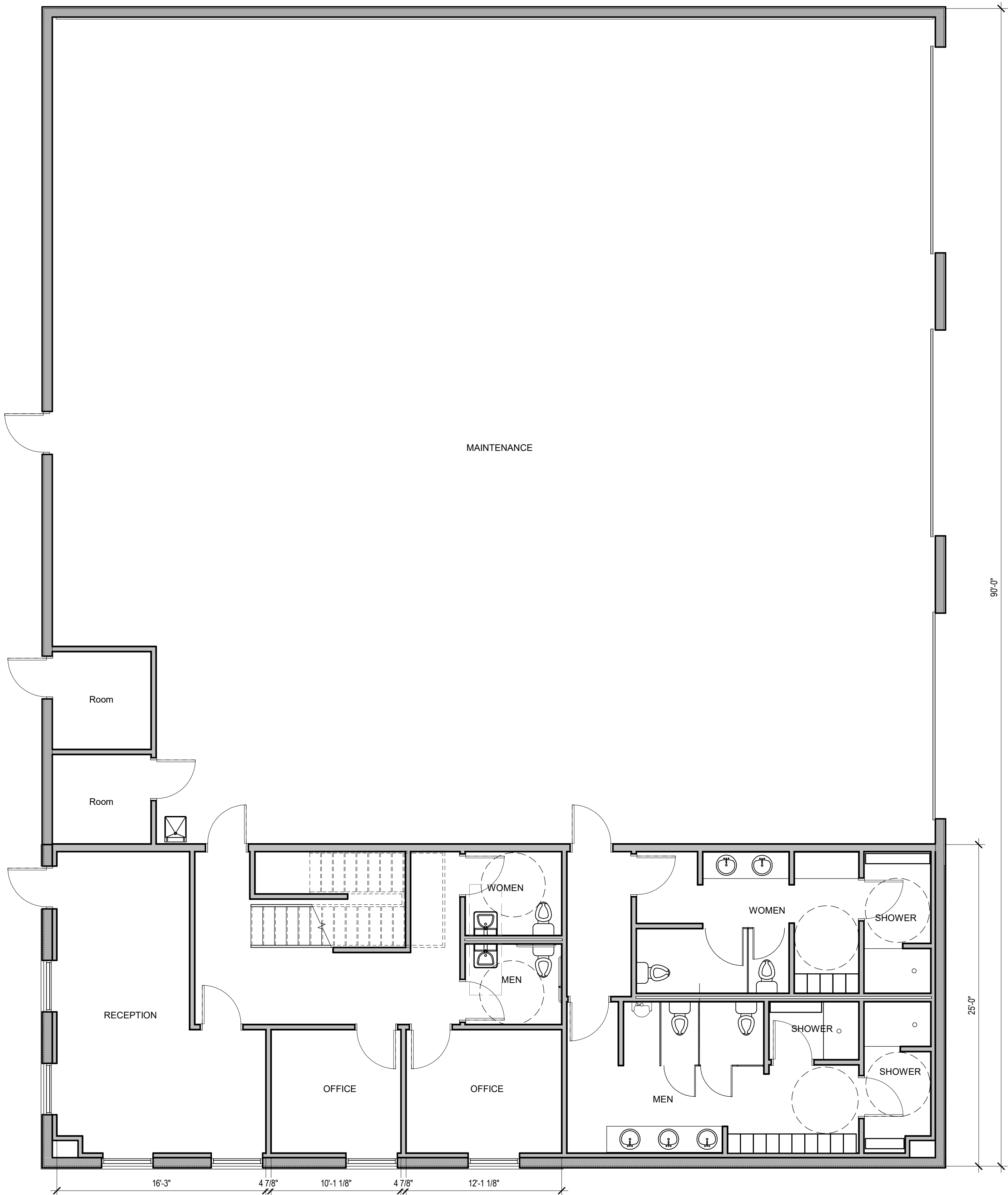
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

No.

