#### DEVELOPMENT PLAN NOTES:

#### A. <u>LIGHTING NOTE:</u>

IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

#### TRASH ENCLOSURE NOTE:

TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY. MATERIAL AND COLOR AS THE MAIN BUILDING.

#### SCREENING NOTE:

ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

#### SIGNAGE NOTE

APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS FOR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

#### FENCING NOTE:

APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.

#### **DOWNSPOUT NOTE:**

NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

#### AMERICANS WITH DISABILITIES NOTE:

THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THE DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

#### UNDERGROUND UTILITY NOTE:

ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SITE DATA TAE	BLE - W	/EST	LOT	
AREA	SQUARE FEET	AC.	% OF TOTAL	
EXISTING BUILDING	0	0.00	0.00%	
BUILDING FOOTPRINT	14,860	0.34	5.9% *	*FAR = 0.059
HARDSCAPE/IMPERVIOUS	167,762	3.85	67.1%	
LANDSCAPE/POND AREA	26,150	0.60	10.5%	
RAILROAD SPUR AREA	15,975	0.37	6.4%	
UNDEVELOPED AREA (NORTH OF R.R. SPUR)	25,438	0.58	10.2%	
TOTAL SITE	250,185	5.74	100%	
BLDG CONST. AND. OCCUP.			TYPE II	
ZONING			1–3	_
SET	BACKS			
FRONT			20.0'	]
SIDES			25.0'	
BACK			25.0'	
PARKIN	G COUNTS	5		
REQUIRED 1 SP	ACE PER EN	/PLOYEE		
STANDARE	90° 9x19'	33	3 STALLS	
VAN ACCESSIBLE	90° 8×19'		STALLS	
TOTAL PARK	KING COUNT		LS + 5 BIKE SPACES	:

ESTIMATED # OF EMPLOYEES

SITE DATA TAB	LE – E	AST L	OT		
AREA	SQUARE FEET		% OF TOTAL		
EXISTING BUILDING	0	0.00	N/A		
BUILDING FOOTPRINT	35,810	0.82	22.4% *		
HARDSCAPE/IMPERVIOUS	97,233	2.23	60.9%		
LANDSCAPE/POND AREA	16,230	0.37	10.2%		
RAILROAD SPUR AREA	3,758	0.09	2.4%		
UNDEVELOPED AREA (NORTH OF R.R. SPUR)	1 6645 1 115 1 119				
TOTAL SITE	159,726	3.67 100%			
BLDG. CONS. AND OCCUP.		TYPE II			
ZONING		1–3			
SETE	BACKS				
FRONT 20.0'					
SIDES 25.0'					
BACK		25.0'			
PARKINO	COUNTS				
REQUIRED 1 SPA	CE PER EM	PLOYEE			
STANDARD	90° 9×19		50		
VAN ACCESSIBLE	90° 8×19'		1		
TOTAL PARK	(ING COUNT	l	LS + 4 BIK SPACES		
ESTIMATED # OF	EMPLOYEES		40		

COLORADO BLVD	VASQUEZ BLVD		
$\downarrow$	4 SQUE	E 60TH AVE	
BRUTIUM BY TO SEE SETH AVE	T.e.zo		
MILW E 52TH AVE	PROJECT LOCATION	DAHLIA ST	
KEE ST			

#### **VICINITY MAP** SCALE 1" = 500'

#### **CONTACT LIST**

OWNER:	
MONROE STREET PARTNERS WEST,	L
2801 WEST MANSFIELD AVE.	
ENGLEWOOD, CO 80110	
(303) 699-6005	
CONTACT: ED DOLAN	

CIVIL ENGINEER: R&R ENGINEERS & SURVEYOR'S, INC. 1635 WEST 13TH AVENUE, SUITE 310, DENVER, COLORADO 80204 (303) 753-6730CONTACT: CLIF DAYTON

MECHANICAL ENGINEER: ADDRESS **ADDRESS** PHONE CONTACT:

SURVEYOR: R&R ENGINEERS & SURVEYORS, INC. 1635 WEST 13TH AVENUE SUITE 310 (303) 753-6730CONTACT: ANTONIO SMITH

LANDSCAPE ARCHITECT: LC STACKLOT 5639 SOUTH CURTICE ST. LITTLETON, CO 80120 (303) 808-4523 CONTACT: STEVE WIENS

WATER: SOUTH ADAMS COUNTY WATER & SANITATION DISTRICT 6595 EAST 70TH AVENUE, COMMERCE CITY, COLORADO 80037 (303) 288-2646

SANITATION: SOUTH ADAMS COUNTY WATER & SANITATION DISTRICT 6595 EAST 70TH AVENUE, COMMERCE CITY, COLORADO 80037 (303) 288-2646

SOUTH ADAMS COUNTY FIRE DEPARTMENT 6050 SYRACUSE STREET COMMERCE CITY, COLORADO 80022 (303) 288-0835

SHEET C1

SHEET C4/

#### SHEET LIST TABLE SHEET TITLE SHEET# **COVER SHEET** G1 SITE PLAN (WEST) SITE PLAN (CENTER) C2

SITE PLAN (EAST) UTILITY PLAN (WEST) C4 UTILITY PLAN (CENTER)

UTILITY PLAN (EAST)

FIRE TRUCK ACCESS AND PAVEMENT PLAN (WEST) FIRE TRUCK ACCESS AND PAVEMENT PLAN (CENTER)

FIRE TRUCK ACCESS AND PAVEMENT PLAN (EAST) C9 LANDSCAPE PLAN (BY OTHERS)

LANDSCAPE PLAN (BY OTHERS)

LANDSCAPE PLAN (BY OTHERS) L3 LANDSCAPE PLAN (BY OTHERS)

LANDSCAPE PLAN (BY OTHERS) LANDSCAPE PLAN (BY OTHERS) L6

LANDSCAPE PLAN (BY OTHERS) L7

PHOTOMETRIC PLAN (BY OTHERS) LT1

LIGHTING DETAILS (BY OTHERS) LT2 TRANSFER STATION - FLOOR PLAN (BY OTHERS)

TRANSFER STATION - ELEVATIONS (BY OTHERS) NON-FERROUS METALS - FLOOR PLAN (BY OTHERS)

NON-FERROUS METALS - ELEVATIONS (BY OTHERS) A4

OFFICE/MAINT. EAST - FLOOR PLANS (BY OTHERS)

OFFICE/MAINT. EAST - ELEVATIONS (BY OTHERS) OFFICE/MAINT. WEST - FLOOR PLANS (BY OTHERS)

OFFICE/MAINT. WEST - FLOOR PLANS (BY OTHERS) OFFICE/MAINT. WEST - ELEVATIONS (BY OTHERS)

TYP. SITE FENCING /WALL ELEVATIONS (BY OTHERS)

A11 CUP DETAILS

# PHONE: 303-753-6730

SHEET C3

SHEET C6

SHEET C2

SHEET C5

KEY MAP SCALE: 1"=500'

# **PERMIT PLAN** SE TR $\mathbb{R}^{N}$ CONDITIONAL U

NO.	REVISION	BY	DATE
1_	CUP 2ND SUBMITTAL	CLY	6/16/20
_2	CUP 3RD SUBMITTAL	CLY	8/28/20
,		•	

Job No.	RD19127	
Date:	11/08/19	
Drawn	NGE	
Checked	CJD	
Name		

**COVER** SHEET

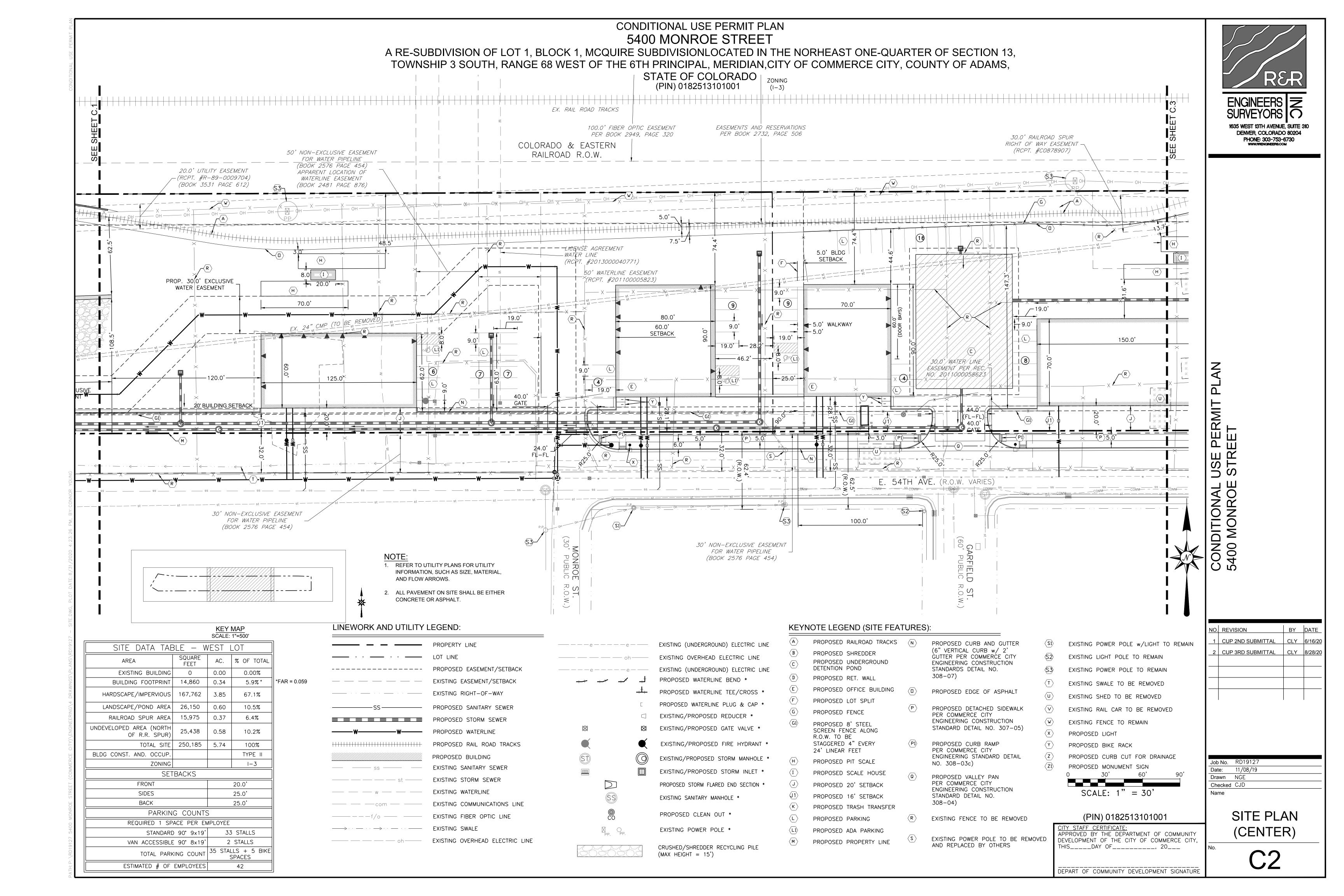
G<sup>1</sup>

(PIN) 0182513101001

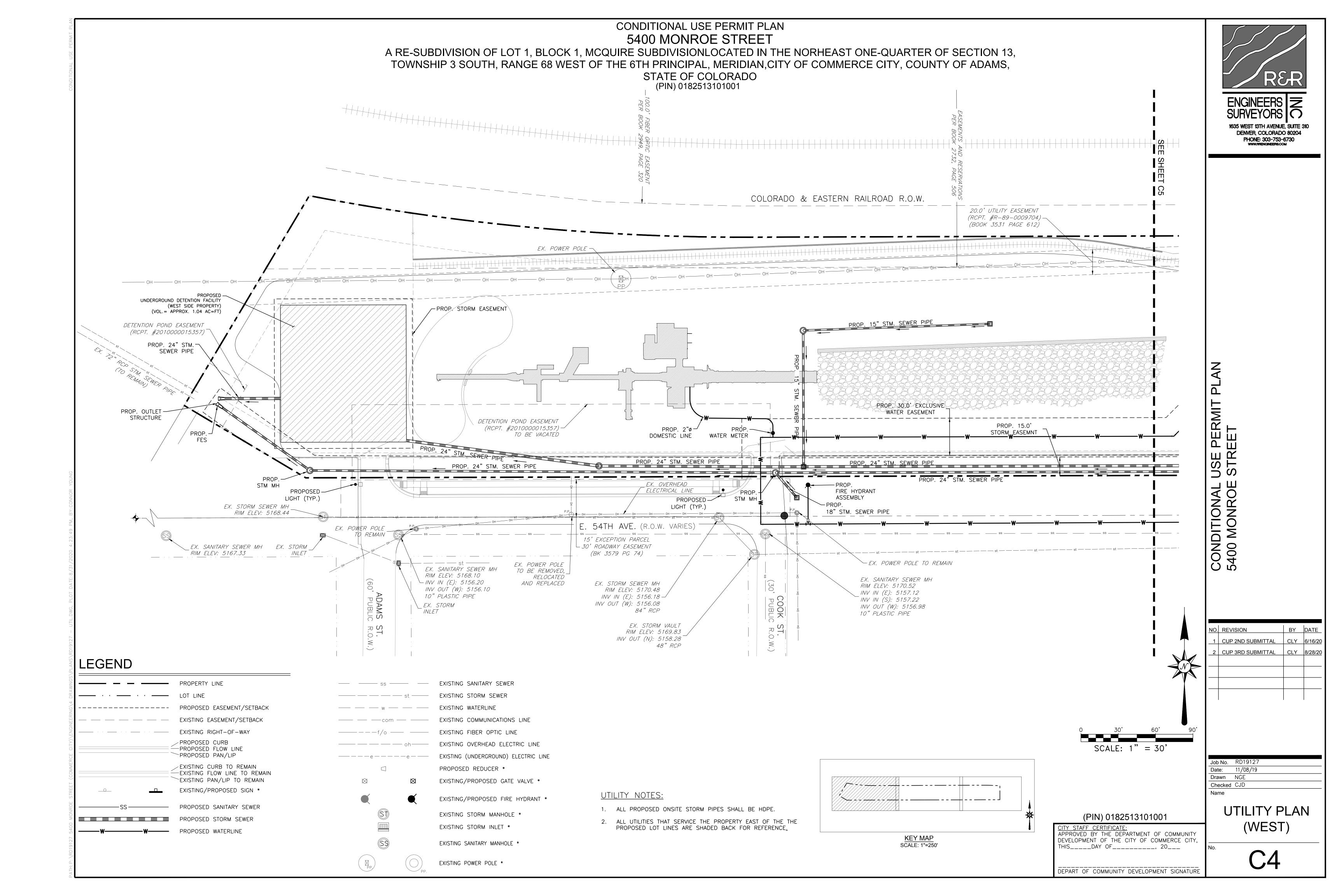
<u>CITY STAFF CERTIFICATE:</u> APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY. THIS\_\_\_\_\_, 20\_\_\_\_

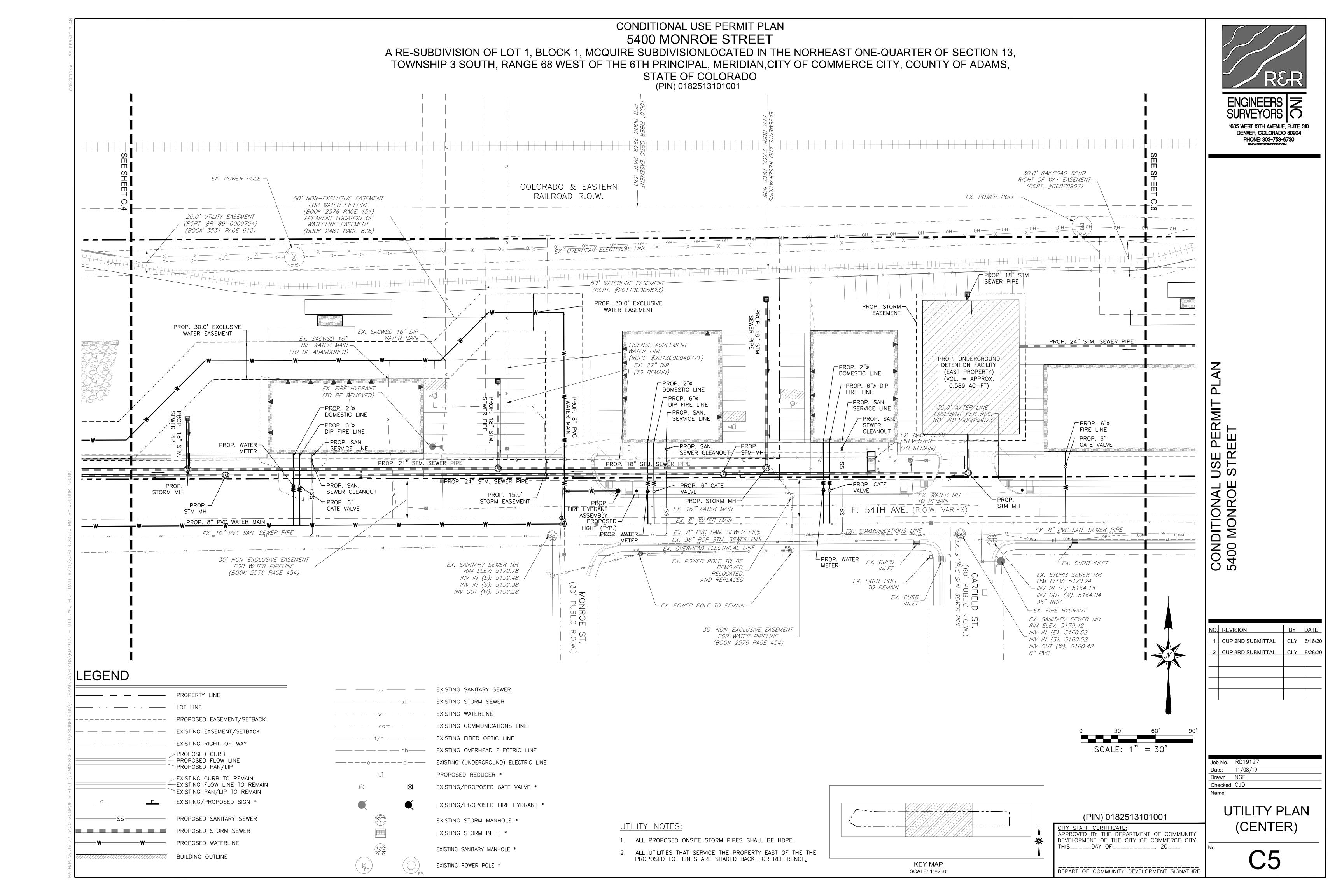
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

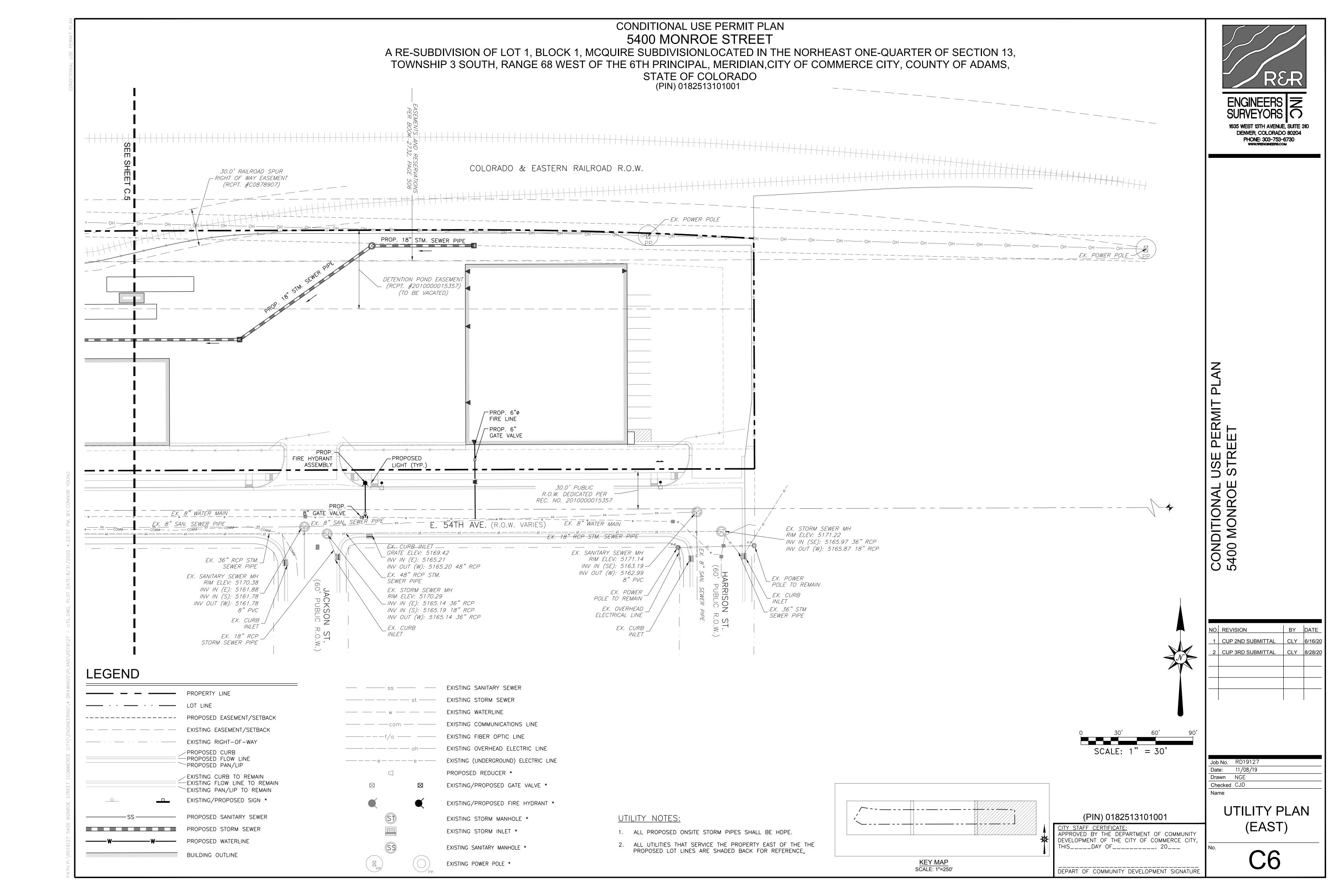
#### CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISIONLOCATED IN THE NORHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO (PIN) 0182513101001 ENGINEERS SURVEYORS EASEMENTS AND RESERVATIONS PER BOOK 2732, PAGE 506 100.0' FIBER OPTIC EASEMENT PER BOOK 2949, PAGE 320 PHONE: 303-753-6730 COLORADO & EASTERN RAILROAD R.O.W. (RCPT. #R-89-0009704)-(BOOK 3531 PAGE 612) ZONING (1-3)- MAX RETAINING WALL PROPOSED UNDERGROUND -DETENTION FACILITY HEIGHT = APPROX. 4' DETENTION POND EASEMENT + (RCPT. #2010000015357) (TO BE VACATED) DETENTION POND EASEMENT (RCPT. #2010000015357)— (TO BE VACATED) 325.0' PROP. 30.0' EXCLUSIVE WAYER EASEMENT SE PERMIT | STREET 20' BUILDING SETBACK E. 54TH AVE. (R.O.W. VARIES) $\sum_{i=1}^{n} S_i$ CONDITIONAL 15400 MONROE 15' EXCEPTION PARCEL -*30' ROADWAY EASEMENT* (BK 3579 PG 74) 1. REFER TO UTILITY PLANS FOR UTILITY INFORMATION, SUCH AS SIZE, MATERIAL, AND FLOW ARROWS. 2. ALL PAVEMENT ON SITE SHALL BE EITHER CONCRETE OR ASPHALT. $^{2}$ $^{\circ}$ SCALE: 1" = 30'**KEYNOTE LEGEND (SITE FEATURES):** BY DATE LINEWORK AND UTILITY LEGEND: NO. REVISION **KEY MAP** PROPOSED RAILROAD TRACKS $\langle N \rangle$ PROPOSED CURB AND GUTTER EXISTING POWER POLE w/LIGHT TO REMAIN SCALE: 1"=500' 1 CUP 2ND SUBMITTAL (6" VERTICAL CURB w/ 2" PROPOSED SHREDDER EXISTING OVERHEAD ELECTRIC LINE GUTTER PER COMMERCE CITY EXISTING LIGHT POLE TO REMAIN SITE DATA TABLE - WEST LOT 2 CUP 3RD SUBMITTAL PROPOSED UNDERGROUND ENGINEERING CONSTRUCTION SQUARE FEET EXISTING (UNDERGROUND) ELECTRIC LINE DETENTION POND STANDARDS DETAIL NO. EXISTING POWER POLE TO REMAIN AC. | % OF TOTAL 308-07) PROPOSED WATERLINE BEND \* PROPOSED RET. WALL ----- PROPOSED EASEMENT/SETBACK EXISTING BUILDING 0.00 0.00% 0 EXISTING SWALE TO BE REMOVED PROPOSED WATERLINE TEE/CROSS PROPOSED OFFICE BUILDING PROPOSED EDGE OF ASPHALT 14,860 \*FAR = 0.0590.34 5.9% \* EXISTING EASEMENT/SETBACK BUILDING FOOTPRINT EXISTING SHED TO BE REMOVED PROPOSED LOT SPLIT PROPOSED WATERLINE PLUG & CAP \* 167,762 EXISTING RIGHT-OF-WAY HARDSCAPE/IMPERVIOUS 3.85 PROPOSED DETACHED SIDEWALK EXISTING RAIL CAR TO BE REMOVED PROPOSED FENCE PER COMMERCE CITY EXISTING/PROPOSED REDUCER \* LANDSCAPE/POND AREA 26,150 0.60 10.5% PROPOSED SANITARY SEWER ENGINEERING CONSTRUCTION EXISTING FENCE TO REMAIN PROPOSED 8' TALL EXISTING/PROPOSED GATE VALVE \* STANDARD DETAIL NO. 307-05) RAILROAD SPUR AREA 15,975 6.4% PROPOSED STORM SEWER STEEL SCREEN FENCE PROPOSED LIGHT ALONG R.O.W. TO BE UNDEVELOPED AREA (NORTH 25,438 10.2% EXISTING/PROPOSED FIRE HYDRANT \* PROPOSED WATERLINE STAGGERED 4" EVERY PROPOSED CURB RAMP OF R.R. SPUR) PROPOSED BIKE RACK PER COMMERCE CITY 24' LINEAR FEET PROPOSED RAIL ROAD TRACKS TOTAL SITE | 250,185 | 5.74 100% ENGINEERING STANDARD DETAIL PROPOSED CURB CUT FOR DRAINAGE EXISTING/PROPOSED STORM MANHOLE \* PROPOSED PIT SCALE NO. 308-03c) BLDG CONST. AND. OCCUP TYPE II EXISTING SANITARY SEWER EXISTING/PROPOSED STORM INLET \* PROPOSED MONUMENT SIGN PROPOSED SCALE HOUSE ZONING 1-3 PROPOSED VALLEY PAN Date: 11/08/19 EXISTING STORM SEWER PROPOSED STORM FLARED END SECTION \* PER COMMERCE CITY SETBACKS Drawn NGE PROPOSED 20' SETBACK ENGINEERING CONSTRUCTION EXISTING WATERLINE Checked CJD FRONT 20.0' EXISTING SANITARY MANHOLE \* STANDARD DETAIL NO. PROPOSED 16' SETBACK Name EXISTING COMMUNICATIONS LINE 308-04) 25.0' SIDES PROPOSED TRASH TRANSFER PROPOSED CLEAN OUT \* BACK 25.0' EXISTING FIBER OPTIC LINE EXISTING FENCE TO BE REMOVED PROPOSED PARKING SITE PLAN (PIN) 0182513101001 PARKING COUNTS EXISTING SWALE EXISTING POWER POLE \* PROPOSED ADA PARKING REQUIRED 1 SPACE PER EMPLOYEE CITY STAFF CERTIFICATE: APPROVED BY THE DEPARTMENT OF COMMUNITY (WEST) EXISTING POWER POLE TO BE REMOVED EXISTING OVERHEAD ELECTRIC LINE PROPOSED PROPERTY LINE STANDARD 90° 9x19' 33 STALLS AND REPLACED BY OTHERS DEVELOPMENT OF THE CITY OF COMMERCE CITY, CRUSHED/SHREDDER RECYCLING PILE EXISTING (UNDERGROUND) ELECTRIC LINE 2 STALLS VAN ACCESSIBLE 90° 8×19' THIS\_\_\_\_\_, 20\_\_\_\_ (MAX HEIGHT = 15')TOTAL PARKING COUNT 35 STALLS + 5 BIKE SPACES ESTIMATED # OF EMPLOYEES DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

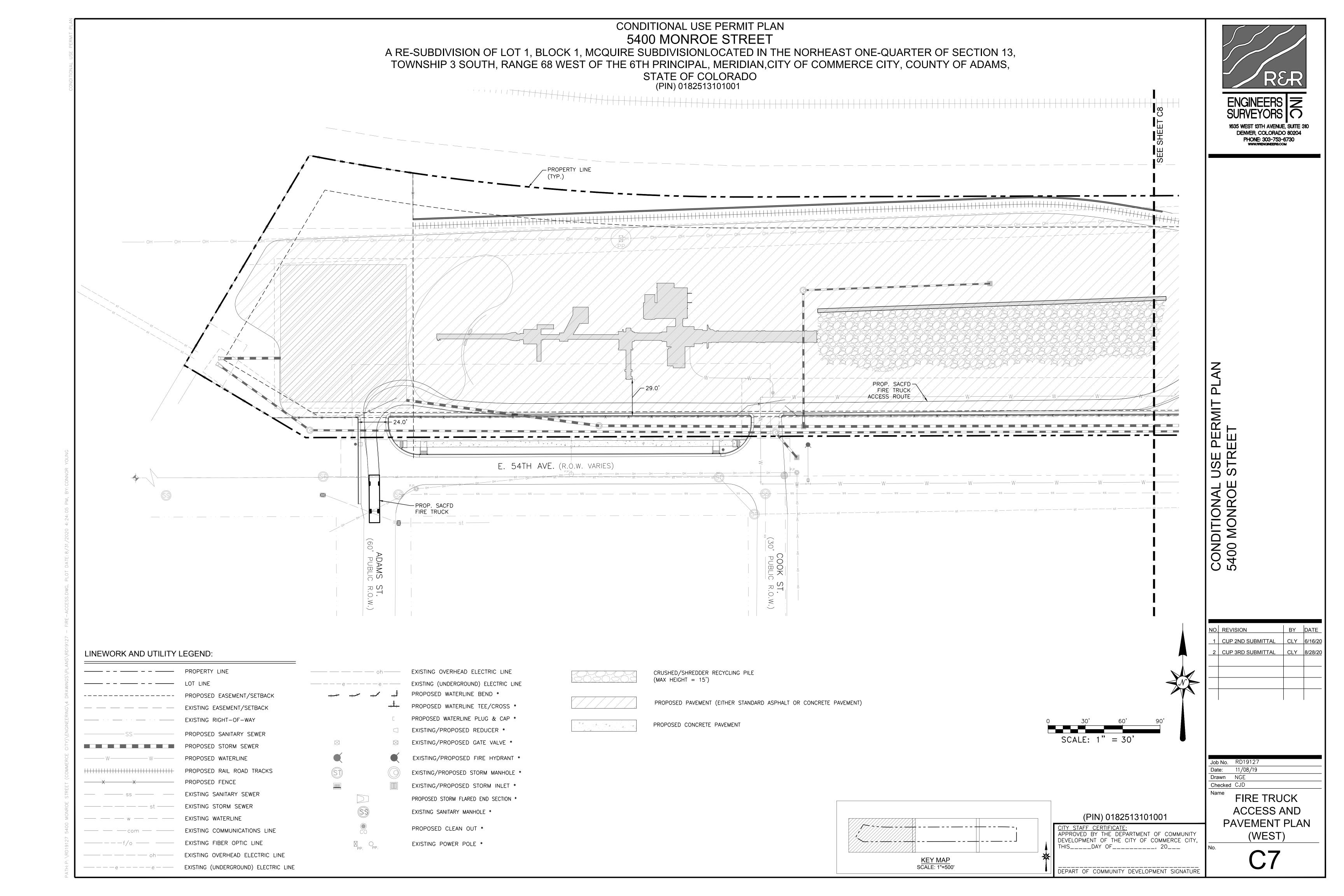


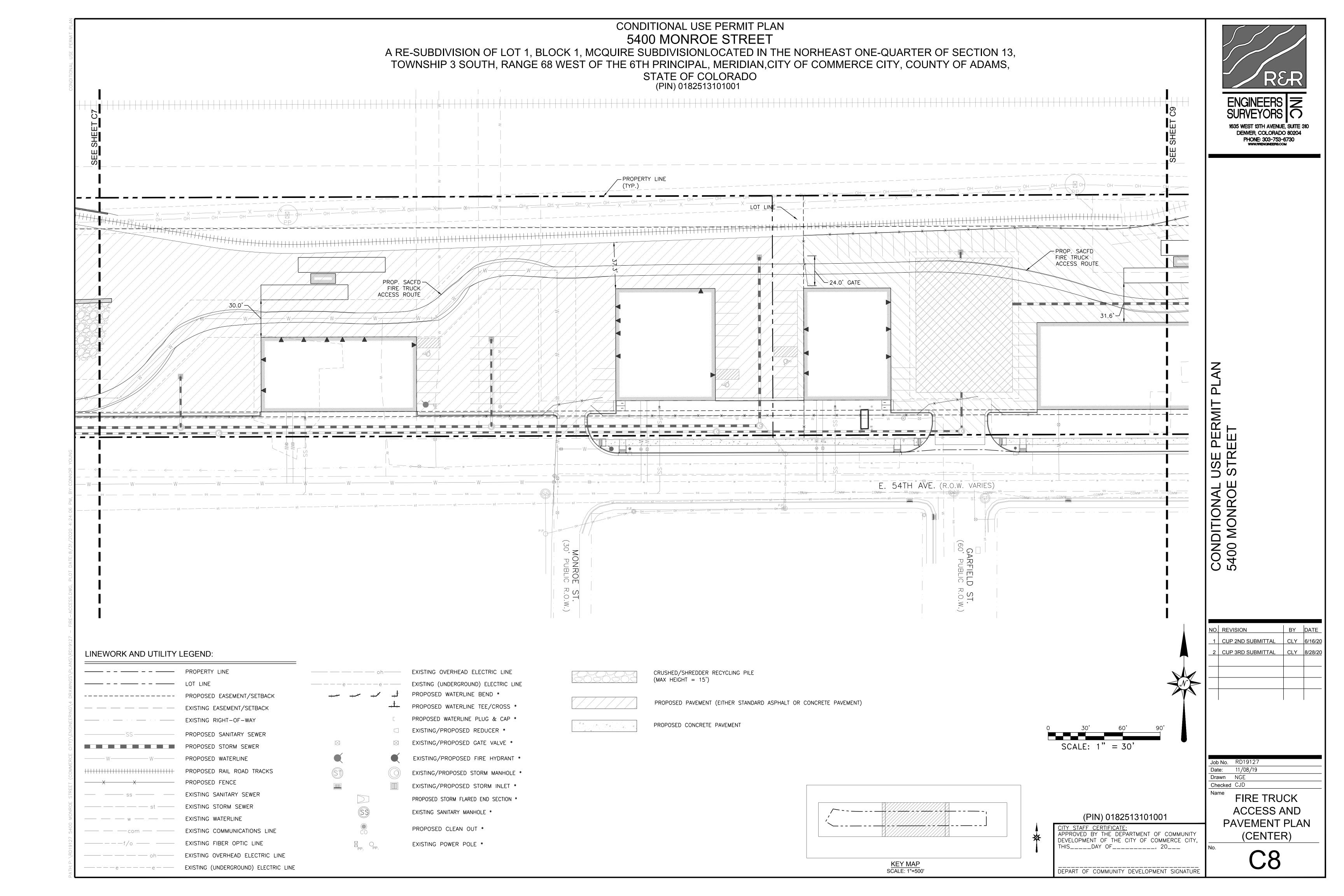
#### CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISIONLOCATED IN THE NORHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO (PIN) 0182513101001 ENGINEERS SURVEYORS (1-3)EASEMENTS AND RESERVATIONS PER BOOK 2732, PAGE 506 PHONE: 303-753-6730 30.0' RAILROAD SPUR RIGHT OF WAY EASEMENT COLORADO & EASTERN RAILROAD R.O.W. DETENTION POND EASEMENT SITE DATA TABLE - EAST LOT (RCPT. #2010000015357) SQUARE (TO BE VACATED) % OF TOTAL FEET 0.00 EXISTING BUILDING 0 N/A \*FAR = 0.22 35,810 22.4% \* BUILDING FOOTPRINT 0.82 HARDSCAPE/IMPERVIOUS 97,233 2.23 60.9% LANDSCAPE/POND AREA 16,230 0.37 10.2% RAILROAD SPUR AREA 3,758 0.09 2.4% UNDEVELOPED AREA (NORTH 0.15 4.2% OF R.R. SPUR) 238.0 TOTAL SITE 159,726 3.67 100% BLDG. CONS. AND OCCUP TYPE II 1-3 ZONING ZONING SETBACKS (1-3)FRONT 20.0 USE PERMIT F STREET SIDES 25.0 BACK 25.0' 20' BUILDING SETBACK PARKING COUNTS REQUIRED 1 SPACE PER EMPLOYEE < **44.0'** [ STANDARD 90° 9×19 50 VAN ACCESSIBLE 90° 8×19' TOTAL PARKING COUNT 51 STALLS + 4 BIKE 30.0' PUBLIC ESTIMATED # OF EMPLOYEES × R.O.W. DEDICATED PER CONDITIONAL 15400 MONROE SEWER MH EX. STORM EX. SANITARY INLET SEWER MH EX. 36" - RCP STM. SEWER PIPE EX. OVERHEAD ELECTRICAL LINE EX. STORM BY DATE NO. REVISION LINEWORK AND UTILITY LEGEND: KEYNOTE LEGEND (SITE FEATURES): 1 CUP 2ND SUBMITTAL CUP 3RD SUBMITTAL PROPOSED RAILROAD TRACKS $\langle N \rangle$ EXISTING (UNDERGROUND) ELECTRIC LINE PROPOSED CURB AND GUTTER EXISTING POWER POLE w/LIGHT TO REMAIN NOTE: (6" VERTICAL CURB w/ 2' PROPOSED SHREDDER EXISTING OVERHEAD ELECTRIC LINE 1. REFER TO UTILITY PLANS FOR UTILITY GUTTER PER COMMERCE CITY EXISTING LIGHT POLE TO REMAIN PROPOSED UNDERGROUND INFORMATION, SUCH AS SIZE, MATERIAL, AND ENGINEERING CONSTRUCTION ---- PROPOSED EASEMENT/SETBACK EXISTING (UNDERGROUND) ELECTRIC LINE DETENTION POND FLOW ARROWS. STANDARDS DETAIL NO. EXISTING POWER POLE TO REMAIN 308-07) PROPOSED WATERLINE BEND \* PROPOSED RET. WALL EXISTING EASEMENT/SETBACK 2. ALL PAVEMENT ON SITE SHALL BE EITHER EXISTING SWALE TO BE REMOVED PROPOSED OFFICE BUILDING PROPOSED WATERLINE TEE/CROSS \* CONCRETE OR ASPHALT. EXISTING RIGHT-OF-WAY PROPOSED EDGE OF ASPHALT EXISTING SHED TO BE REMOVED PROPOSED LOT SPLIT PROPOSED WATERLINE PLUG & CAP \* PROPOSED SANITARY SEWER PROPOSED DETACHED SIDEWALK EXISTING RAIL CAR TO BE REMOVED PROPOSED FENCE EXISTING/PROPOSED REDUCER \* PER COMMERCE CITY PROPOSED STORM SEWER ENGINEERING CONSTRUCTION EXISTING FENCE TO REMAIN PROPOSED 8' TALL EXISTING/PROPOSED GATE VALVE \* STANDARD DETAIL NO. 307-05) PROPOSED WATERLINE STEEL SCREEN FENCE SCALE: 1" = 30'PROPOSED LIGHT ALONG R.O.W. TO BE EXISTING/PROPOSED FIRE HYDRANT \* PROPOSED RAIL ROAD TRACKS STAGGERED 4" EVERY PROPOSED CURB RAMP PROPOSED BIKE RACK Job No. RD19127 24' LINEAR FEET PER COMMERCE CITY PROPOSED BUILDING Date: 11/08/19 EXISTING/PROPOSED STORM MANHOLE \* ENGINEERING STANDARD DETAIL PROPOSED CURB CUT FOR DRAINAGE PROPOSED PIT SCALE Drawn NGE NO. 308-03c) EXISTING SANITARY SEWER PROPOSED MONUMENT SIGN EXISTING/PROPOSED STORM INLET \* Checked CJD PROPOSED SCALE HOUSE PROPOSED VALLEY PAN EXISTING STORM SEWER Name PROPOSED STORM FLARED END SECTION \* PER COMMERCE CITY PROPOSED 20' SETBACK ENGINEERING CONSTRUCTION EXISTING SANITARY MANHOLE \* PROPOSED 16' SETBACK STANDARD DETAIL NO. SITE PLAN (PIN) 0182513101001 EXISTING COMMUNICATIONS LINE 308-04) PROPOSED TRASH TRANSFER PROPOSED CLEAN OUT \* EXISTING FIBER OPTIC LINE (EAST) PROPOSED PARKING EXISTING FENCE TO BE REMOVED APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, EXISTING POWER POLE \* PROPOSED ADA PARKING THIS\_\_\_\_\_, DAY OF\_\_\_\_\_\_, 20\_\_\_\_ EXISTING OVERHEAD ELECTRIC LINE EXISTING POWER POLE TO BE REMOVED PROPOSED PROPERTY LINE AND REPLACED BY OTHERS CRUSHED/SHREDDER RECYCLING PILE KEY MAP SCALE: 1"=500' (MAX HEIGHT = 15')DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