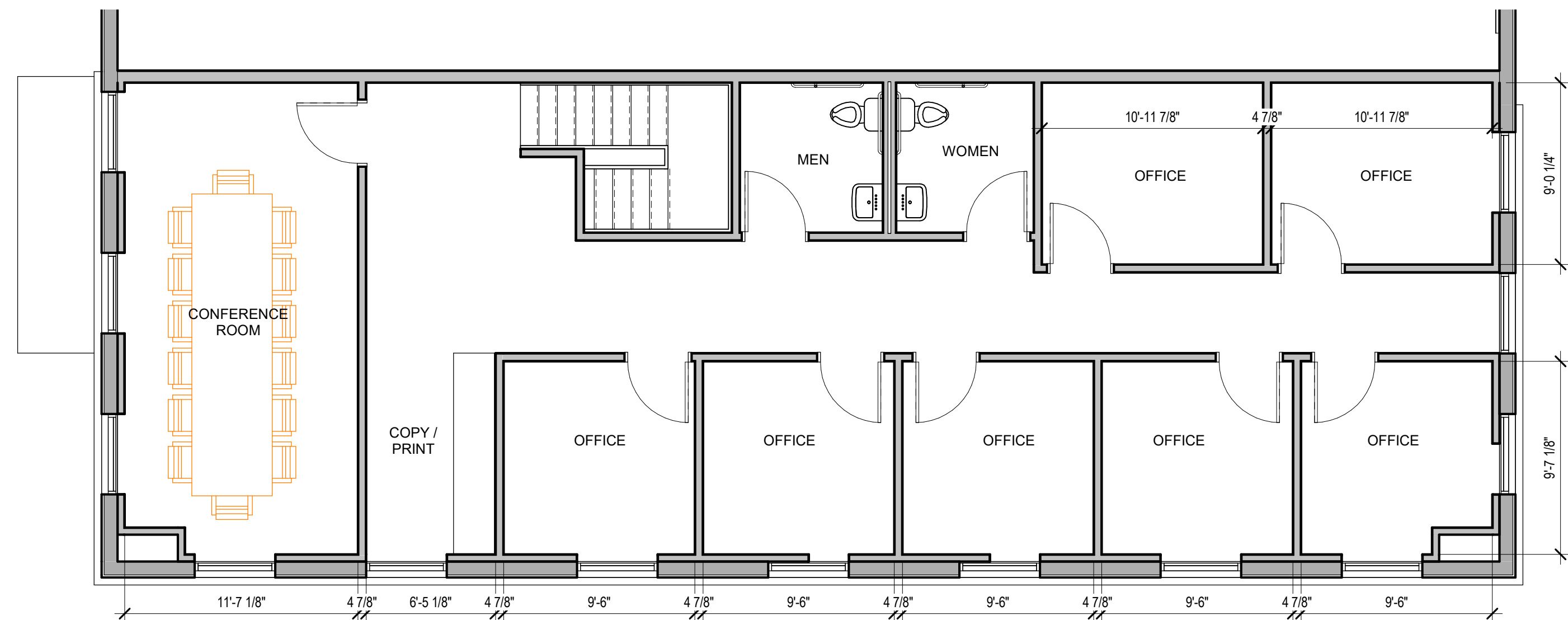
**A4**

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001



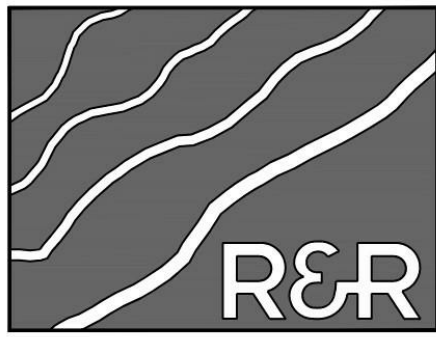
**1 OFFICE / MAINTENANCE EAST FIRST FLOOR**

3/16" = 1'-0"



**2 OFFICE / MAINTENANCE EAST SECOND FLOOR**

3/16" = 1'-0"



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CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name:

OFFICE / MAINT.  
EAST - FLOOR  
PLANS

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

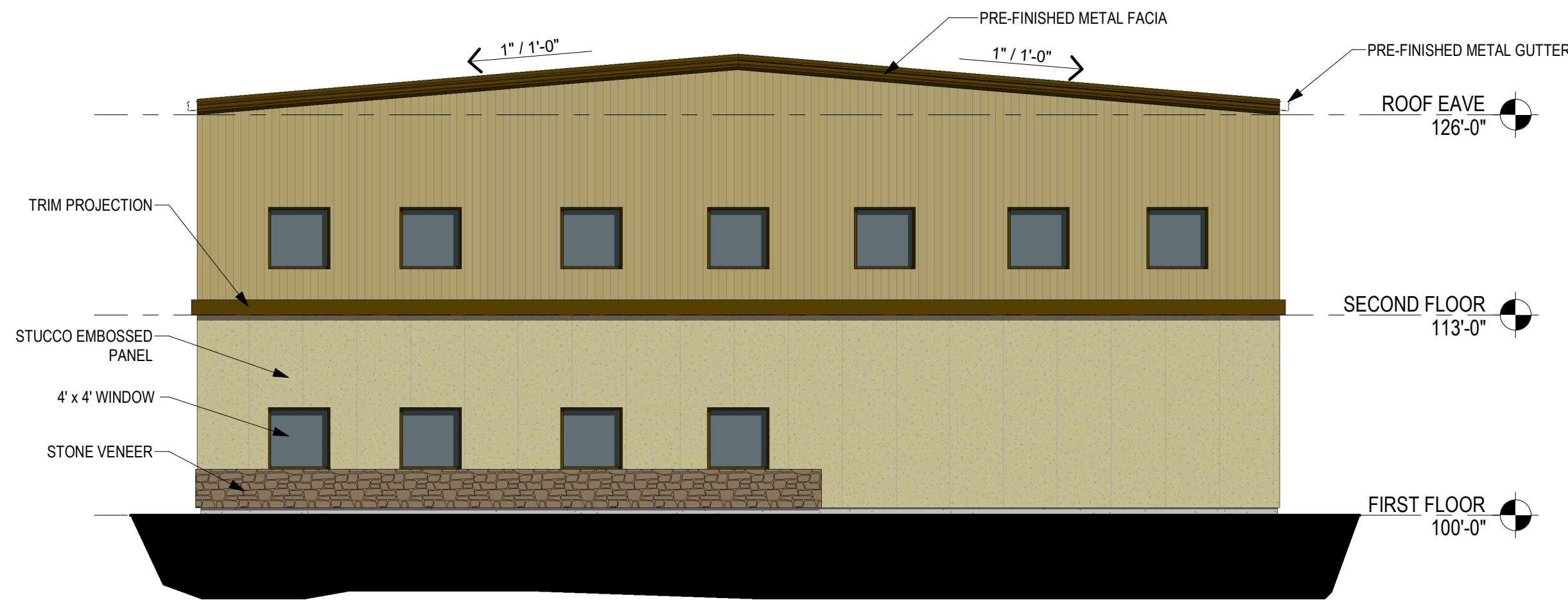
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

No.