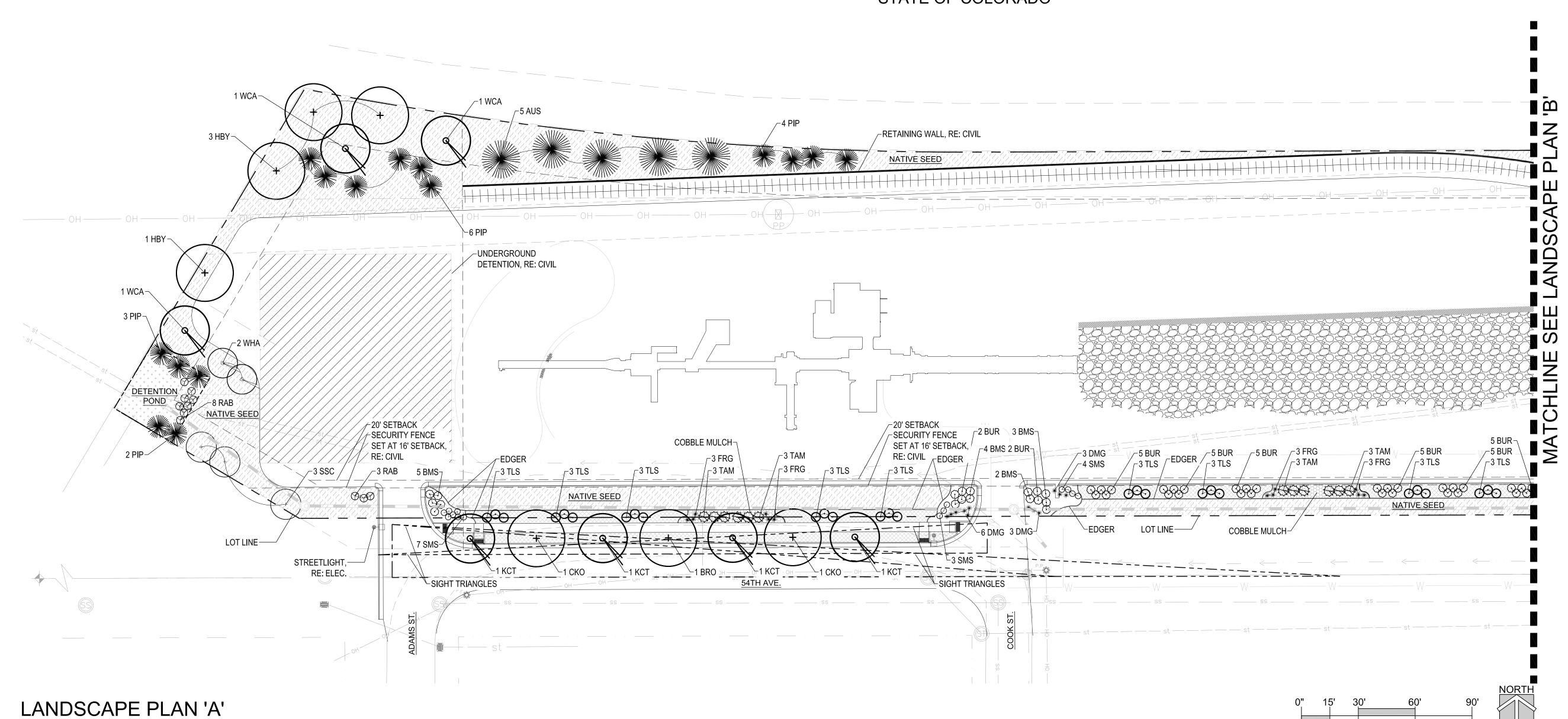




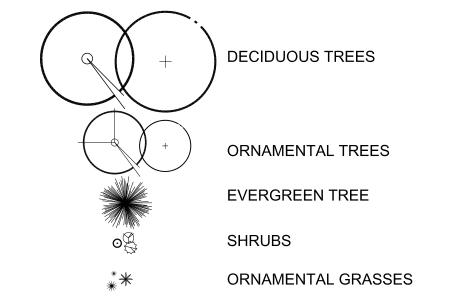


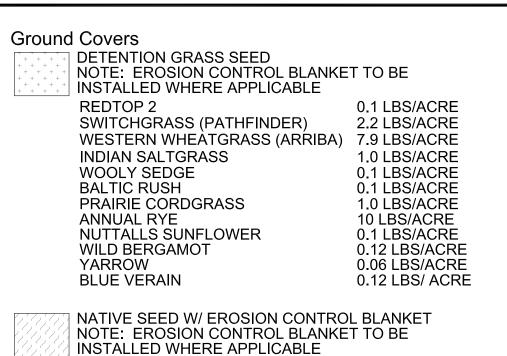


A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



#### LEGEND





10% NUTTALL'S ALKALIGRASS - Puccinellia nuttalliana

10% WESTERN WHEATGRASS - Pascopyrum smithii 10% FOWL MANNAGRASS - Glyceria striata

10% CREEPING SPIKERUSH - Eleocharis palustris

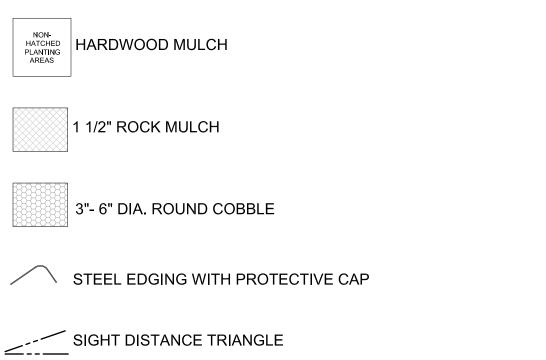
10% SLENDER WHEATGRASS - Elymus trachycaulus spp.

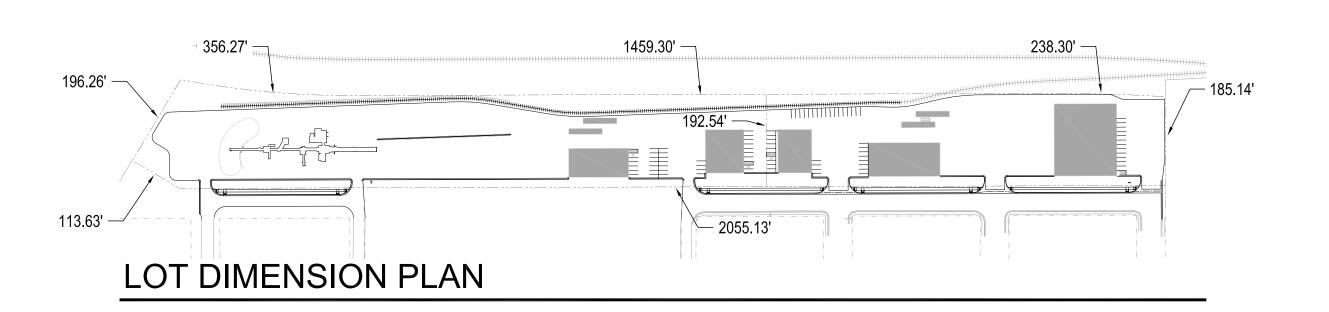
10% PRAIRIE CORDGRASS - Spartina pectinata

10% HARDSTEM BULRUSH - Scirpus acutus

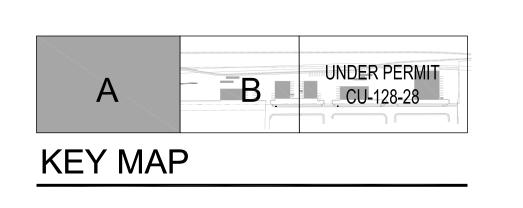
10% BALTIC RUSH - Juncus balticus

MIX RATIO: SEEDING RATE - 20lbs/acre 10% ALKALI SACATON - Sporobolus airoides 10% INLAND SALTGRASS - Distichlis spicata

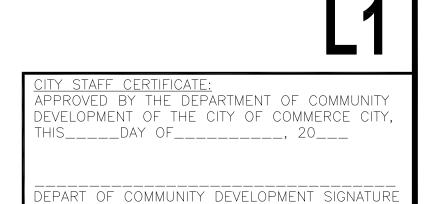




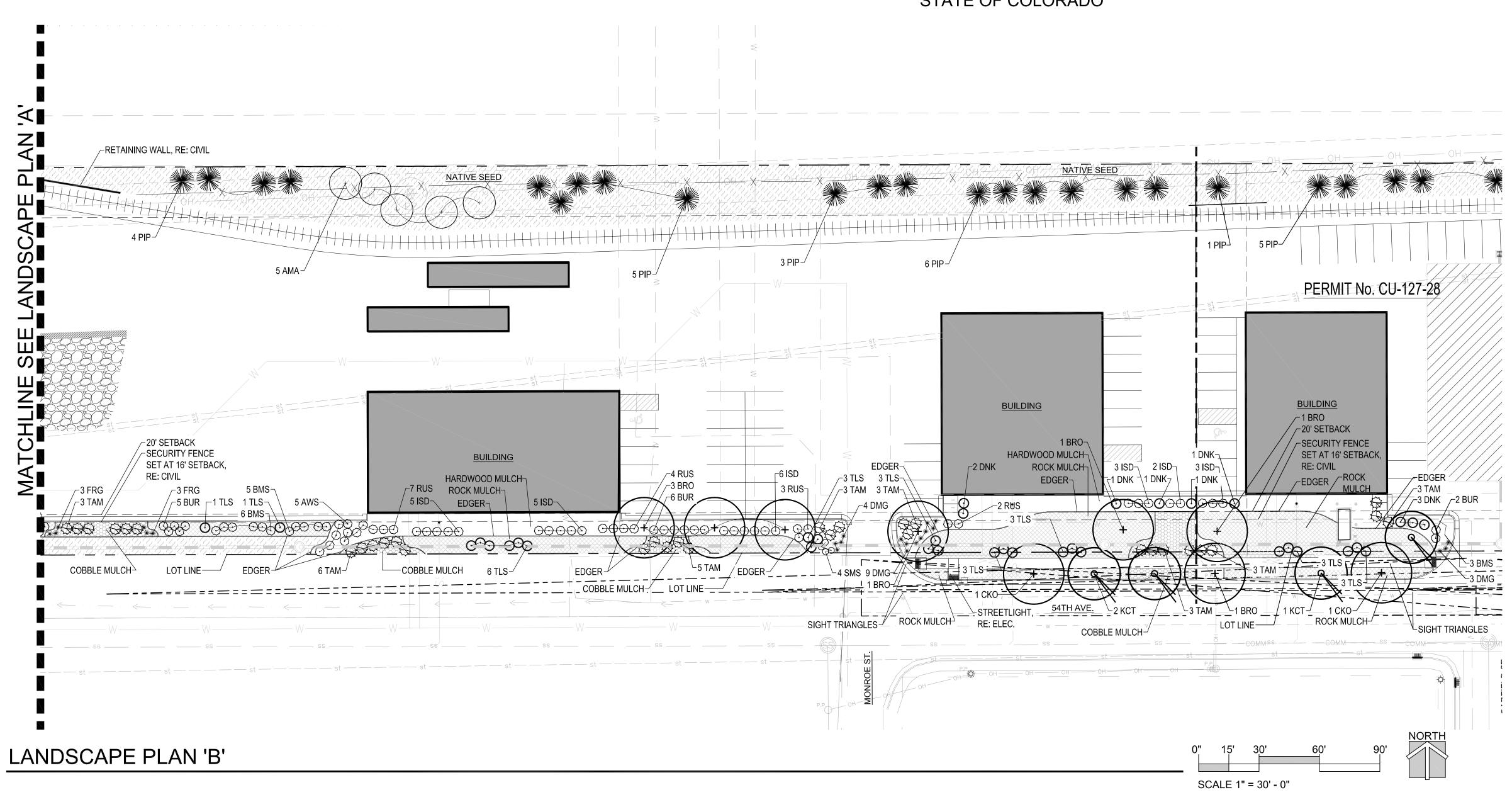
SCALE 1" = 30' - 0"



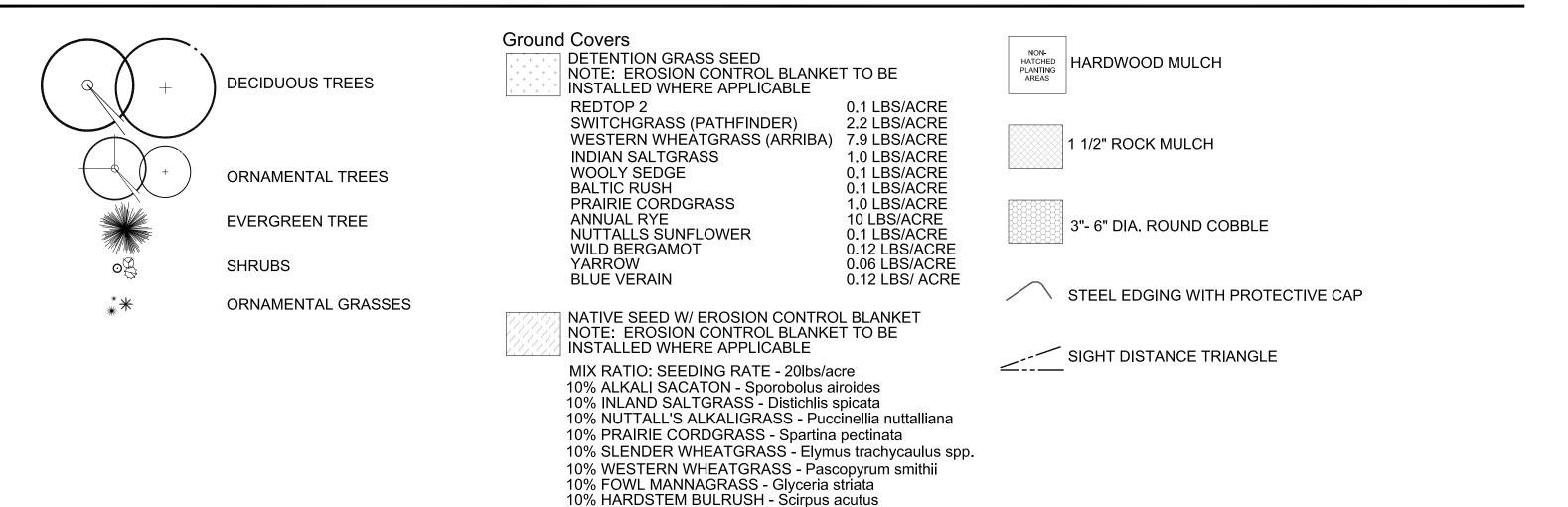




A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

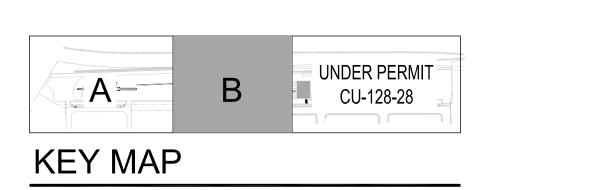


## LEGEND



10% BALTIC RUSH - Juncus balticus

10% CREEPING SPIKERUSH - Eleocharis palustris





CITY STAFF CERTIFICATE:
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS\_\_\_\_\_DAY OF\_\_\_\_\_, 20\_\_\_\_

EPART OF COMMUNITY DEVELOPMENT SIGNATU

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

Date	Submission / Revision
11/08/19	CUP 1ST SUBMITTAL
05/15/20	CUP 2ND SUBMITTAL

Gymnocladus dioicus	ATER NEEDS
Gymnocladus dioicus	
Catalpa speciosa	eric
4 hby COMMON HACKBERRY Celtis Occidentalis SINGLE TRUNK 6 bro BURR OAK 2" CAL. B & B xe Quercus macrocarpa SINGLE TRUNK 2 cko CHINKAPIN OAK 2" CAL. B & B MC Quercus muehlenbergii SINGLE TRUNK 2 cko CHINKAPIN OAK 2" CAL. B & B MC Quercus muehlenbergii SINGLE TRUNK  □ ORNAMENTAL TREES 3 ssc SPRING SNOW CRABAPPLE 11/2" CAL. B & B LC Malus sp. 'Spring Snow' SINGLE TRUNK 5 ama AMUR MAPLE 11/2" CAL. B & B LC Amur Mackia SINGLE TRUNK 2 wha WASHINGTON HAWTHORN Winter King' Crataegus viridis Winter King' Crataegus viridis Winter King' Crataegus viridis Winter King' Crataegus viridis Winter King' SINGLE TRUNK  □ EVERGREEN TREES 34 pip PINYON PINE 6' HT. B & B Xe Pinus cembroides edulis 5 aus AUSTRIAN PINE 6' HT. B & B LC Pinus nigra □ DECIDUOUS SHRUBS 47 tls THREE LEAF SUMAC 5 GAL. CONT. XE Rhus trilobata 16 rus RUSSIAN SAGE 5 GAL. CONT. XE Perovskia artiplicifolia 11 rab RABBITBRUSH 5 GAL. CONT. XE Chrysothamus sp. 18 sms SNOWMOUND SPIREA 5 GAL. CONT. LC Chrysothamus sp. 18 sms SNOWMOUND SPIREA 5 GAL. CONT. LC Chrysothamus sp. 19 bur BURNING BUSH 'Dwarf Nana' 5 GAL. CONT. LC CONT. ME Ecunymus alata 'Dwarf Nana' 5 GAL. CONT. LC CONT. ME Caryopteris x clandonensis 13 isd ISANTI DOGWOOD 5 GAL. CONT. LC CONT. Spirea japonica 'Anthony Waterer' □ EVERGREEN SHRUBS 41 tam TAMMY JUNIPER 5 GAL. CONT. LC CONT. ME Juniperus sabina 'Tamariscifolia'	eric
2         cko         CHINKAPIN OAK         2" CAL.         B & B         MC           Querous muchlenbergii         SINGLE TRUNK         B & B         MC           ORNAMENTAL TREES         SS         SPRING SNOW CRABAPPLE         1 1/2" CAL.         B & B         LC           Malus sp. 'Spring Snow'         SINGLE TRUNK         5         B & B         LC           5         ama         AMUR MAPLE         1 1/2" CAL.         B & B         LC           Amur Maackia         SINGLE TRUNK         1 1/2" CAL.         B & B         LC           2         wha         WASHINGTON HAWTHORN 'Winter King'         1 1/2" CAL.         B & B         LC           2         wha         WASHINGTON HAWTHORN 'Winter King'         1 1/2" CAL.         B & B         MB           2         wha         WASHINGTON HAWTHORN 'Winter King'         1 1/2" CAL.         B & B         MB           2         wha         WASHINGTON HAWTHORN 'Winter King'         1 1/2" CAL.         B & B         LC           2         wha         WASHINGTON HAWTHORN 'Winter King'         1 1/2" CAL.         B & B         LC           3         sipi         Pinyson Pinse         6" HT.         B & B         LC           5	eric
2         cko         CHINKAPIN OAK         2" CAL.         B & B         MC           ORNAMENTAL TREES         3         ssc         SPRING SNOW CRABAPPLE         1 1/2" CAL.         B & B         LC           3         ssc         SPRING SNOW CRABAPPLE         1 1/2" CAL.         B & B         LC           5         ama         AMUR MAPLE         1 1/2" CAL.         B & B         LC           4         Amur Maackia         SINGLE TRUNK         1 1/2" CAL.         B & B         LC           2         wha         WASHINGTON HAWTHORN 'Winter King'         SINGLE TRUNK         1 1/2" CAL.         B & B         LC           34         pip         PINYON PINE         6' HT.         B & B         ME           5         aus         AUSTRIAN PINE         6' HT.         B & B         LC           9         PINYON PINE         6' HT.         B & B         LC           1         Pip         PINYON PINE         6' HT.         B & B         LC           1         Pip         PINYON PINE         6' HT.         B & B         LC           1         Pip         PINYON PINE         6' HT.         B & B         LC           1         TIRLE	eric
3	ODERATE
Malus sp. 'Spring Snow'  5 ama AMUR MAPLE Amur Maackia 2 wha WASHINGTON HAWTHORN 'Winter King'  EVERGREEN TREES  34 pip PINYON PINE 6' HT. B & B CONT. B & B CONT. XE Pinus cembroides edulis 5 aus AUSTRIAN PINE 6' HT. B & B CONT. XE Rhus trilobata 16 rus RUSSIAN SAGE 5 GAL. CONT. XE Perovskia artiplicifolia 11 rab RABBITBRUSH 5 GAL. CONT. XE Chrysothamnus sp. 18 sms SNOWMOUND SPIREA 5 GAL. CONT. ME Eounymus alata 'Dwarf Nana' Eounymus alata 'Dwarf Nana' Eounymus alata 'Dwarf Nana' Eounymus alata 'Dwarf Nana' S GAL. CONT. ME Caryopteris x clandonensis 13 isd ISANTI DOGWOOD 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Rantim' 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Anthony Waterer' EVERGREEN SHRUBS 41 tam TAMMY JUNIPER 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Anthony Waterer' EVERGREEN SHRUBS 41 tam TAMMY JUNIPER 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Anthony Waterer' EVERGREEN SHRUBS 41 tam TAMMY JUNIPER 5 GAL. CONT. LO CONTUS SPICEA Spirea japonica 'Anthony Waterer' EVERGREEN SHRUBS	
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47 tls THREE LEAF SUMAC Rhus trilobata  16 rus RUSSIAN SAGE SGAL. CONT. XE Perovskia artiplicifolia  11 rab RABBITBRUSH SGAL. CONT. XE Chrysothamnus sp.  18 sms SNOWMOUND SPIREA SGAL. CONT. LO Spiraea nipponica 'Snowmound'  45 bur BURNING BUSH 'Dwarf Nana' SGAL. CONT. ME Eounymus alata 'Dwarf Nana'  5 dnk DWARF NINEBARK SGAL. CONT. LO Physocarpus opulifolius 'Nanus'  25 bms BLUE MIST SPIREA SGAL. CONT. ME Caryopteris x clandonensis  13 isd ISANTI DOGWOOD SGAL. CONT. LO Cornus sericea "Isanti"  5 aws ANTHONY WATERER SPIREA SGAL. CONT. LO Spirea japonica 'Anthony Waterer'  EVERGREEN SHRUBS  41 tam TAMMY JUNIPER SGAL. CONT. LO CONNAMENTAL GRASSES	
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41 tam TAMMY JUNIPER 5 GAL. CONT. LC Juniperus sabina 'Tamariscifolia'  ORNAMENTAL GRASSES	
	OW
42 frg KARL FOERSTER FEATHER REED 1 GAL. CONT. LC Calamagrostis acuti. 'Karl Foerster'	OW
25 dmg DWARF MAIDEN GRASS 1 GAL. CONT. LC Miscanthus sinensus 'Yaku Jima;	OW

#### LANDSCAPE CALCULATIONS

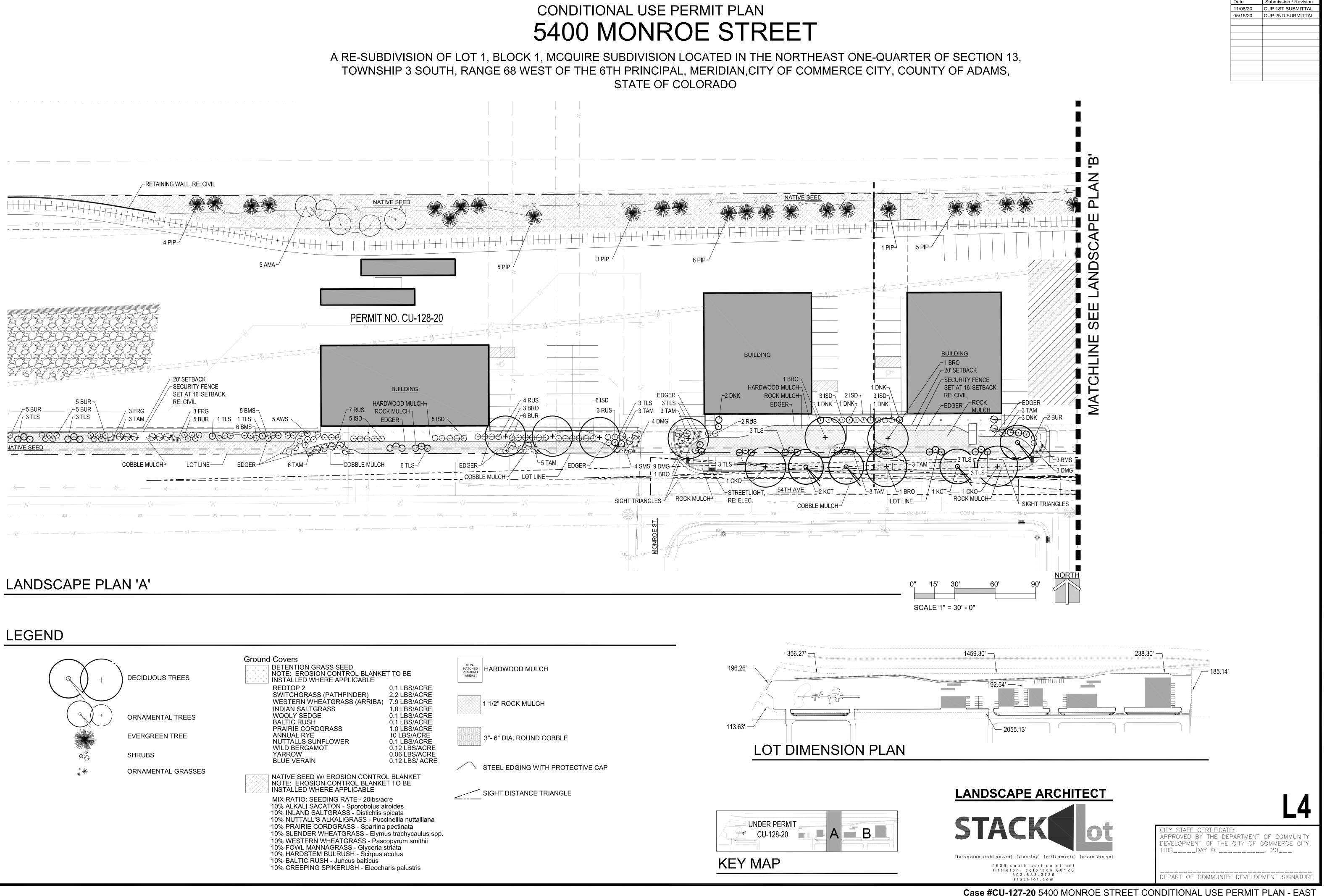
ARKING LOT	
REQUIRED TREES (1/30 LF):195 ft. / 30 = 6 trees	
REQUIRED SHRUBS (5/30 LF): 195 ft. / 30(5) = 32 shrubs	
PROVIDED TREES: 6	
PROVIDED SHRUBS: 37	
TREET TREES	
E. 54TH AVE - 368.00 FEET	
REQUIRED TREES (1/40 LF): 386 ft./ 40 = 10 trees	
PROVIDED TREES: 11	
ETENTION AREAS: 1,388SF.	
ETENTION PERIMETER(S): 140 LF.	
REQUIRED TREES (1/50 LF): 3	
REQUIRED SHRUBS (10/50 LF):28 (1 TREE = 10 SHRUBS)	
PROVIDED TREES: 5	
PROVIDED SHRUBS: 8+(2 TREES=20) = 28	
NTIRE YARD - 69,042 SF.	
69,042 (-) 1,388 = 67,654 SF.	
REQUIRED TREES (1/1200 SF): 57	
REQUIRED SHRUBS (1/300 SF): 226	
OVERALL PROVIDED TREES: 60	
OVERALL PROVIDED SHRUBS: 229	
VE PLANT MATERIAL:	
REQUIRED LIVE PLANT AREA (75% LANDSCAPE AREA): 50,741	SF.



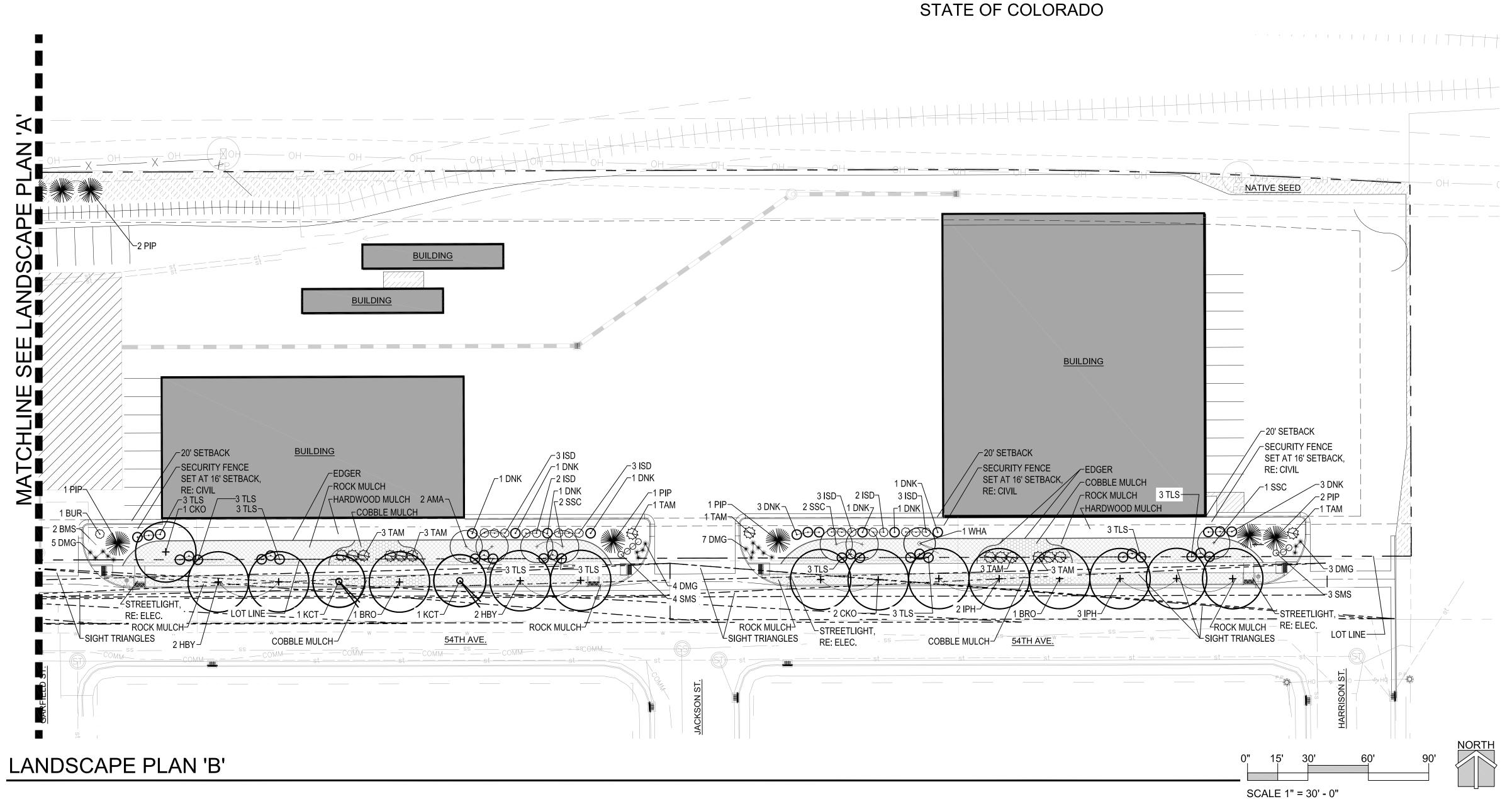
L3

CITY STAFF CERTIFICATE:
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_\_\_

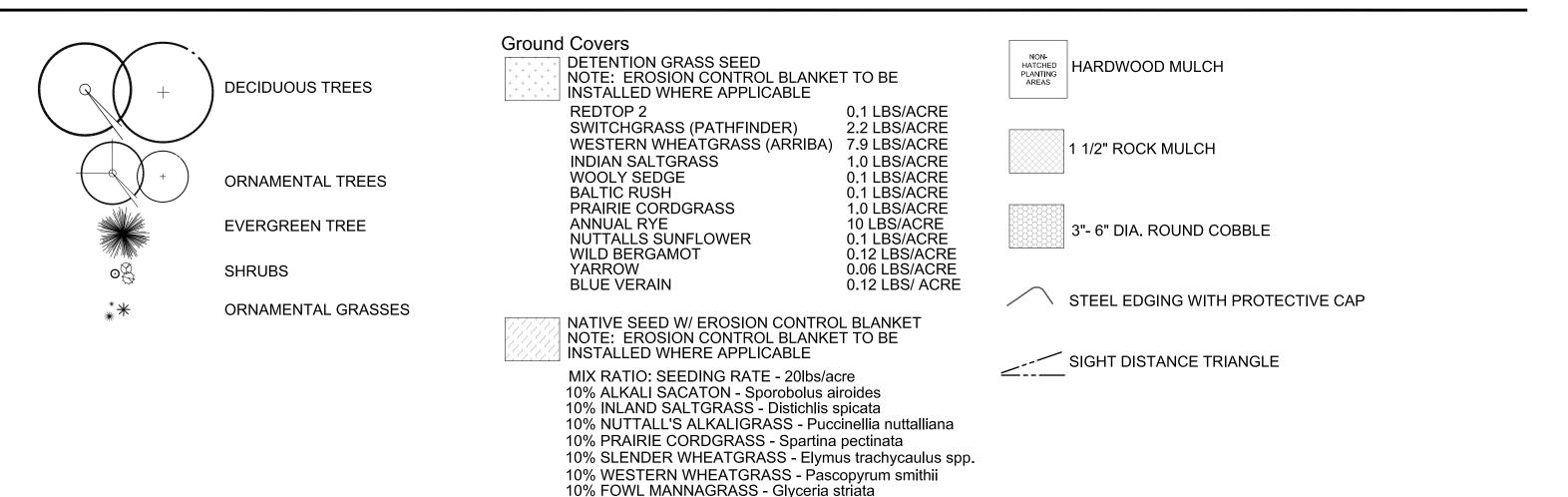
EPART OF COMMUNITY DEVELOPMENT SIGNATUR



A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



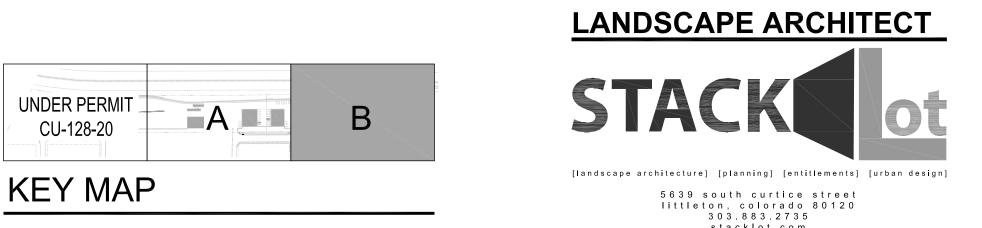
## LEGEND



10% HARDSTEM BULRUSH - Scirpus acutus

10% CREEPING SPIKERUSH - Eleocharis palustris

10% BALTIC RUSH - Juncus balticus



RTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

#### **GENERAL PLANTING NOTES:**

- 1. PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF
- 2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- 3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- 4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- 5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- 6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- 7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO
- 8. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- 9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS TOP ONE-THIRD  $\binom{1}{3}$  OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- 10. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- 11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- 12. COMMERCIAL GRADE  $\frac{3}{16}$  INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- 13. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 14. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- 15. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- 16. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- 17. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- 18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- 19. PLANT SYMBOLS ON SHEET L1.0 ARE SYMBOLS ONLY. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF PLANT SPECIES PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS AND CIVIL UTILITY LAYOUT PLANS.

#### PERFORMANCE GUARANTEE:

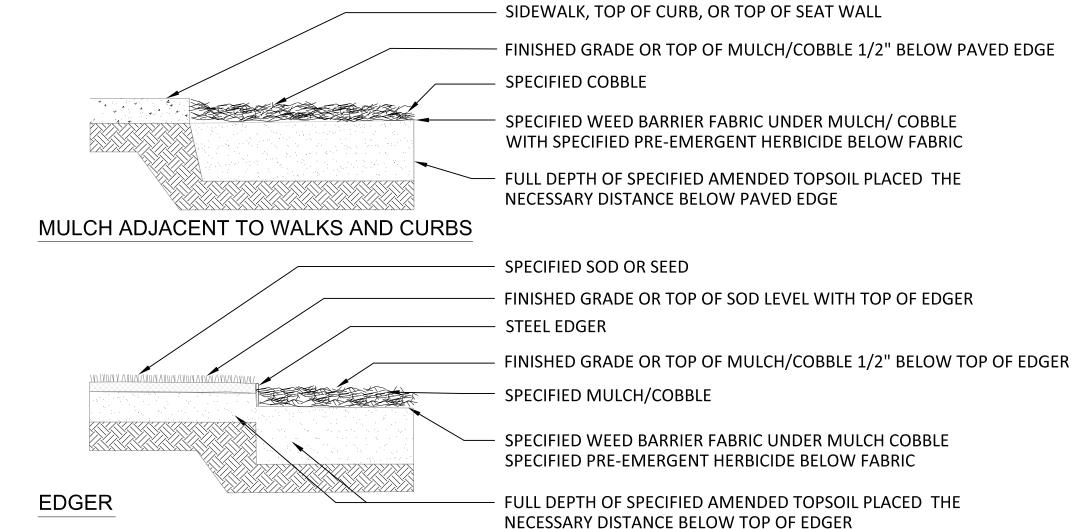
1. ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.