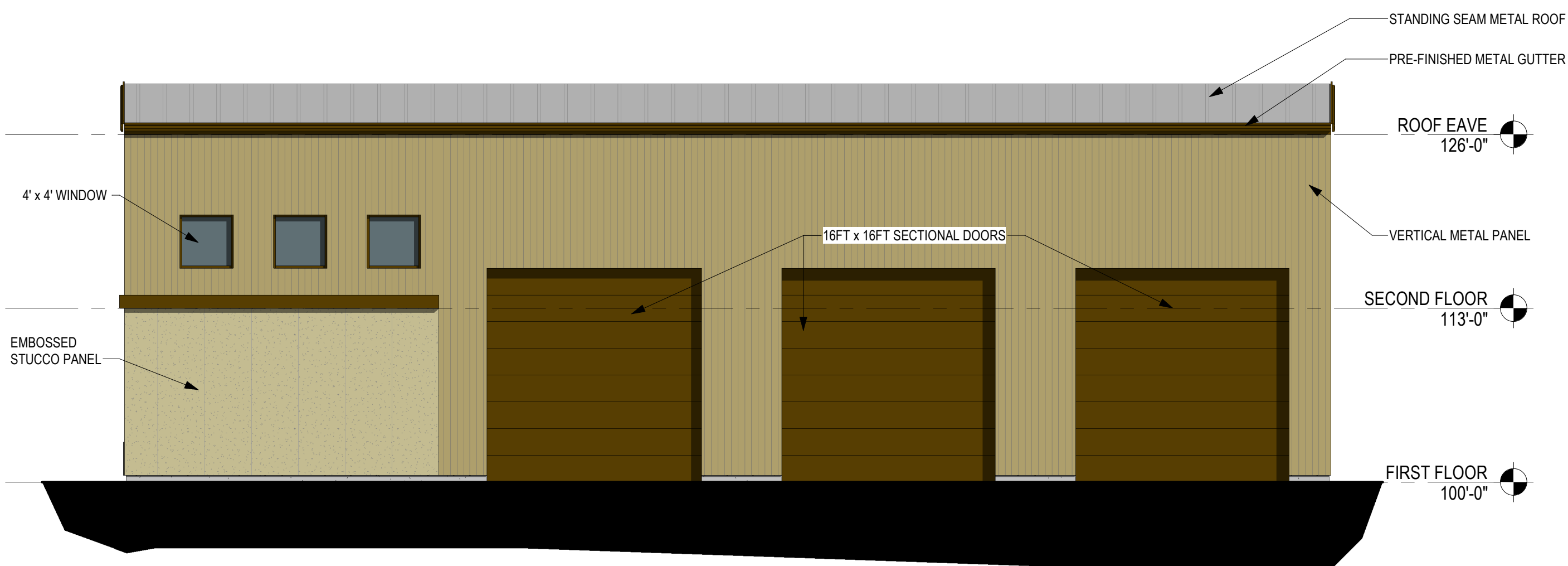
**A5**



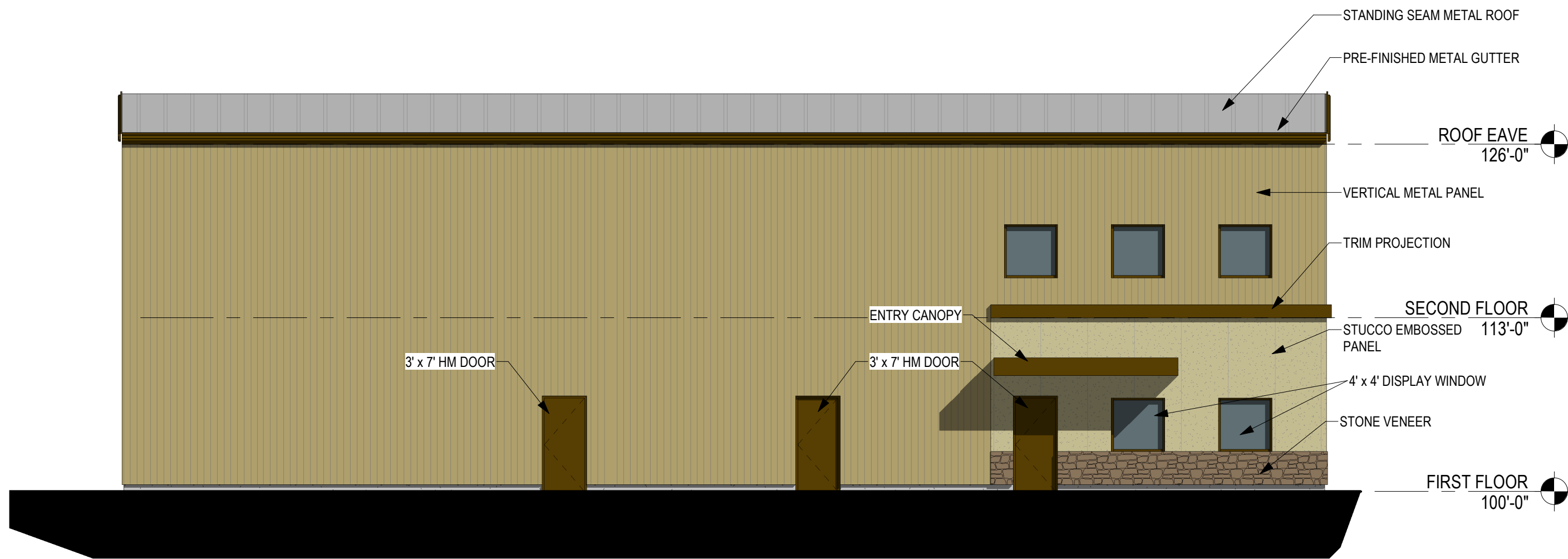
CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001



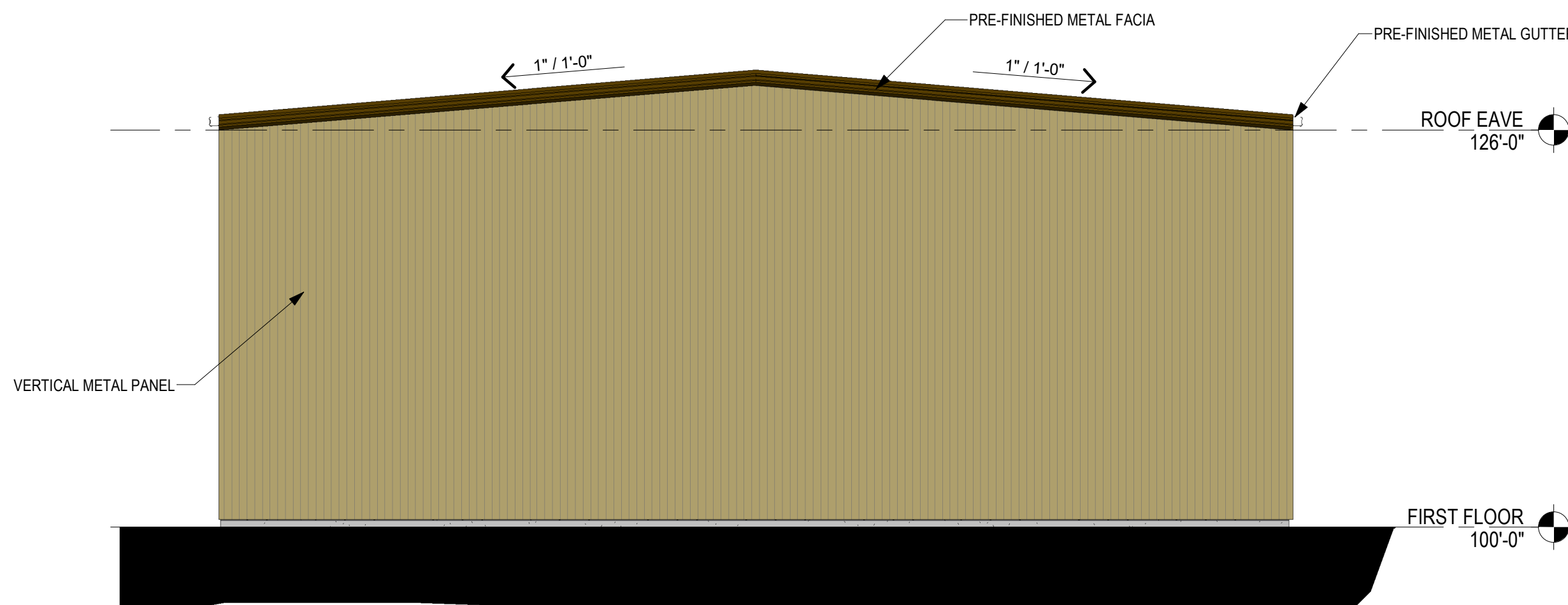
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



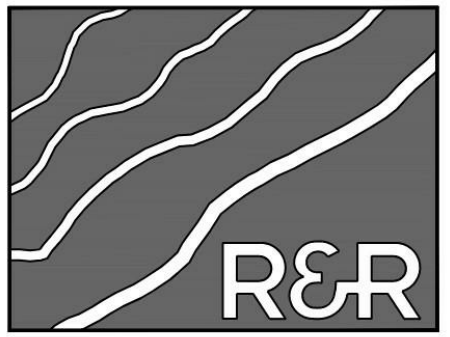
**2 EAST ELEVATION**  
1/8" = 1'-0"



**3 WEST ELEVATION**  
1/8" = 1'-0"



**4 NORTH ELEVATION**  
1/8" = 1'-0"



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CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name:

OFFICE / MAINT  
EAST -  
ELEVATIONS

(PIN) 0182513101001

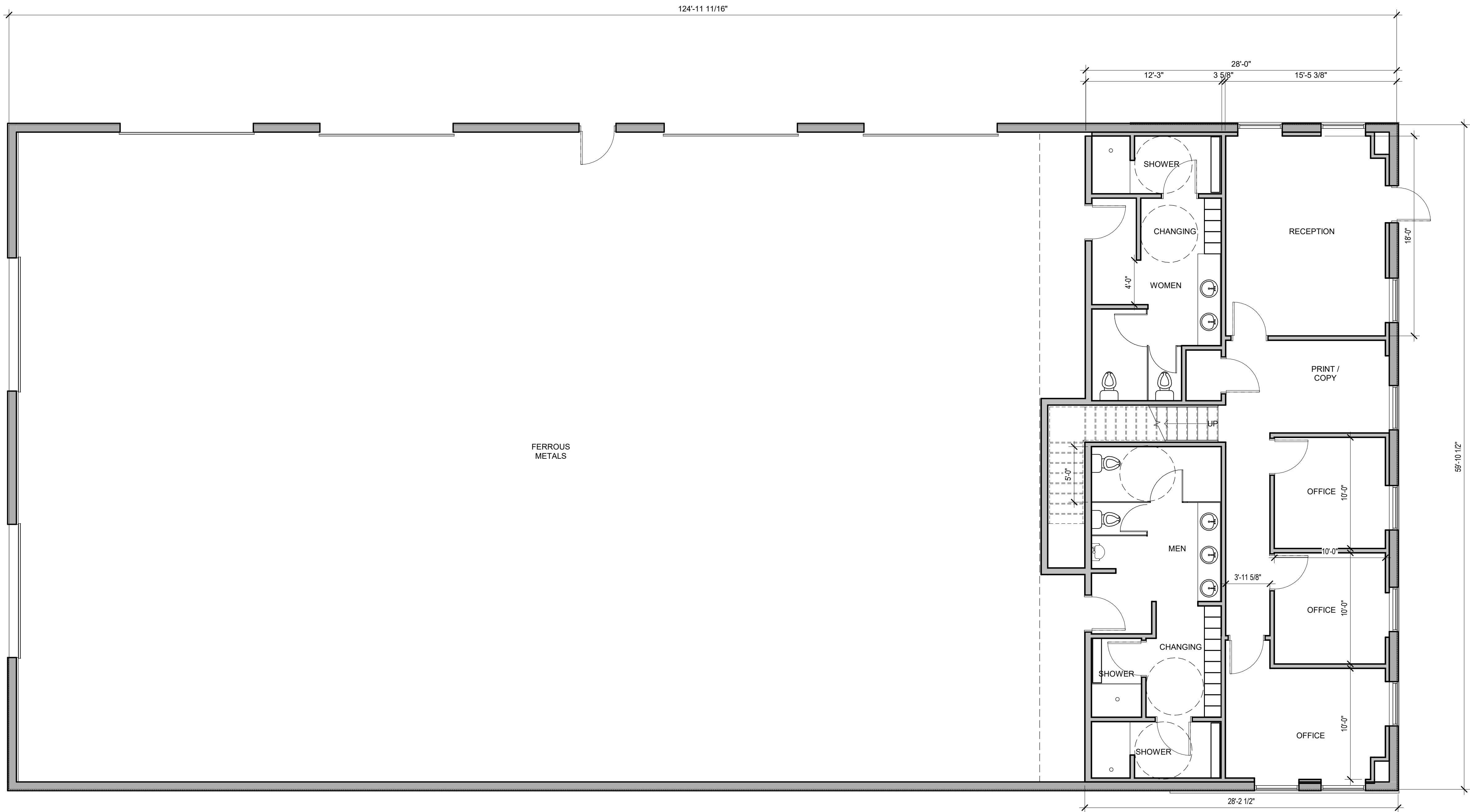
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

No.

**A6**

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001

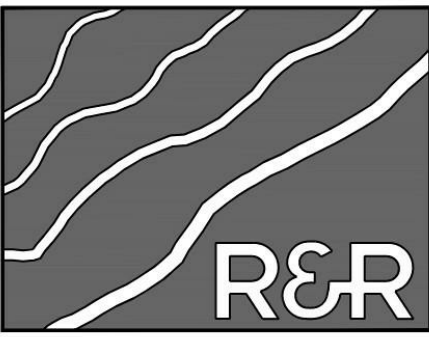


**1 OFFICE / MAINTENANCE WEST FIRST FLOOR**  
3/16" = 1'-0"

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
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THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



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CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