#### COMMERCE CITY LANDSCAPE NOTES

- 1. MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2 1/4 POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6 - INCHES FOR EVERY 1.000 SF. OF LANDSCAPE AREA.
- 2. THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
- 3. POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
- 4. PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
- 5. ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD...
- THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
- 7. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
- 8. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- 9. NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
- 10. ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE MAY CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY. EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES. WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT -DISTANCE-TRIANGLES. INFORMATION ON THE SIGHT-DISTANCE-TRIANGLES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS.
- 11. ALL AREAS OF THE LOT NOT PAVED OR FORMALLY LANDSCAPED SHALL BE SEEDED WITH NATIVE GRASSES.

#### LANDSCAPE CALCULATIONS

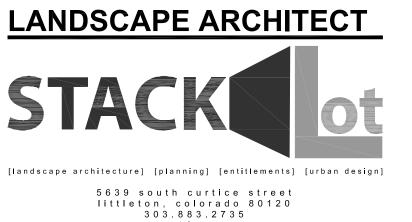
SITE AREA: 185,490 SF	(FULL PHASE BUILDOUT:413,716 SF/9.50 AC)
PARKING LOT/LOADING	G SCREENING
REQUIRED TRE	EES (1/30 LF): 273 ft. / 30 = 9 trees
REQUIRED SHI	RUBS (5/30 LF): 273 ft. / 30(5) = 47 shrubs
PROVIDED TRE	EES: 9
PROVIDED SH	RUBS: 47
STREET TREES	
E. 54TH AVE - 711.00	FEET
REQUIRED TRE	EES (1/40 LF): 711 ft./ 40 = 18 trees
PROVIDED TRE	EES: 18
DETENTION AREAS: PA	ART OF WEST PHASE
ENTIRE YARD - 24,316	SF.
REQUIRED T	REES (1/1200 SF): 20
REQUIRED S	SHRUBS (1/300 SF): 81
OVERALL PF	ROVIDED TREES: 20
OVERALL PF	ROVIDED SHRUBS: 105
LIVE PLANT MATERIAL	
REQUIRED LIVE PLA	NT AREA (75% LANDSCAPE AREA): 18,237 SF.
PROVIDED LIVE PLA	NT AREA: 76%



**EDGE TREATMENT** 

**GENERAL IRRIGATION NOTES:** 

1. ALL LANDSCAPE AREAS SHALL INCLUDE ADEQUATE, PERMANENT, AUTOMATIC IRRIGATION OF ALL PLANT MATERIAL, EXCEPT CERTIFIED XERIC LANDSCAPING. NOT TO SCALE



PPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS\_\_\_\_\_, DAY OF\_\_\_\_\_, 20\_\_\_\_

EPART OF COMMUNITY DEVELOPMENT SIGNATUR

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

INSTALLED SIZE COND. WATER NEEDS QUAN. SYM. COMMON/BOTANICAL NAME ☐ DECIDUOUS TREES kct KENTUCKY COFFEE TREE 2" CAL. B & B Gymnocladus dioicus SINGLE TRUNK iph IMPERIAL HONEYLOCUST 2" CAL. SINGLE TRUNK Gleditsia triacanthos inermis 'Redmond' hby COMMON HACKBERRY 2" CAL. B & B SINGLE TRUNK Celtis Occidentalis 2" CAL. bro BURR OAK B & B SINGLE TRUNK Quercus macrocarpa 2" CAL. CHINKAPIN OAK MODERATE SINGLE TRUNK Quercus muehlenbergii ☐ EVERGREEN TREES 13 pip PINYON PINE 6' HT. B & B xeric Pinus cembroides edulis ORNAMENTAL TREES wha WASHINGTON HAWTHORN 'Winter King' 1 1/2" CAL. MEDIUM B & B SINGLE TRUNK Crataegus viridis 'Winter King' ama AMUR MAPLE 1 1/2 " CAL. LOW - MEDIUM SINGLE TRUNK Amur Maackia ssc SPRING SNOW CRABAPPLE 1 1/2" CAL. B & B LOW Malus sp. 'Spring Snow' SINGLE TRUNK DECIDUOUS SHRUBS THREE LEAF SUMAC 5 GAL. CONT. XERIC Rhus trilobata **RUSSIAN SAGE** 5 GAL. CONT. XERIC Perovskia artiplicifolia SNOWMOUND SPIREA 5 GAL. CONT. LOW Spiraea nipponica 'Snowmound' bur BURNING BUSH 'Dwarf Nana' 5 GAL. MEDIUM CONT. Eounymus alata 'Dwarf Nana' DWARF NINEBARK CONT. LOW Physocarpus opulifolius 'Nanus' 5 GAL. CONT. LOW ISANTI DOGWOOD Cornus sericea "Isanti" MEDIUM CONT. bms BLUE MIST SPIREA Caryopteris x clandonensis ■ EVERGREEN SHRUBS 24 tam TAMMY JUNIPER 5 GAL. CONT. LOW Juniperus sabina 'Tamariscifolia' ORNAMENTAL GRASSES CONT. dmg DWARF MAIDEN GRASS LOW

Miscanthus sinensus 'Yaku Jima;

	- SECURE WITH 3 SPECIFIED 8-FT STEEL TREE STAKES IN UNDISTURBED SOIL. INSTALL WIRE AND NON- GIRDLING FLAT FABRIC FASTENERS IMMEDIATELY AFTER PLANTING, ALLOWING 3"-4" TRUNK MOVEMENT. COVER WIRE WITH SPECIFIED RUBBER GARDEN HOSE AND INSTALL 4" FLORESCENT ORANGE FLAG ON EACH WIRE.
	- PLANT ROOT BALL 3"-4" HIGH WITH RESPECT TO FINISHED GRADE. DO NOT COVER TOP OF ROOTBALL WITH SOIL. CUT AND REMOVE TOP 2/3 OF WIRE BASKET AND REMOVE TOP 2/3 BURLAP. REMOVE ALL ROPE, TWINE AND WIRE OTHER THAN BASKET.
	PLACE MULCH/COBBLE RING AROUND TREE. DO NOT PLACE MULCH/ COBBLE IN CONTACT WITH TREE TRUNK. RE: SPECIFICATIONS FOR MULCH/COBBLE TYPE AND DEPTH.
	- PREPARE AND PLACE BACKFILL SOIL MIX AS PER SPECIFICATIONS.
	- SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.
	- COMPACTED SUBGRADE
	SHADE TREES: LOWEST LIMBS MIN. 6-8' FROM ROOT CROWN
2 x ROOTBALL DIA.	AFTER TWO YEARS NO LIMBS SHALL BE WITHIN 8' OF PAVEMENT
DECIDUOUS TREE	REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS
	NOT TO SCALE
	— DO NOT CUT TREE LEADER. PRUNE ONLY CROSSOVER LIMBS, CO- DOMINANT LEADERS AND INJURED OR DEAD BRANCHES FROM TREE.
	— SECURE WITH 3 SPECIFIED 8-FT STEEL TREE STAKES IN UNDISTURBED SOIL. INSTALL WIRE AND NON-GIRDLING FLAT FABRIC FASTENERS IMMEDIATELY AFTER PLANTING, ALLOWING 3"-4" TRUNK MOVEMENT. COVER WIRE WITH SPECIFIED RUBBER GARDEN HOSE AND INSTALL 4" FLORESCENT ORANGE FLAG ON EACH WIRE
	— PLANT ROOT BALL 3"-4" HIGH WITH RESPECT TO FINISHED GRADE. DO NOT COVER TOP OF ROOTBALL WITH SOIL. CUT AND REMOVE TOP 2/3 OF WIRE BASKET AND REMOVE TOP 2/3 BURLAP. REMOVE ALL ROPE, TWINE AND WIRE OTHER THAN BASKET.
	PLACE MULCH/COBBLE RING AROUND TREE. DO NOT PLACE MULCH/COBBLE IN CONTACT WITH TREE TRUNK. RE: SPECIFICATIONS FOR MULCH/COBBLE TYPE AND DEPTH.
	— PREPARE AND PLACE BACKFILL SOIL MIX AS PER
	SPECIFICATIONS.  — SET ROOTBALL ON UNDISTURBED SOIL. SET PLUMB AND CENTER IN PIT.
	— COMPACTED SUBGRADE
2 x ROOTBALL DIA.	REJECT TREES WITH BROKEN OR DAMAGED ROOTBALLS
<b>EVERGREEN TREE PLANTING</b>	G
	NOT TO SCALE
	REMOVE ONLY INJURED OR DEAD BRANCHES FROM
	SHRUBS. SHRUB SPACING AS PER PLANS PLACE 3' DIA. MIN. RING OF MULCH/COBBLE UNDER SHRUB.
	- PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER PRIOR TO PLACING BACKFILL.
	PREPARE AND PLACE PLANTING SOIL MIX AS PER SPEC.
	PLACE 3" OF SPECIFIED BACKFILL BELOW THE ROOTBALL.
2 x ROOTBALL DIA.	
3 SHRUB PLANTING	

DO NOT CUT TREE LEADER. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND

NOT TO SCALE

INJURED OR DEAD BRANCHES FROM TREE.



CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

 11/08/20
 CUP 1ST SUBMITTAL

 05/15/20
 CUP 2ND SUBMITTAL

#### 5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISIONLOCATED IN THE NORHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,



3.1 3.0 2.7 3.3 3.4 3.4 3.1 2.2 2.3 2.5 2.9 3 1 2.8 2.6 S

(PIN) 0182513101001

EVELOPMENT OF THE CITY OF COMMERCE CITY,

EPART OF COMMUNITY DEVELOPMENT SIGNATUR

© COPYRIGHT, 2020

PHONE: 303-753-6730

STRE MONROE P5400  $\leq$  $\supset$ 

NO. REVISION BY DATE 1 CUP 2ND SUBMITTAL CLY 6/16/20 2 CUP 3RD SUBMITTAL CLY 8/28/20

**Job No.** RD19127 11/08/19 Checked ER

PHOTOMETRIC PLANS

STATE OF COLORADO (PIN) 0182513101001 BY MDP ENGINEERING GROUP, P.C. 3.6 3.3 3.4 3.5 3.6 3.4 3.1

°P.7°1.9°2.2°2.5°2.5°2.3°2.3° 

 $5.6.^{1}.4.^{1}.9.^{1$ 1.8 1.2 <u>0.9 <u>0</u>.8 <u>0.7</u> 0.7 <u>0.6 0.5 0.4 0.3 0.3 0.2 0</u> 2</u> D20T2M@15<sup>3</sup>0.9 0.8 0.8 0.9 1.0 0.9 0.8 0.6 0.5 0.4 3 0.3 0.2 D20T2M@15' .2 \(^1.1 \)\(^1.3 \)\(^1.4 \)\(^1.2 \)\(^1.0 \)\(^1.8 \)\(^1.7 \)\(^1.5 \)\(^1.4 \)\(^1.3 \)\(^1.4 \)\(^1.2 \)\(^1.0 \)\(^1.8 \)\(^1.7 \)\(^1.5 \)\(^1.4 \)\(^1.3 \)\(^1.1 \)\(^1.3 \)\(^1.1 \) 1.4°1.4 1.7 1.8 1.7 1.5 1.2 1.0 0.8 0.6 0.5 0.4 0 2 .7°1.8 2.1 2.2 2.0 1.7 1.4 1.2 1.0 0.7 5 0.4 0 2 <sup>2.2</sup> 4.7 4.6 4.3 3.8 3.2 2.7 2.4 2.5 2.7 2.8 3.0 3.7 2.8 3.5 4.1 4.6 4.7 4.6 4.7 4.1 3.6 3.0 2.5 1.9 1.5 1.2 2.2 2.3 2.3 2.3 2.5 2.5 2.2 1.9 1.4 1.0 0.9 0.6 0.6 0.7 1.1 1.6 2.5 2.9 3.5 4.4 4.7 4.6 4.8 4.9 5.3 2.0°2.2 °2.4 °2.6 °2.4 \*2.0 \*1.7 \*1.4 \*1.1 \*0.8 \*0.5 \*0.4 \*0 2 3.1 3.2 3.4 3.2 2.8 2.5 2.4 2.6 3.0 3.0 3.0 3.1 3.8 2.5 3.1 3.7 4.3 4.9 4.9 4.3 3.8 3.3 2.7 2.2 1.6 1.2 0.9 1.6 2.6 2.7 3.0 2.9 2.6 2.2 1.6 1.1 0.8 0.7 0.6 0.7 1.1 1.5 2.4 3.1 3.8 4.6 5.1 4.8 4.7 4.8 4.8 <u>2.6°2.6</u>°2.8°3.0°2.9\*2.4\*1.9\*1.4\*1.1\*0.8\*1.5\*0.3\*0|2 3.6<sup>o</sup>3.4<sup>o</sup>3.1 o.4 o.2 2.6 1.9 1.4 1.0 0.7 50.3 0 2 D7TF@35 D-3.9 3.4 3.4 3.3 2.6 1.9 1.4 1.0 0.7 1.4 0.3 0 2 2.3 2.1 3.7 3.8 4.2 4.6 5.1 D3TFP@30 5.0 5.7 5.6 5.0 4.9 4 <del>4.0 3</del>.8 3.5 3.7 3.3 2.4 1. D5TF@30 4.5 3.8 3.8 3.8 3.3 2.3 1. 3.6 6.0 Lp3 11 930 5.6 4.9 4.3 4.4 5.0 5.7 5.7 4.9 4.8 4 <del>.6 4.1</del> 3.5 3.3 3.3 2.5 1.9 1.3 1.0 0.7 4 0.3 0 2 ©30' D2TF@30' 3.6 3.3 3.4 3.5 3.6 3.4 3.1 2.9 2.7 2.9 3.3 4.0 4.2 4.2 4.2 4.8 D2TF@30' 1.1 3.8 3.3 3.4 3.3 2.6 1.9 1.4 1.0 0.7 5 0.3 0 2 5.1 4.5 3.8 3.8 3.8 3.72.3 1. 4.2 3.9 3.5 3.8 3.3 24 1 WEST LOT DIVISION 3.1 3.0 3.0 3.2 3.1 2.6 1.9 1.4 1.1 0.7 1.5 0.3 0 2 2.2 2.2 2.3 2.4 2.4 2.6 3.1 3.9 3.9 3.9 4.4 4 4.4 4.0 3.7 3.8 3.2 2.3 1.6 1.1 0.8 0.7 0.7 0.9 1.3 1.5 1.9 2.5 3.0 3.8 4.0 3.8 3.8 4.1 4.1 2.3°2.5°2.6°2.8°2.7\*2.3\*1.8\*1.4\*1.1\*0.8\*0.5\*0.3\*0.2 3.1 3.0 2.7 3.3 3.4 3.4 3.1 2.5 2.4 2.6 3.1 3.8 3.9 3.5 3.5 3 <u>2</u>.3 <u>2</u>.3 <u>2</u>.2 <u>2</u>.2 <u>2</u>.3 <u>2</u>.5 <u>3</u>.0 <u>3</u>.6 <u>3</u>.6 <u>3</u>.4 <u>3</u>.4 <u>3</u> 3.1 3.2 3.4 3.3 3.0 2.2 1.7 1.2 0.9 0.7 0.6 0.7 0.8 1.0 1.7 2.3 2.8 3.3 3.4 3.2 3.0 3.1 3.1 1.9<sup>2</sup>2.1 2.3 2.4 2.2 1.9 1.6 1.3 1.0 0.8 1.5 0.4 0 2 2,2 2.3 2.5 2.9 3.1 2.8 2.6 2.5 2.3 2.4 2.7 3.1 3.1 2.8 2.6 2 3 **2.**2 2.4 2.7 2.8 <u>\_\_2.0 \_2.</u>1 \_2.1 \_2.1 \_2.2 \_2.3 \_2.6 \_3.0 \_3.1 \_2.<u>8 \_2.5 \_2</u> 2.3 2.6 2.9 3.0 2.7 2.3 2.1 1.9 1.9 0.7 0.7 0.7 0.7 0.7 1.9 2.1 2.4 2.6 2.8 2.6 2.4 2.3 2.2 1.6 1.6 1.9 2.0 1.9 1.6 1.3 1.1 0.9 0.7 1.5 0.4 0 2 °1.7°1.9°2.2°2.5°2.5°2.3°2.3°2.2°2.2°2.2°2.4°2.5°2.2°1.9°1 <mark>- 1.6 1.8 1.9 1.9 1.9 1.9 2.1 2.4 2.6 2<del>.4 2.0 2</del></mark> 1.9 2.1 2.4 2.4 2.2 2.0 1.6 1.3 1.1 0.9 0.7 0.6 0.7 0.9 1.1 1.3 1.6 1.9 2.2 2.2 2.0 1.7 1.7 - 1.3 1.5 1.6 1.6 1.4 1.1 0.9 0.8 0.6 (1.5 0.3 0.2 20NE LOT LINE 0.5 0.5 0.5 0.3 0.2 0.5 0.7 0.7 0.7 0.8 0.8 0.8 0.7 0.6 0.5 0.4 0.3 0.2 0.5 0.4 0.5 0.2 0.2 0.7 0.7 0.7 0.8 0.8 0.8 0.7 0.6 0.5 0.4 0.5 0.2 0.2 1.5 1.5 1.8 1.9 1.6 1.3 1.1 0.9 0 7 0.6 0.6 0.6 0.6 0.9 1.1 1.3 1.5 1.8 1.7 1.5 1.4 1.3

ELECTRICAL PHOTOMETRIC SITE PLAN

SCALE: 1" = 40'



#### 5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISIONLOCATED IN THE NORHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,

STATE OF COLORADO (PIN) 0182513101001



#### d"series

A+ Capable options indicated by this color background.