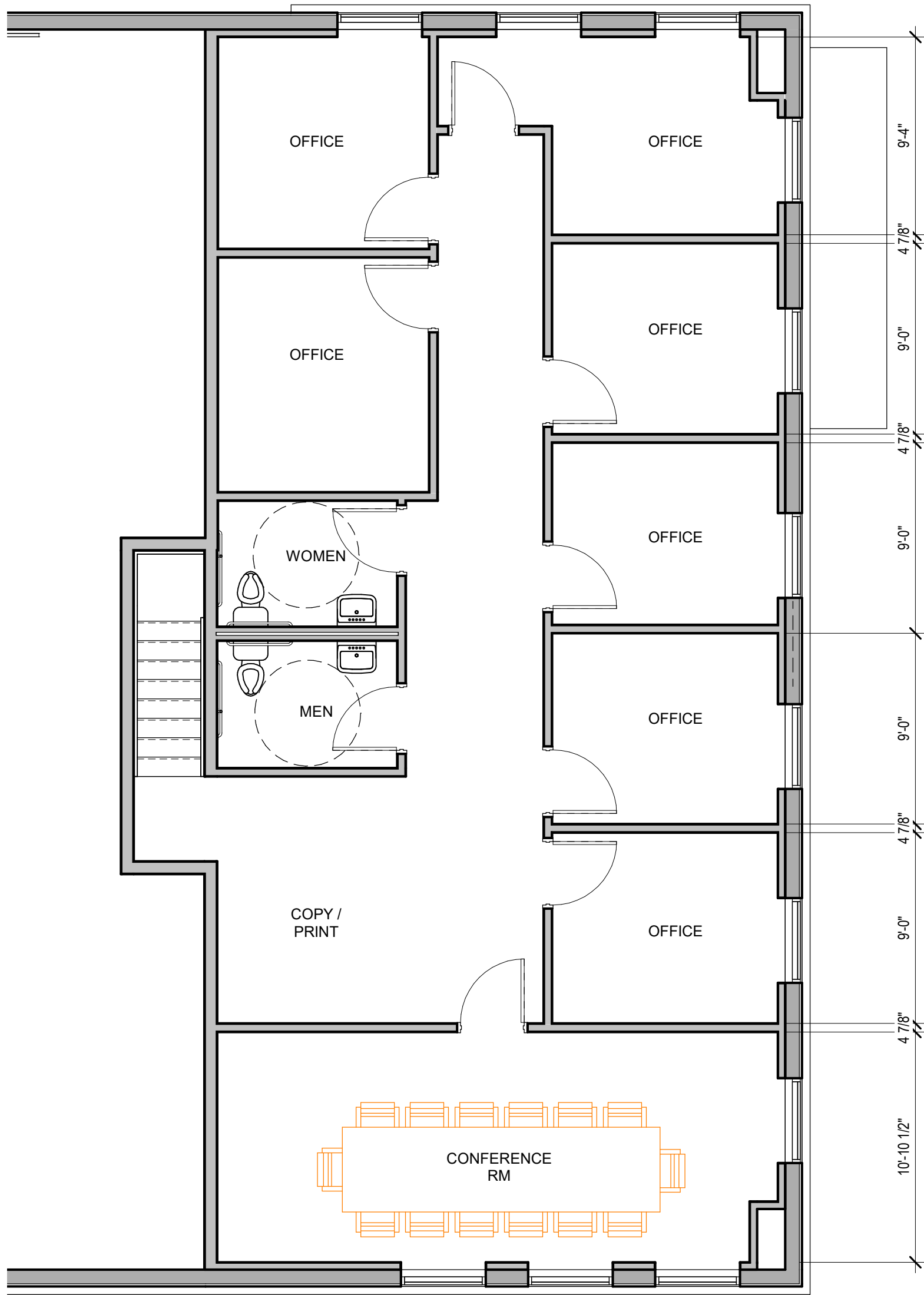
Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name: \_\_\_\_\_

OFFICE / MAINT.  
WEST - FLOOR  
PLANS

No.

A7

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001



**1 OFFICE / MAINTENANCE WEST SECOND FLOOR**  
3/16" = 1'-0"

(PIN) 0182513101001

CITY STAFF CERTIFICATE:  
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

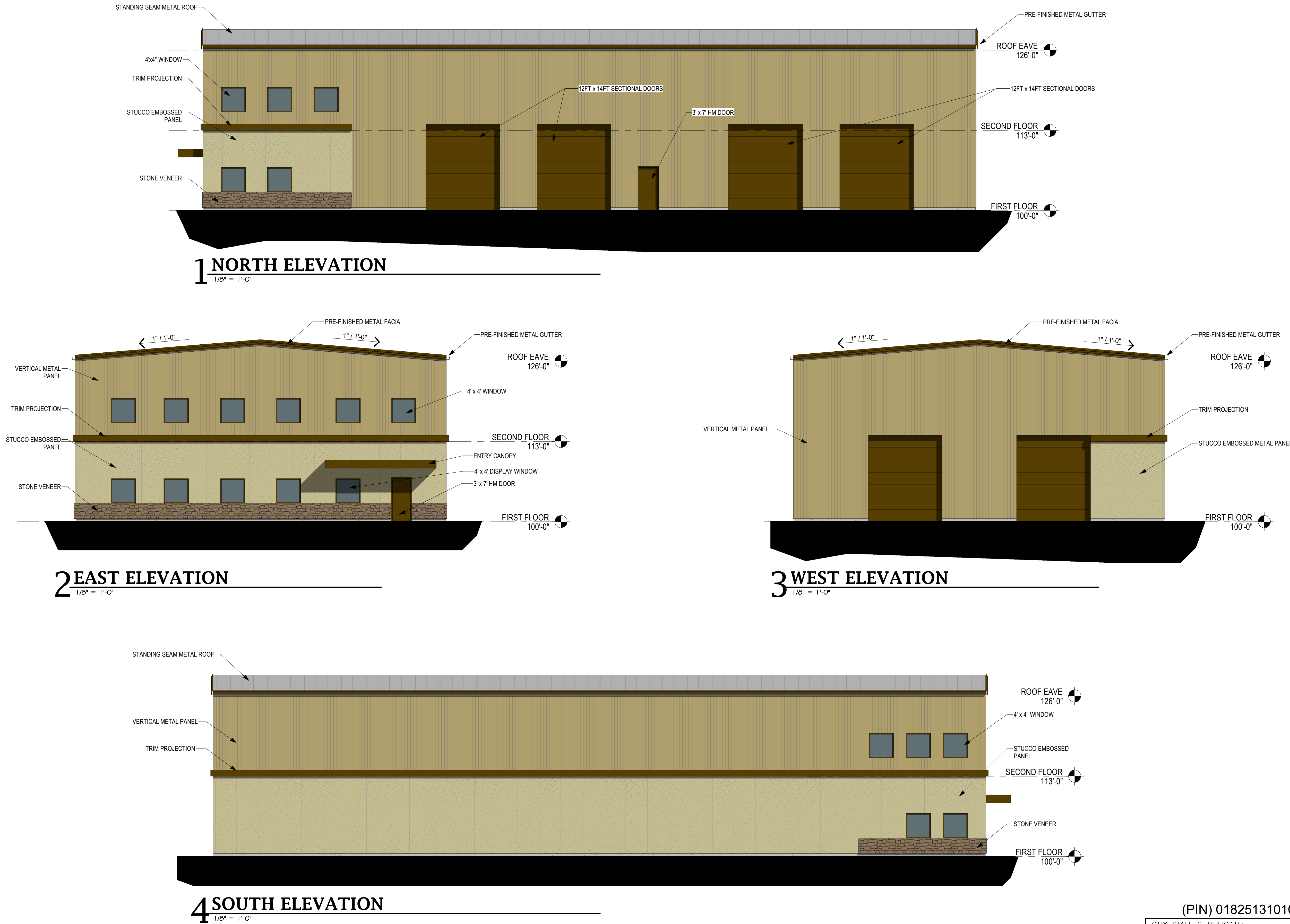
Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name: \_\_\_\_\_

OFFICE / MAINT.  
WEST - FLOOR  
PLANS

No.



CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
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CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 08/28/20  
Drawn: KEH  
Checked: KEH  
Name:

OFFICE / MAINT.  
WEST -  
ELEVATIONS

(PIN) 0182513101001

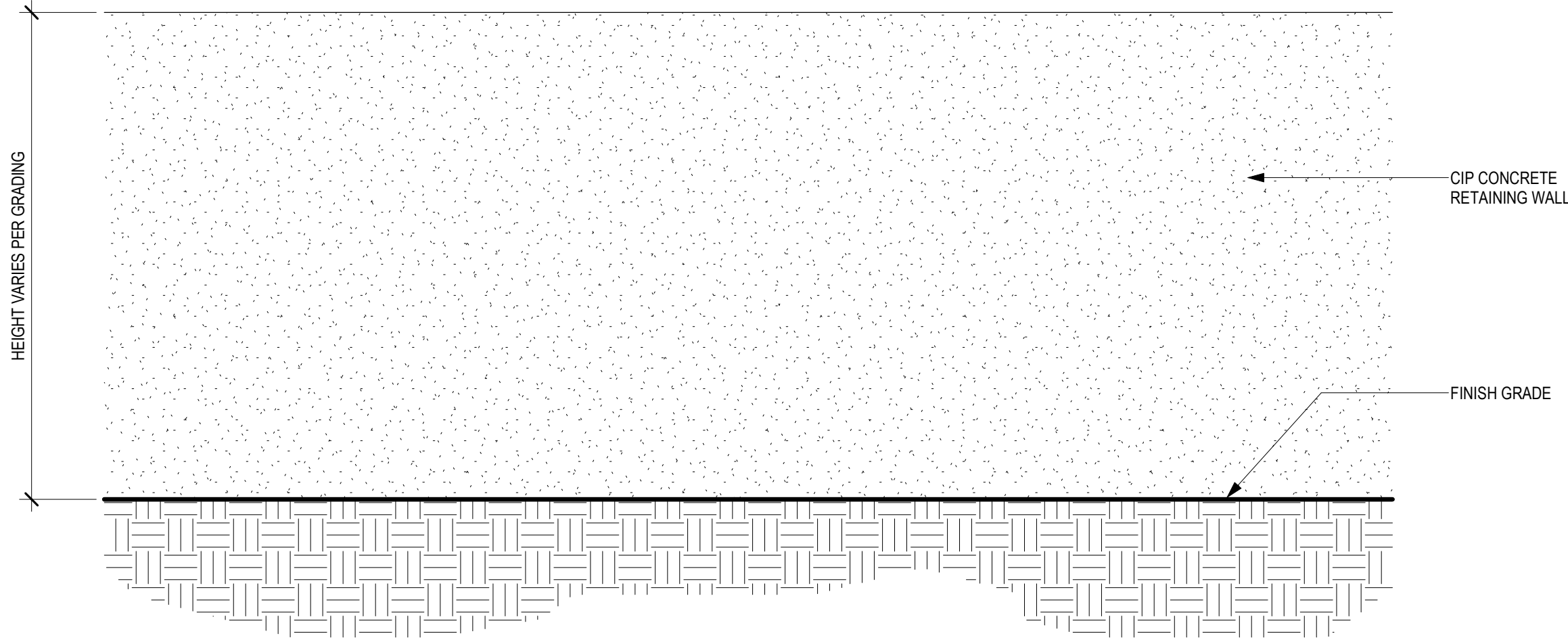
CITY STAFF CERTIFICATE:  
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THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

No.