FIXTURE D20T2M

SCALE: NO SCALE

D20T2M

 $\triangle$ 

Schedule

Lumina	aire			Back B	ox (BBV	V)	
Width:	18-1/2" (47.0 cm)	Weight:	21 lbs (9.5 kg)	Width:	5-1/2" (14.0 cm)	BBW Weight:	1 lbs (0.5 kg
Depth:	10" (25.4 cm)			Depth:	1-1/2" (3.8 cm)		
Height:	7-5/8" (19.4 cm)			Height:	4" (10.2 cm)		

Number		
Notes		
Type		
Туре		

#### **4** Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup>

To learn more about A+,

- visit www.acuitybrands.com/aplus.
- 1. See ordering tree for details.
- 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

ambient sensor enabled at 1fc11,12

DSXW2 LED 20C 700 50K T2M

MVOLT

Orderii DSXW2 LED	ng II	itorn	natic	on				E	KAMPL	E: DS	XW2 LED	30C 700	) 40K T3M MVOLT DDBTXI
Series	LEDs		Drive (	Eurrent	Color ten	perature	Distribu	tion	Voltage	Mountii	ng	Control Opti	ons
DSXW2 LED	30C	20 LEDs (two engines) 30 LEDs (three engines)	350 530 700 1000	350 mA 530 mA 700 mA 1000 mA <sup>1</sup> (1 A)	30K 40K 50K AMBPC	3000 K 4000 K 5000 K Amber phosphor converted <sup>2</sup>	T2S T2M T3S T3M T4M TFTM	Type II Short Type II Medium Type III Short Type III Medium Type IV Medium Forward Throw Medium	MVOLT <sup>3</sup> 120 <sup>4</sup> 208 <sup>4</sup> 240 <sup>4</sup> 277 <sup>4</sup> 347 <sup>4,5</sup> 480 <sup>4,5</sup>	(blank)	Surface mounting bracket  ed separately <sup>6</sup> Surface- mounted back box (for conduit entry)	Shipped in PE PER PER5 PER7 DMG PIR PIRH PIR1FC3V	Photoelectric cell, button type <sup>7</sup> NEMA twist-lock receptacle only (control ordered separate) <sup>8</sup> Five-wire receptacle only (control ordered separate)  Seven-wire receptacle only (control ordered separate)  Seven-wire receptacle only (control ordered separate) <sup>8,9</sup> 0–10v dimming wires pulled outside fixture (for use with an external control, ordered separately)  180° motion/ambient light sensor, <15' mtg ht <sup>10,11</sup> 180° motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>11,12</sup>

2 Lithonia Lighting

#### Statistics Min Max/Min Description Shredder Area 1.9 fc | 3.8 fc | 0.7 fc | 5.4:1 2.7:1 1.2 fc | 6.3 fc | 0.0 fc N/A Work Area East 5.8:1 2.3 fc | 6.3 fc | 0.4 fc 15.8:1 Work Area West 3.1 fc | 6.2 fc | 0.6 fc | 10.3:1 5.2:1 0.4 fc | 1.5 fc | 0.0 fc | N/A N/A Zone Lot Line Zone Lot Line East 0.5 fc | 1.5 fc | 0.0 fc N/A N/A Zone Lot Line N/A 0.3 fc | 0.9 fc | 0.0 fc | N/A West

#### EXTERIOR LIGHTING DESIGN CONCEPTS

- 1. CALCULATIONS ARE USING POINT-TO-POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS. SOFTWARE USED: VISUAL 2.6.
- 2. THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLES LEVEL FOR ENHANCED SECURITY CONDITIONS.

#### EXTERIOR LIGHTING OPERATION REQUIREMENTS

- 1. ALL OUTDOOR LIGHTING NECESSARY FOR PUBLIC HEALTH, SAFETY AND WELFARE PURPOSES MAY BE ACTIVATED BY MOTION SENSING DEVICES. ALL OUTDOOR LIGHTING ON PRIVATE PROPERTY SHALL BE TURNED OFF BETWEEN 11:00 PM AND SUNRISE UNLESS EXEMPTED
- 1.1. LIGHTING MAY REMAIN ON WHILE THE BUSINESS FACILITY IS OPEN TO THE PUBLIC.
- 1.2. LIGHTING MAY REMAIN ON WHILE IT IS USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, ROADWAYS, DRIVEWAYS, EQUIPMENT OR STORAGE YEARS, AND PARKING LOTS WHERE ACCESSIBLE AT NIGHT, AS APPROVED BY CITY AUTHORITIES.

#### PHOTOMETRIC CALCULATION DISCLAIMER

1. LIGHTING PATTERN USED FOR LUMINAIRES REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD AND EQUIPMENT



EPA:

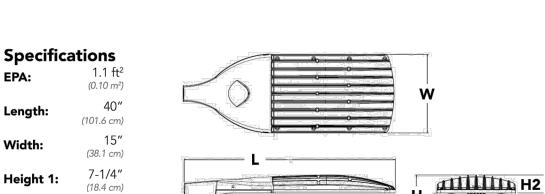
Width:

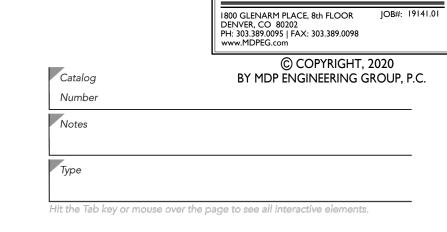
Height 2 (max):

Weight:









ENGINEERING GROU

#### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

## A+ Capable options indicated by this color background.

Orderi	ng Informatio	1	EXAMPLE: DSX2 LED P7	40K T3N	M MVOLT SPA NLTAIR2 PIRHN DDBXD
DSX2 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics P1 P5 P2 P6 P3 P7 P4 P8 Rotated optics¹ P10 P13 P11 P14 P12	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type   Short T5VS Type V Very Short T2S Type   Short T5S Type V Short T2M Type   Medium T5M Type V Medium T3S Type   Short T5W Type V Wide T3M Type   Medium BLC Backlight control 2 T4M Type   V Medium LCCO Left corner cutoff 2 TFTM Forward Throw Medium	MVOLT <sup>3</sup> 120 <sup>4</sup> 208 <sup>4</sup> 240 <sup>4</sup> 277 <sup>4</sup> 347 <sup>4</sup> 480 <sup>4</sup>	Shipped included  SPA Square pole mounting  RPA Round pole mounting  WBA Wall bracket  SPUMBA Square pole universal mounting adaptor <sup>5</sup> RPUMBA Round pole universal mounting adaptor <sup>5</sup> Shipped separately  KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>6</sup>

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Photometric Diagrams

5393

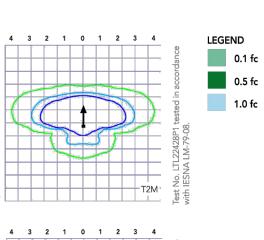
1 DSXW2\_LED\_20C\_700\_50

K\_T2M\_MVOLT.ies

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 2 homepage.

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30')





Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
۵	D2T2M	3	Lithonia Lighting	DSX2 LED P2 50K T2M MVOLT	DSX2 LED P2 50K T2M MVOLT	LED	1	DSX2_LED_P2_50K_T2M_ MVOLT.ies	24306	1	185
•	D2T2MP	1	Lithonia Lighting	DSX2 LED P2 50K T2M MVOLT	DSX2 LED P2 50K T2M MVOLT	LED	1	DSX2_LED_P2_50K_T2M_ MVOLT.ies	24306	1	185
Δ	D2TF	3	Lithonia Lighting	DSX2 LED P2 50K TFTM MVOLT	DSX2 LED P2 50K TFTM MVOLT	LED	1	DSX2_LED_P2_50K_TFTM _MVOLT.ies	24357	1	185
•-	D3T5P	1	Lithonia Lighting	DSX2 LED P3 50K T5W MVOLT	DSX2 LED P3 50K T5W MVOLT	LED	1	DSX2_LED_P3_50K_T5W_ MVOLT.ies	29511	1	217
_	D3TF	3	Lithonia Lighting	DSX2 LED P3 50K TFTM MVOLT	DSX2 LED P3 50K TFTM MVOLT	LED	1	DSX2_LED_P3_50K_TFTM _MVOLT.ies	28612	1	217
•-	D5T5P	3	Lithonia Lighting	DSX2 LED P5 50K T5W MVOLT	DSX2 LED P5 50K T5W MVOLT	LED	1	DSX2_LED_P5_50K_T5W_ MVOLT.ies	39638	1	321
۵	D5TF	6	Lithonia Lighting	DSX2 LED P5 50K TFTM MVOLT	DSX2 LED P5 50K TFTM MVOLT	LED	1	DSX2_LED_P5_50K_TFTM _MVOLT.ies	38429	1	321
_	D7TF	2	Lithonia Lighting	DSX2 LED P7 50K TFTM MVOLT	DSX2 LED P7 50K TFTM MVOLT	LED	1	DSX2_LED_P7_50K_TFTM _MVOLT.ies	46517	1	398

DSXW2 LED WITH 2 LIGHT ENGINES, 20

LED's, 700mA DRIVER, 5000K LED, TYPE 2

MEDIUM OPTIC

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Checked ER Name

(PIN) 0182513101001

PPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, \_\_\_DAY OF\_\_\_\_\_, 20\_\_\_\_

EPART OF COMMUNITY DEVELOPMENT SIGNATUR

**Job No.** RD19127 **Date**: 11/08/19 Drawn ER LIGHTING DETAILS

1 CUP 2ND SUBMITTAL CLY 6/16/20

BY DATE

1635 WEST 13TH AVENUE, SUITE 310 DENVER, COLORADO 80204

PHONE: 303-753-6730

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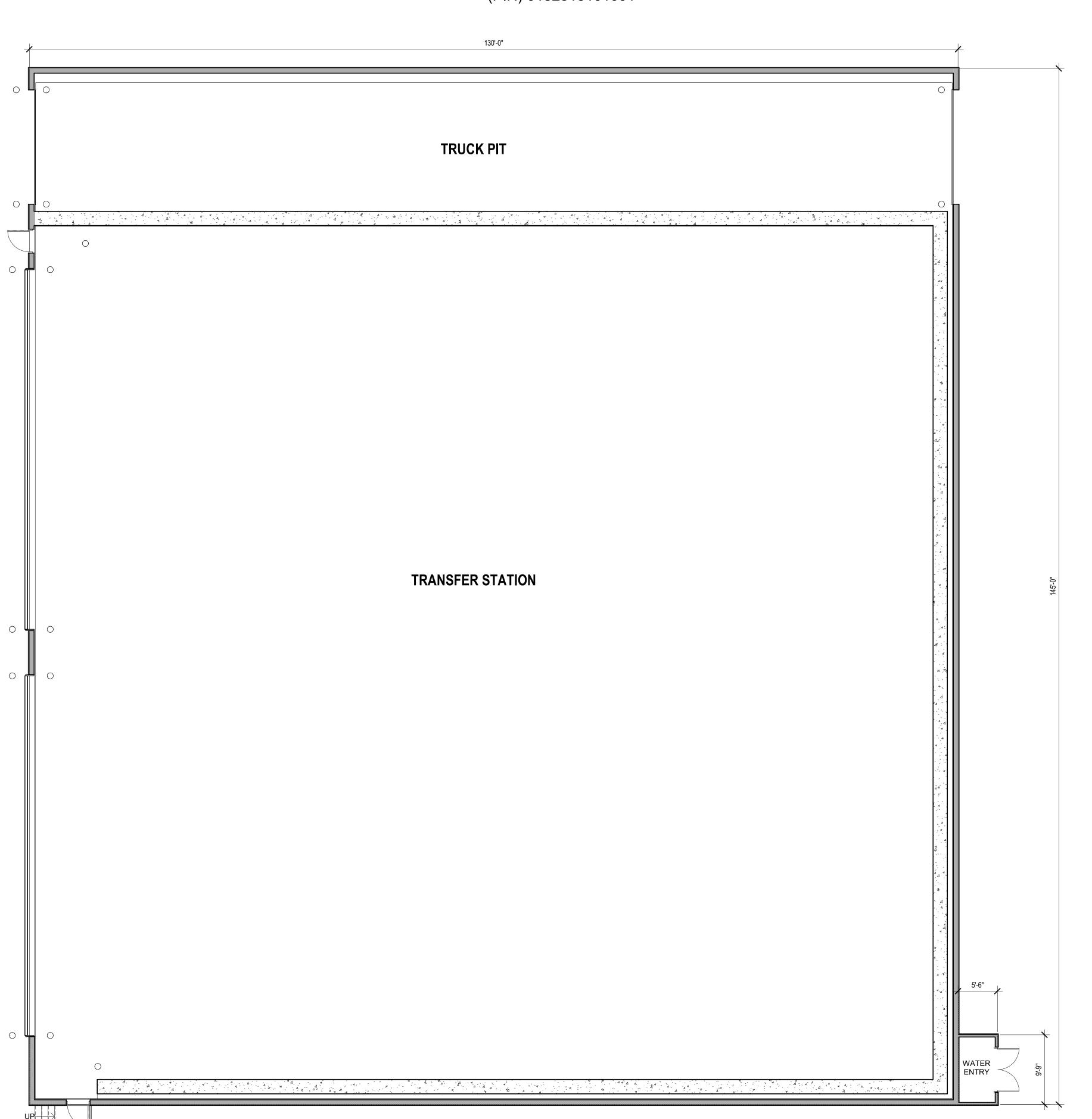
CONDITIONA

NO. REVISION

#### 5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

(PIN) 0182513101001



1 TRANSFER STATION FLOOR PLAN



600	
construction company, inc.	
909 East 62nd Avenue • Denver, Colorado 80216 • 303.287.5525 • Fax 303.287.3697 • www.dcb	1.0

CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET

1		1	1
NO.	REVISION	BY	DAT
1	CUP 2ND SUBMITTAL	CLY	6/16
2	CUP 3RD SUBMITTAL	CLY	8/28
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		I	ı
			1
.loh	<b>No</b> RD19127		
Job Date	<b>No.</b> RD19127		
	e: 08/28/20		
Date Drav	e: 08/28/20		

#### (PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY

DEVELOPMENT OF THE CITY OF COMMERCY CITY,

THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

**A1** 

STATION -

FLOOR PLAN

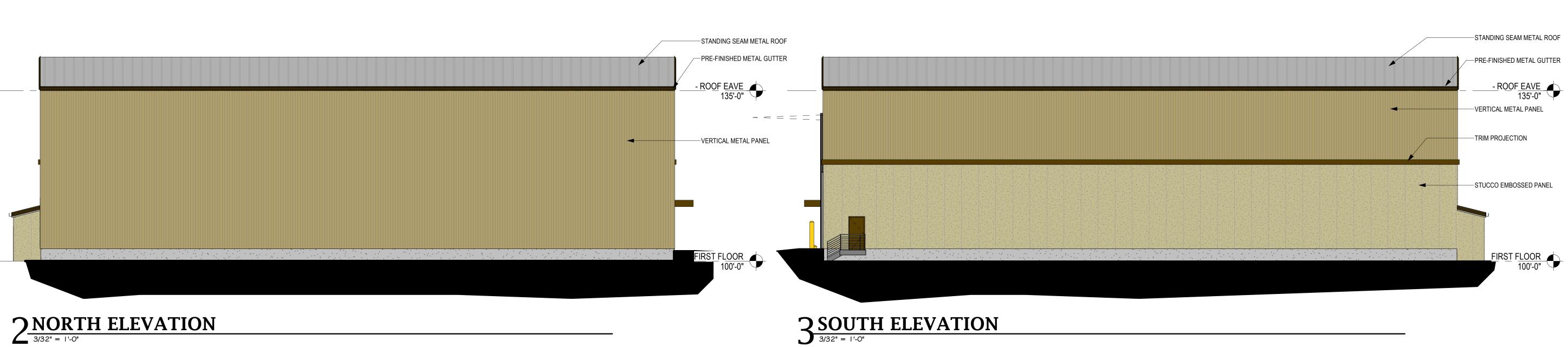
## CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO (PIN) 0182513101001 PRE-FINISHED METAL FACIA /PRE-FINISHED METAL GUTTER PRE-FINISHED METAL GUTTER-- ROOF EAVE 135'-0" VERTICAL METAL PANEL— STUCCO EMBOSSED PANEL-16FT x 16FT SECTIONAL DOORS

1 EAST ELEVATION

3/32" = 1'-O"

PHONE: 303-753-6730

construction company, inc.



FIRST FLOOR 100'-0"

S S CONDITIONAL U 5400 MONROE

NO.	REVISION	BY	DATE
_1	CUP 2ND SUBMITTAL	CLY	6/16/20
_2	CUP 3RD SUBMITTAL	CLY	8/28/20

Job No.	RD19127
Date:	08/28/20
Drawn	KEH
Checked	KEH

(PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY

DEVELOPMENT OF THE CITY OF COMMERCY CITY,

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

THIS\_\_\_\_\_, 20\_\_\_

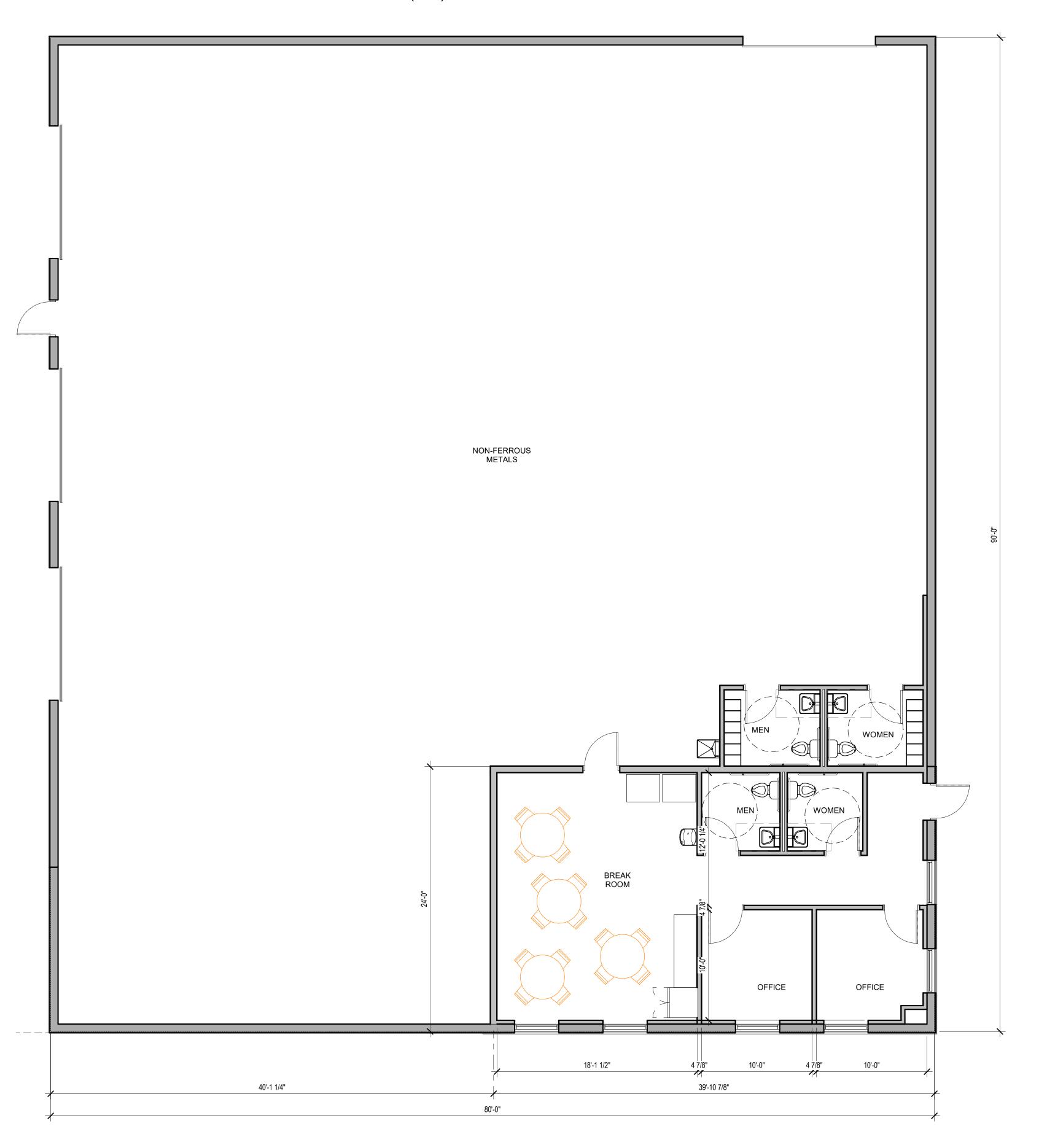
TRANSFER STATION -**ELEVATIONS** 

	<u> </u>	PRE-FINISHED METAL FACIA	BI-FOLD HANGER DOORS	PRE-FINISHED METAL GUTTER
VERTICAL METAL PANEL  ENTERY CANOPY  OVERHEAD SECTIONAL DOORS				STUCCO EMBOSSED PANEL
WEST ELEVATION  3/32" = 1'-0"	)N			

5400 MONROE STREET

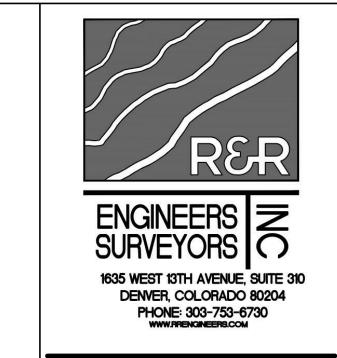
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

(PIN) 0182513101001



1 NON-FERRIS METALS FLOOR PLAN

3/16" = 1'-0"



construction company, inc.
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CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET

NO.	REVISION	BY	DATE
_1	CUP 2ND SUBMITTAL	CLY	6/16/20
_2	CUP 3RD SUBMITTAL	CLY	8/28/20
I		I	I

 Job No.
 RD19127

 Date:
 08/28/20

 Drawn
 KEH

 Checked
 KEH

NON-FERROUS

METALS FLOOR PLAN

**A3** 

(PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY

DEVELOPMENT OF THE CITY OF COMMERCY CITY,

THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

## CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO (PIN) 0182513101001 PRE-FINISHED METAL FACIA PRE-FINISHED METAL GUTTER ROOF EAVE 126'-0" VERTICAL METAL— PANEL TRIM PROJECTION STUCCO EMBOSSED-PANEL —STONE VENEER FIRST FLOOR 100'-0" 1 SOUTH ELEVATION -STANDING SEAM METAL ROOF STANDING SEAM METAL ROOF-PRE-FINISHED METAL GUTTER PRE-FINISHED METAL GUTTER ROOF EAVE 126'-0" ROOF EAVE 126'-0" CONDITIONAL USE PERMIT 5400 MONROE STREET TRIM PROJECTION--12FT x 14FT SECTIONAL DOORS--VERTICAL METAL PANEL STUCCO EMBOSSED-—STUCCO EMBOSSED PANEL -ENTRY CANOPY 4' x 4' DISPLAY WINDOWS STONE VENEER— FIRST FLOOR 100'-0" FIRST FLOOR 100'-0" 3' x 7' HM DOOR 3 WEST ELEVATION NO. REVISION CUP 2ND SUBMITTAL PRE-FINISHED METAL FACIA PRE-FINISHED METAL GUTTER 2 CUP 3RD SUBMITTAL VERTICAL METAL PANEL-ROOF EAVE 126'-0" 08/28/20 Checked FIRST FLOOR 100'-0" (PIN) 0182513101001 CITY STAFF CERTIFICATE: APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCY CITY, 4 NORTH ELEVATION THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_\_, 20\_\_\_ **A4** DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



construction company, inc.