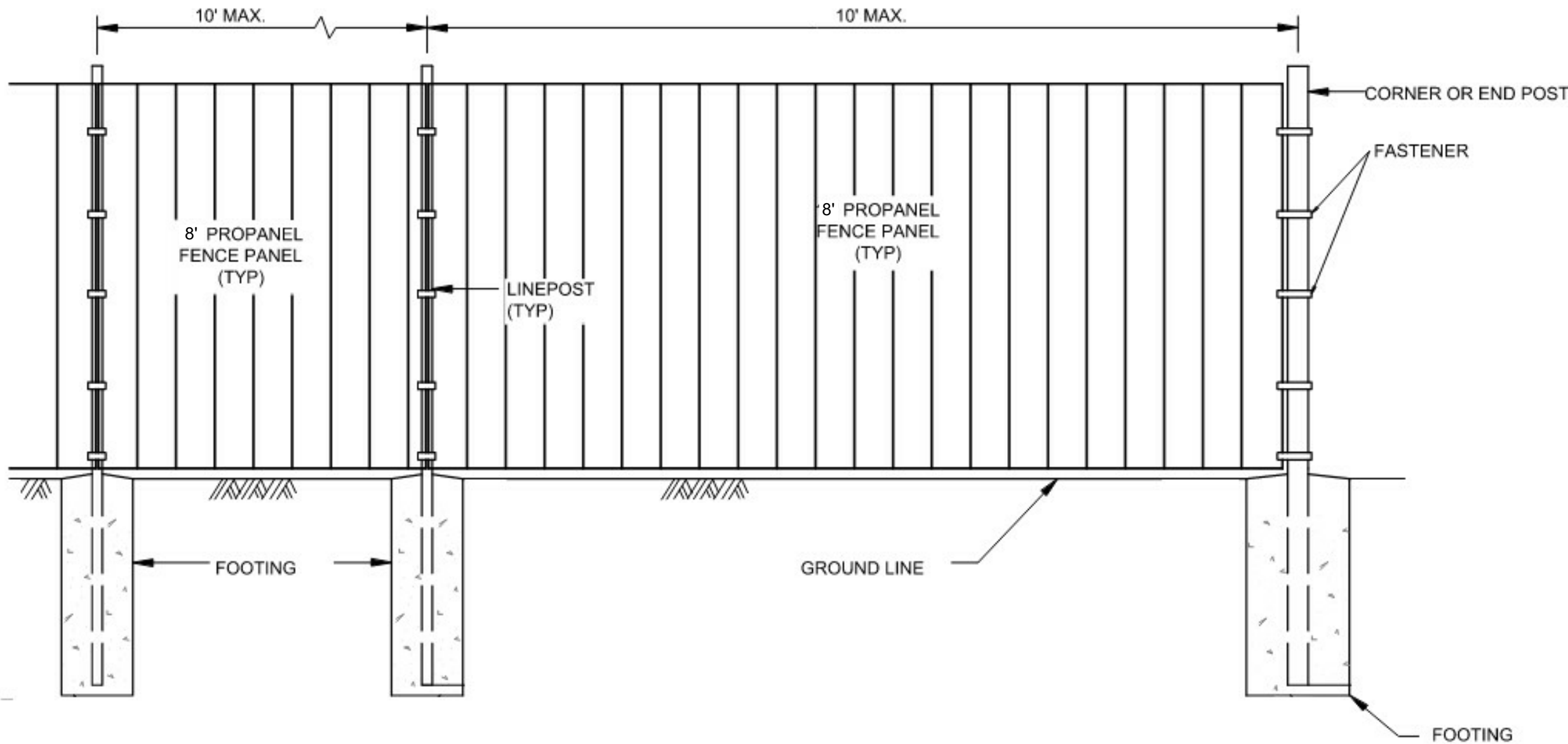
A9

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION  
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF  
ADAMS, STATE OF COLORADO  
(PIN) 0182513101001



**TYPICAL CONC RETAINING WALL ELEVATION**

N.T.S.



**TYPICAL PROPANEL FENCE ELEVATION**

N.T.S.

CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

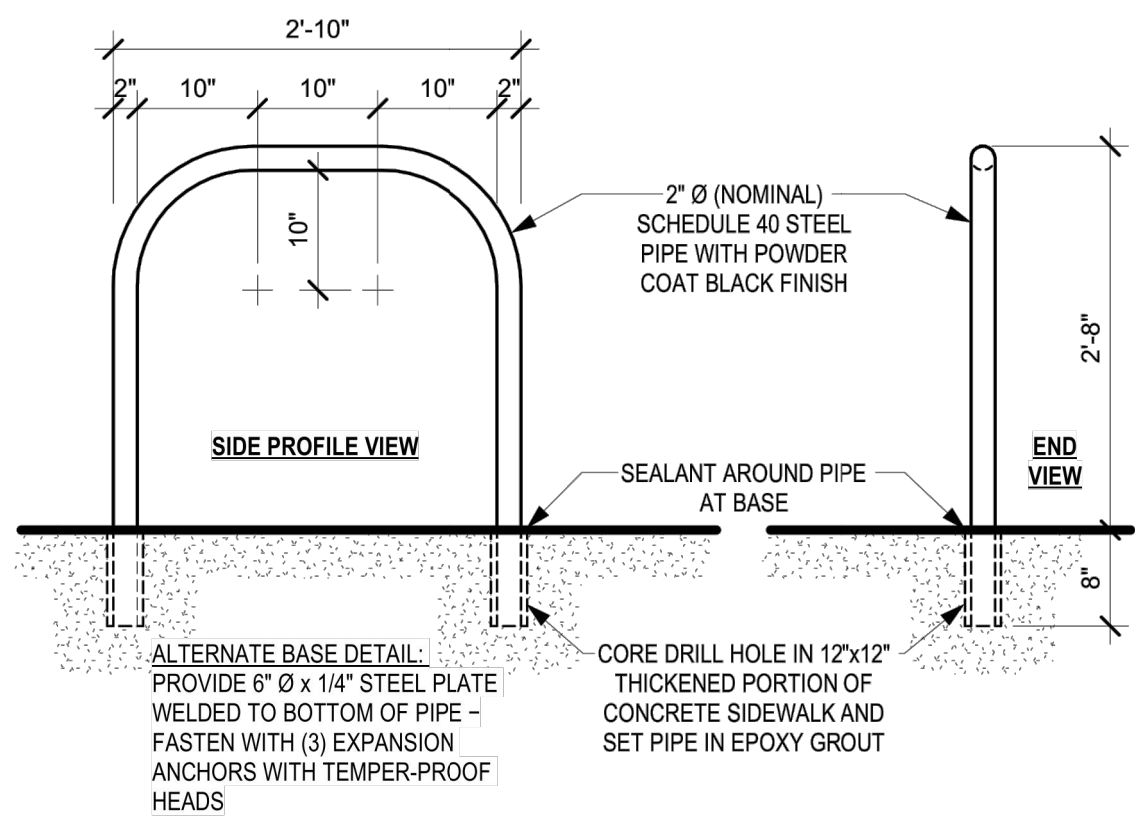
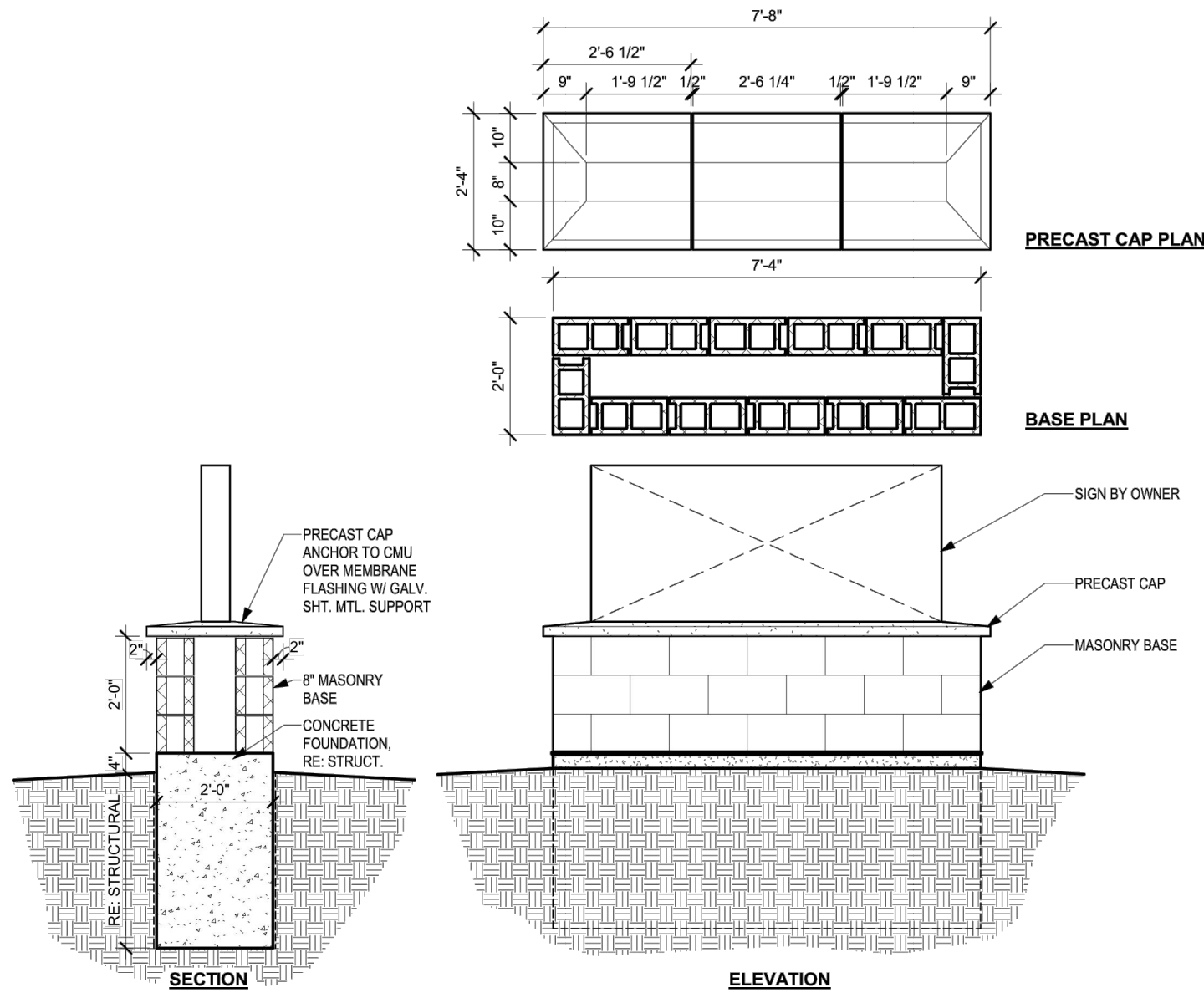
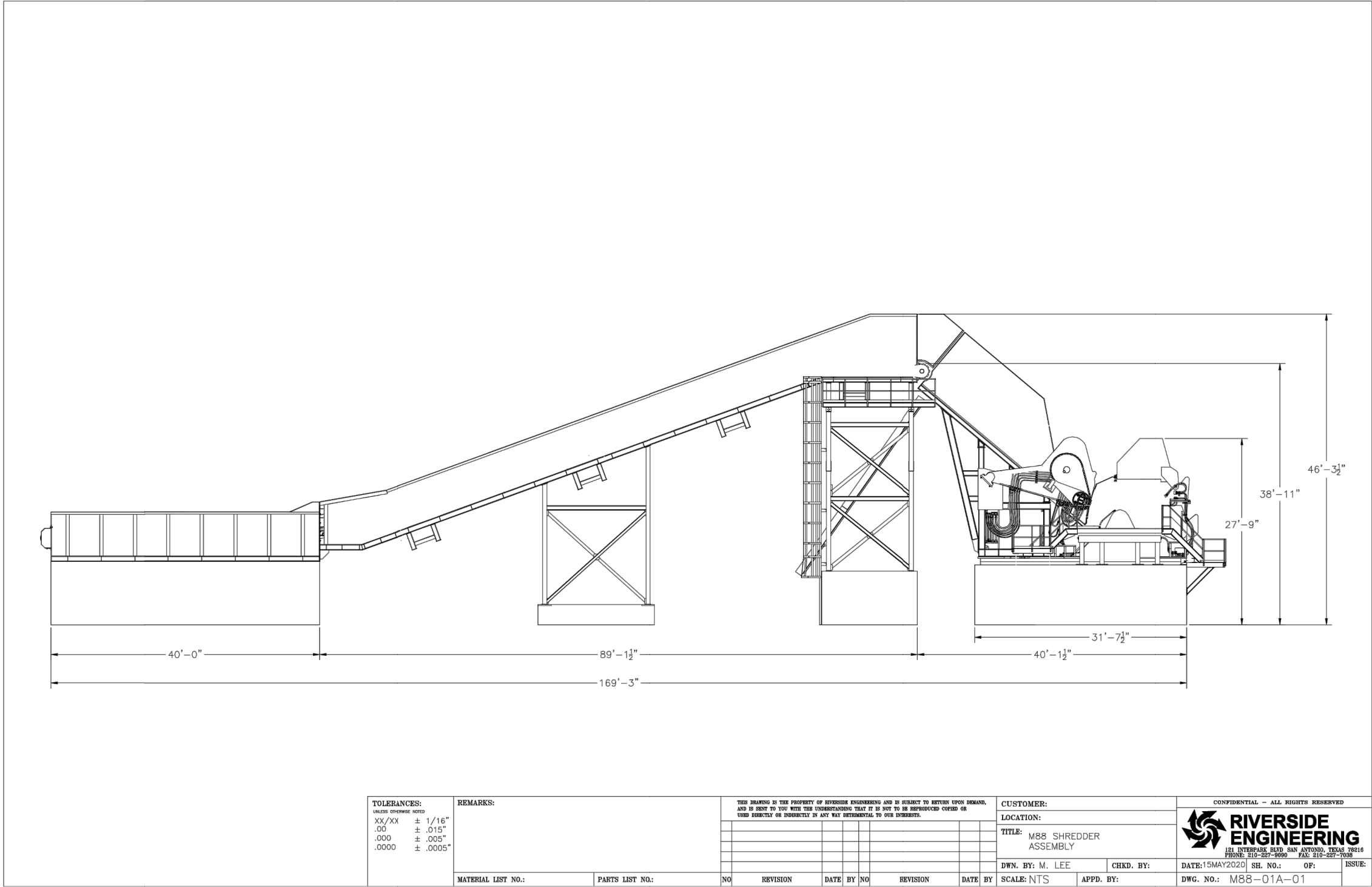
NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No.	RD19127
Date:	08/28/20
Drawn	KEH
Checked	KEH
Name	TYPICAL SITE FENCING AND SITE WALL ELEVATIONS
No.	A10

(PIN) 0182513101001  
CITY STAFF CERTIFICATE:  
APPROVED BY THE DEPARTMENT OF COMMUNITY  
DEVELOPMENT OF THE CITY OF COMMERCE CITY,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



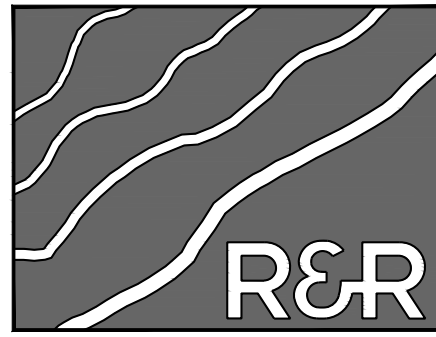
CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET  
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,  
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(PIN) 0182513101001



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CONDITIONAL USE PERMIT PLAN  
5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No. RD19127  
Date: 11/08/19  
Drawn: NGE  
Checked: CJD  
Name: \_\_\_\_\_

CUP  
DETAILS

No.

A11