BY DATE CLY 6/16/20 CLY 8/28/20

NON-FERROUS METALS -**ELEVATIONS** 

SHOWER

MAINTENANCE

OFFICE

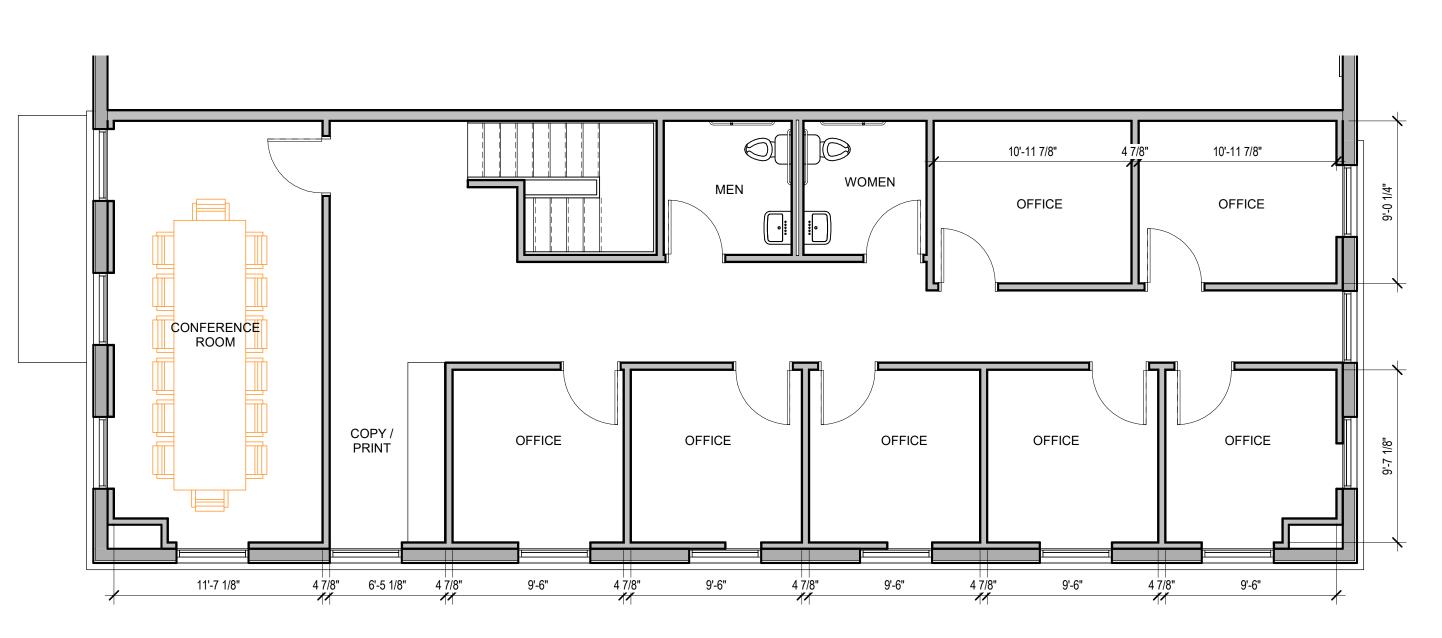
Room

RECEPTION

OFFICE

1 OFFICE / MAINTENANCE EAST FIRST FLOOR

3/16" = 1'-0"



OFFICE / MAINTENANCE EAST SECOND FLOOR

3/16" = 1'-0"

(PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCY CITY,
THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

ENGINEERS SURVEYORS

1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730
WWW.FRENGINEERS.COM

construction company, inc.

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CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET

NO. REVISION BY DATE

1 CUP 2ND SUBMITTAL CLY 6/16/20

2 CUP 3RD SUBMITTAL CLY 8/28/20

Job No. RD19127

Date: 08/28/20

Drawn KEH

Checked KEH

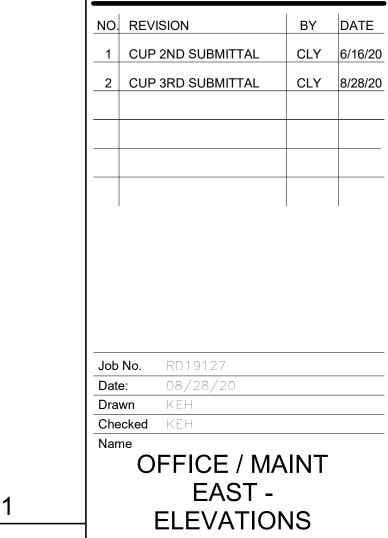
OFFICE / MAINT. EAST - FLOOR PLANS

## CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO (PIN) 0182513101001 PRE-FINISHED METAL FACIA PRE-FINISHED METAL GUTTER TRIM PROJECTION-SECOND FLOOR 113'-0" STUCCO EMBOSSED-PANEL 4' x 4' WINDOW -STONE VENEER-FIRST FLOOR 100'-0" 1 SOUTH ELEVATION -STANDING SEAM METAL ROOF -STANDING SEAM METAL ROOF PRE-FINISHED METAL GUTTER PRE-FINISHED METAL GUTTER ROOF EAVE 126'-0" ROOF EAVE 126'-0" -VERTICAL METAL PANEL 4' x 4' WINDOW -TRIM PROJECTION 16FT x 16FT SECTIONAL DOORS VERTICAL METAL PANEL SECOND FLOOR -STUCCO EMBOSSED 113'-0" SECOND FLOOR 113'-0" ENTRY CANOPY **EMBOSSED** 3' x 7' HM DOOR -3' x 7' HM DOOR STUCCO PANEL-4' x 4' DISPLAY WINDOW STONE VENEER FIRST FLOOR 100'-0" FIRST FLOOR 100'-0" 3 WEST ELEVATION 2 EAST ELEVATION PRE-FINISHED METAL FACIA -PRE-FINISHED METAL GUTTER 1" / 1'-0" ROOF EAVE 126'-0"

VERTICAL METAL PANEL—

4 NORTH ELEVATION

| 1/8" = 1'-0"



PERMIT EET

USE

CONDITIONAL L 5400 MONROE (

(PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCY CITY,
THIS\_\_\_\_\_DAY OF\_\_\_\_\_, 20\_\_

FIRST FLOOR 100'-0"

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

**A6** 

PHONE: 303-753-6730

construction company, inc.

5400 MONROE STREET
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION
13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

(PIN) 0182513101001



BY DATE NO. REVISION 1 CUP 2ND SUBMITTAL 2 CUP 3RD SUBMITTAL CLY 8/28/20

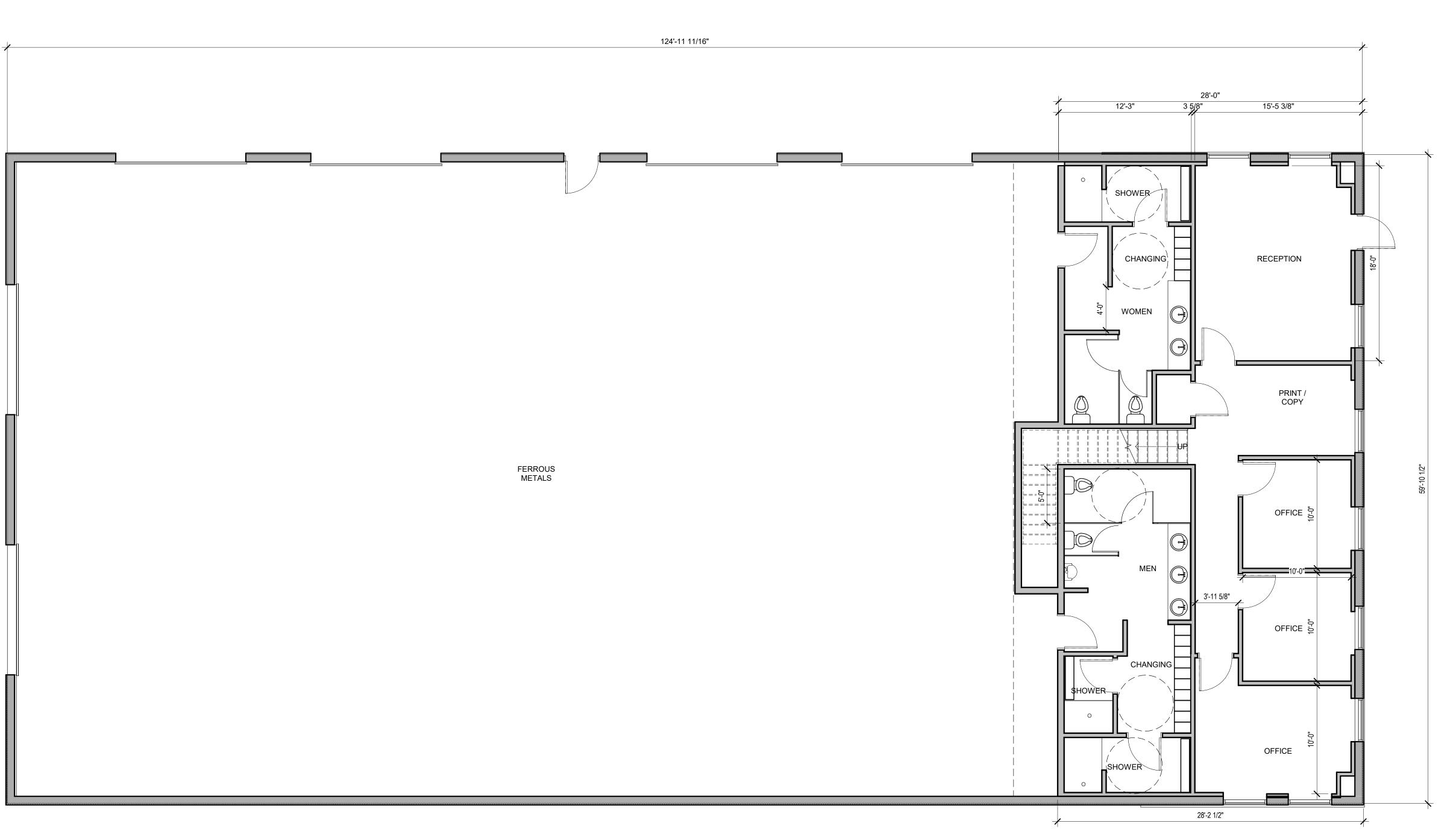
USE PERMIT I

CONDITIONAL U 5400 MONROE

08/28/20 Checked

> OFFICE / MAINT. WEST - FLOOR **PLANS**

> > **A7**



1 OFFICE / MAINTENANCE WEST FIRST FLOOR

3/16" = 1'-0"

#### (PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY

DEVELOPMENT OF THE CITY OF COMMERCY CITY, THIS\_\_\_\_\_, 20\_\_\_

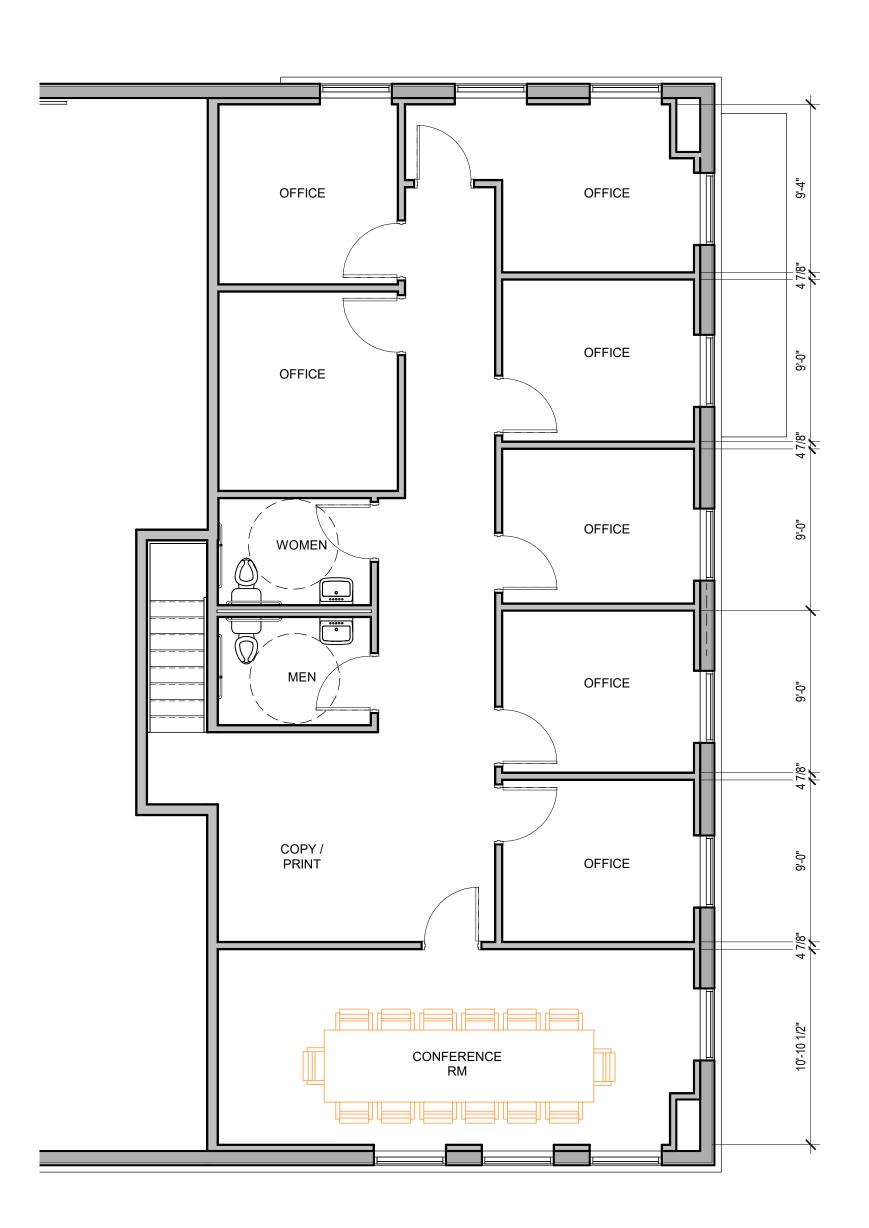
DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

5400 MONROE STREET
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

(PIN) 0182513101001



construction company, inc.



# 1 OFFICE / MAINTENANCE WEST SECOND FLOOR 3/16" = 1'-O"

#### (PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY

DEVELOPMENT OF THE CITY OF COMMERCY CITY, THIS\_\_\_\_\_, 20\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

Checked OFFICE / MAINT. WEST - FLOOR **PLANS** 

RD19127 08/28/20 BY DATE

CLY 8/28/20

CONDITIONAL USE PERMIT 5400 MONROE STREET

NO. REVISION

CUP 2ND SUBMITTAL

2 CUP 3RD SUBMITTAL

5400 MONROE STREET
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

(PIN) 0182513101001



construction company, inc.

PLAN

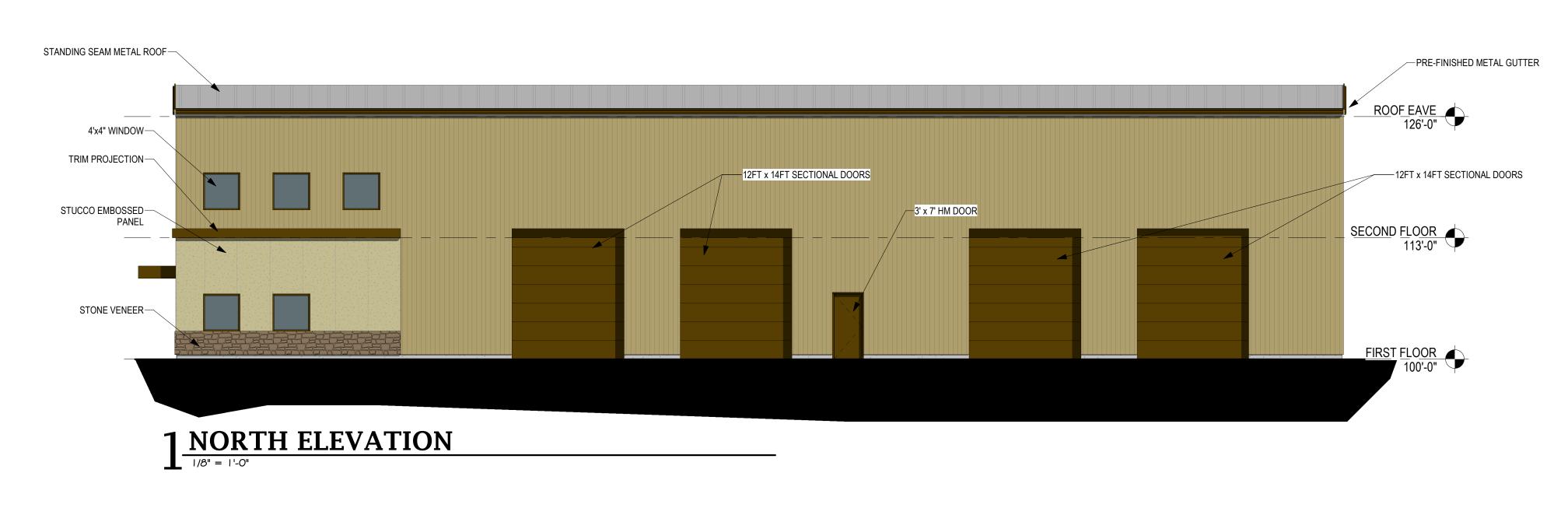
USE PERMIT FE STREET CONDITIONAL U 5400 MONROE

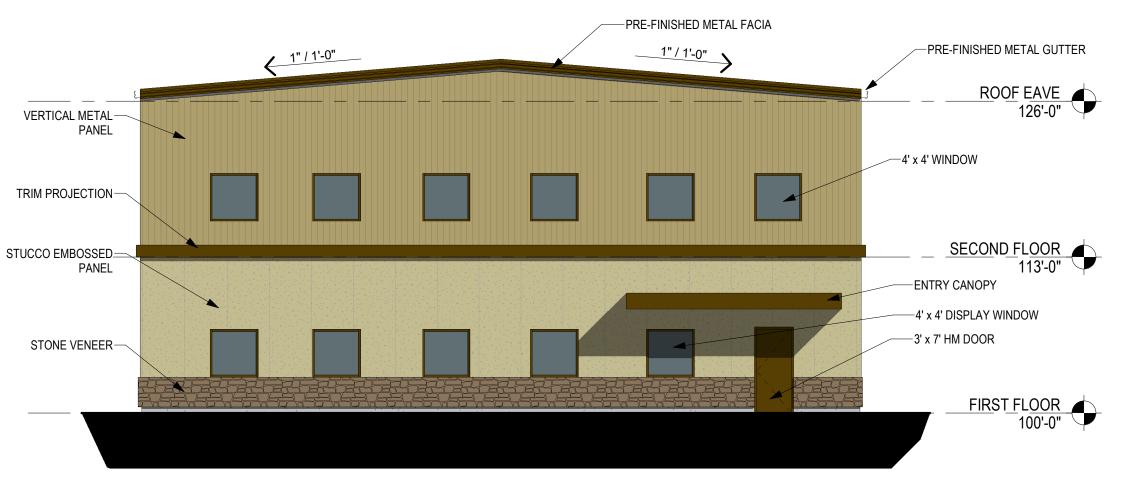
BY DATE NO. REVISION CUP 2ND SUBMITTAL CLY 6/16/20 2 CUP 3RD SUBMITTAL CLY 8/28/20

RD19127 08/28/20 Drawn Checked

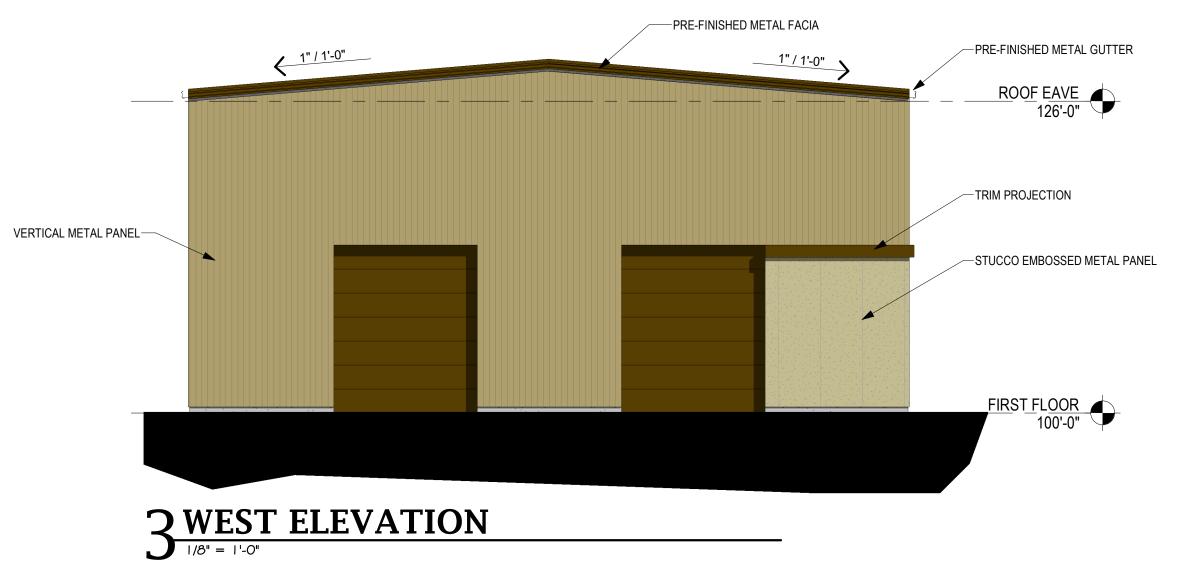
OFFICE / MAINT. WEST -**ELEVATIONS** 

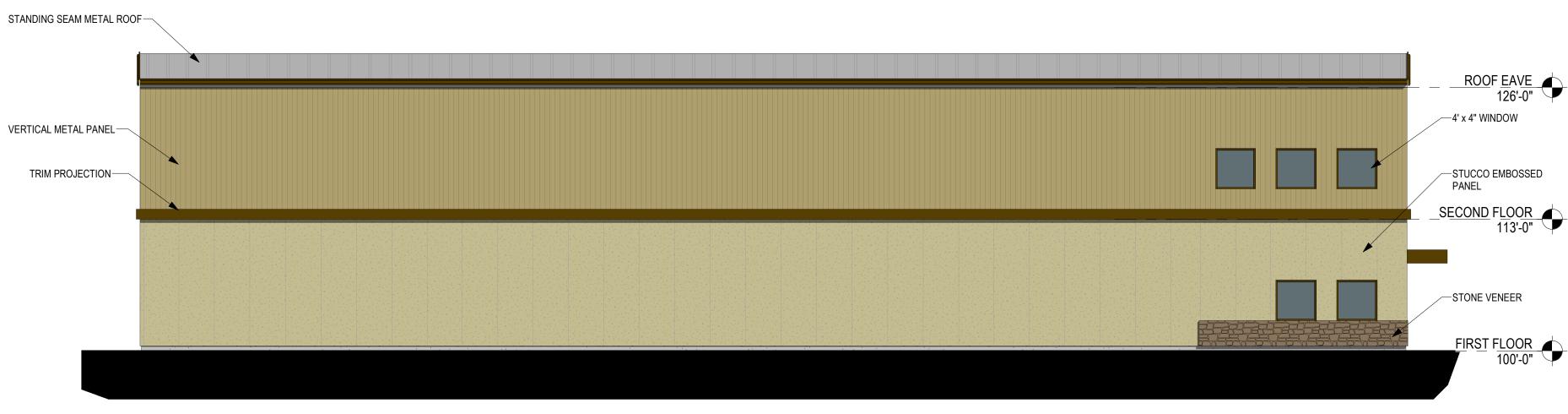
**A9** 





2 EAST ELEVATION





4 SOUTH ELEVATION

| 1/8" = 1'-0"

(PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY

DEVELOPMENT OF THE CITY OF COMMERCY CITY, THIS\_\_\_\_\_, 20\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

5400 MONROE STREET
A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVIDION LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

N.T.S.

(PIN) 0182513101001



construction company, inc.

CONDITIONAL USE PERMIT 5400 MONROE STREET

## BY DATE NO. REVISION CLY 6/16/20 CUP 2ND SUBMITTAL 2 CUP 3RD SUBMITTAL CLY 8/28/20

**Job No.** RD19127 08/28/20 Checked

(PIN) 0182513101001

CITY STAFF CERTIFICATE:

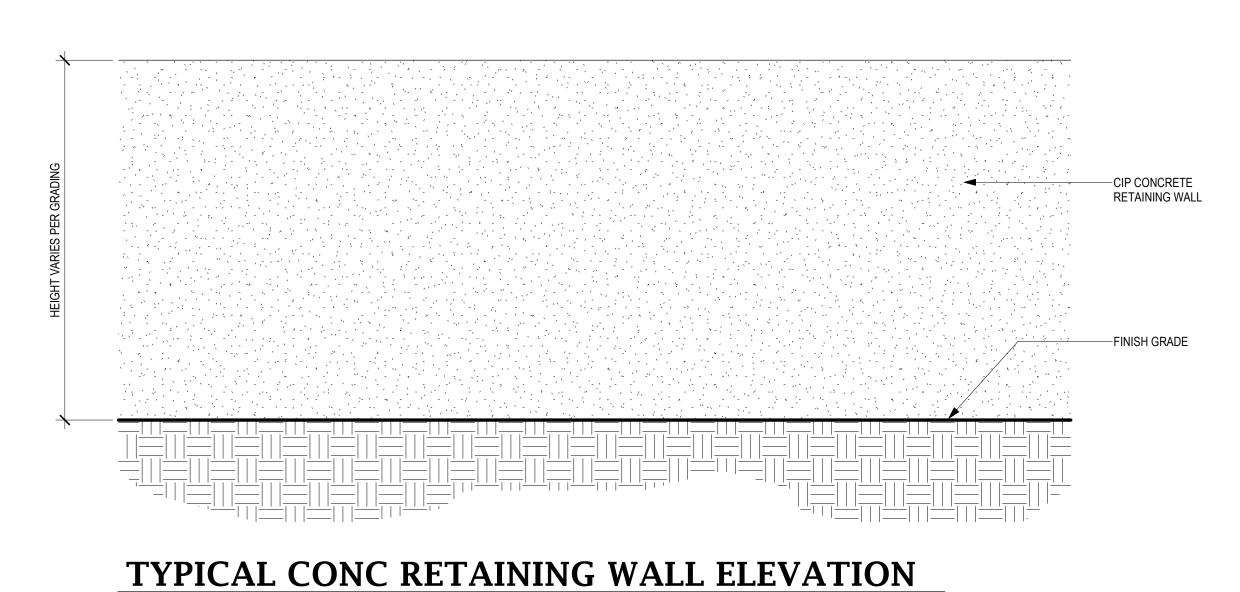
APPROVED BY THE DEPARTMENT OF COMMUNITY

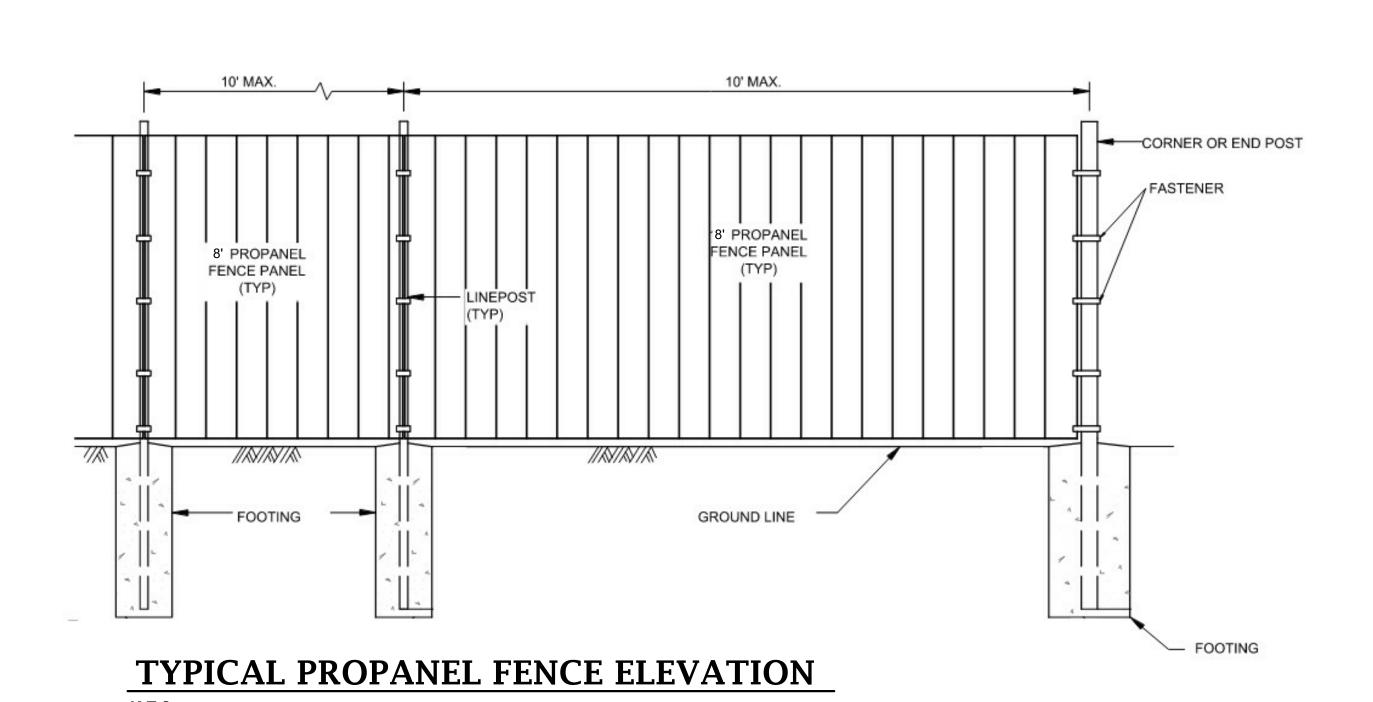
DEVELOPMENT OF THE CITY OF COMMERCY CITY,

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE

THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_

Name TYPICAL SITE **FENCING AND** SITE WALL **ELEVATIONS** 

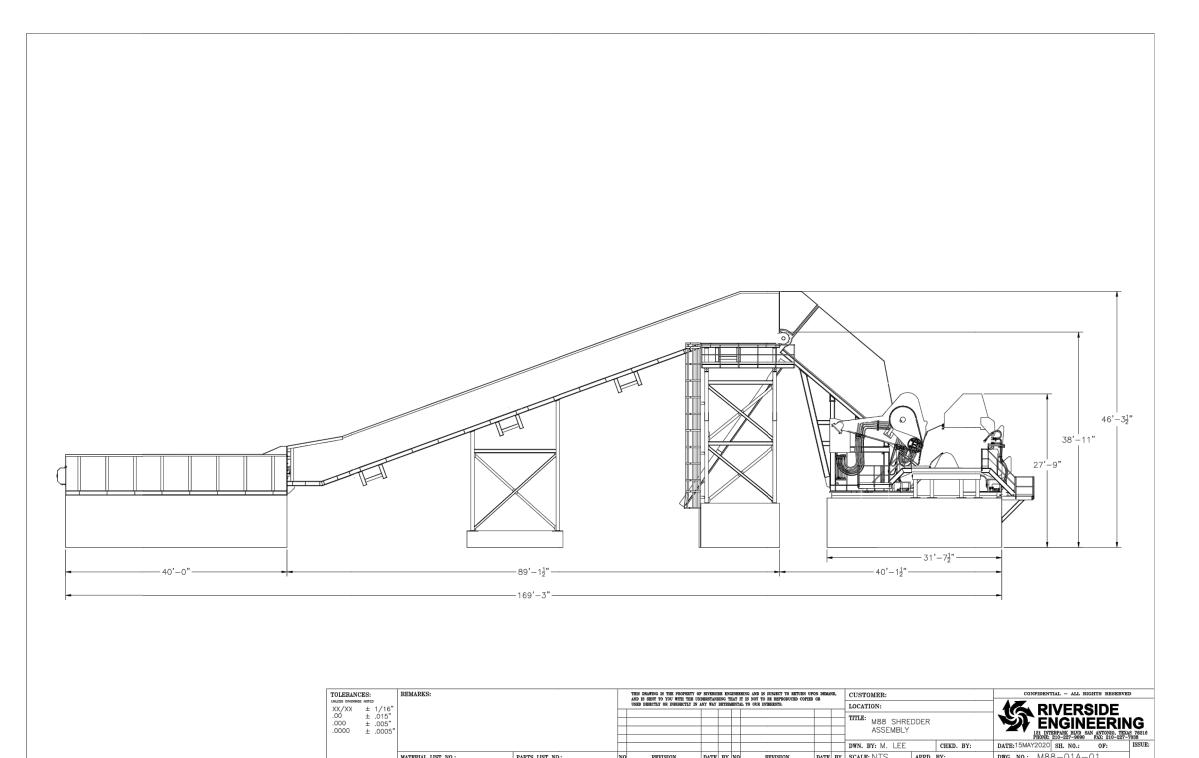


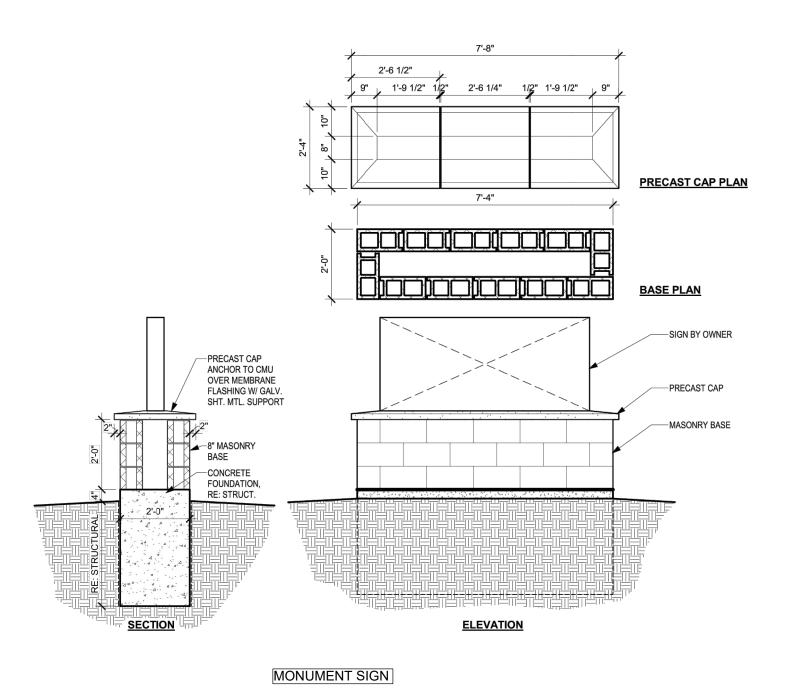


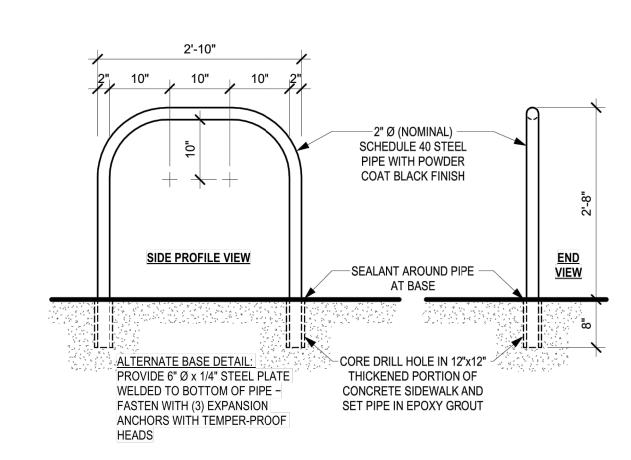
#### 5400 MONROE STREET

A RE-SUBDIVISION OF LOT 1, BLOCK 1, MCQUIRE SUBDIVISIONLOCATED IN THE NORHEAST ONE-QUARTER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL, MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS,

#### STATE OF COLORADO (PIN) 0182513101001







BIKE RACK











#### (PIN) 0182513101001

CITY STAFF CERTIFICATE:

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS\_\_\_\_\_DAY OF\_\_\_\_\_\_, 20\_\_\_\_

DEPART OF COMMUNITY DEVELOPMENT SIGNATURE



CONDITIONAL USE PERMIT PLAN 5400 MONROE STREET

NO.	REVISION	BY	DATE
1	CUP 2ND SUBMITTAL	CLY	6/16/20
2	CUP 3RD SUBMITTAL	CLY	8/28/20

Jak Na	RD19127	
Job No.	KD19127	
Date:	11/08/19	
Drawn	NGE	
Checked	CJD	
Name		

CUP DETAILS