

BUCKLEY CROSSING PUD AMENDMENT #1

PART OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
LOCATED AT EAST 120TH AVE & HIGH PLAINS PKWY

LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESENTS THAT BUSINESS CENTER INVESTORS (B.C.I.), A COLORADO GENERAL PARTNERSHIP, AND JACK D. FEUER, INDIVIDUALLY AND AS TRUSTEE, BEING THE OWNER OF THAT PART OF THE SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS TO WIT;

PARCEL 1:

A PARCEL OF LAND BEING A PORTION OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 4; WHENCE THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 4 BEARS NORTH 89°29'31" EAST, A DISTANCE OF 2,648.56 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE SOUTH 53°26'04" EAST, A DISTANCE OF 99.53 FEET TO THE SOUTH BOUNDARY OF AN EXCEPTION PARCEL RECORDED IN BOOK 3037, PAGE 990 IN THE RECORDS OF THE ADAMS COUNTY, COLORADO CLERK AND RECORDER AND THE POINT OF BEGINNING;

THENCE ALONG SAID SOUTH BOUNDARY, NORTH 89°29'31" EAST, A DISTANCE OF 819.18 FEET TO THE WEST BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN THE WARRANTY DEED RECORDED AT RECEPTION NO. C0939985 IN SAID RECORDS;

THENCE ALONG THE BOUNDARY OF SAID WARRANTY DEED THE FOLLOWING TWO (2) COURSES:

1. ALONG SAID WEST BOUNDARY, SOUTH 00°28'14" EAST, A DISTANCE OF 32.49 FEET;
2. ALONG THE SOUTH BOUNDARY, NORTH 89°31'05" EAST, A DISTANCE OF 429.22 FEET TO THE WEST LINE OF A 10.00 FOOT DRAINAGE AND UTILITY EASEMENT RECORDED AT RECEPTION NO. A036063 IN SAID RECORDS;

THENCE ALONG SAID WEST LINE, SOUTH 00°03'29" WEST, A DISTANCE OF 56.93 FEET;

THENCE DEPARTING SAID WEST LINE, NORTH 89°34'45" EAST, A DISTANCE OF 324.71 FEET;

THENCE NORTH 89°18'48" EAST, A DISTANCE OF 158.15 FEET TO THE NORTHEASTERLY LINE OF A UTILITY EASEMENT RECORDED AT RECEPTION NO. 200800047727 IN SAID RECORDS;

THENCE ALONG SAID NORTHEASTERLY LINE OF SAID UTILITY EASEMENT THE FOLLOWING FIVE (5) COURSES:

1. SOUTH 57°46'23" EAST, A DISTANCE OF 36.25 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 1,207.49 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 65°32'50" EAST;
2. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°03'25", AN ARC LENGTH OF 401.62 FEET;
3. SOUTH 43°30'46" EAST, A DISTANCE OF 493.33 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 1,210.72 FEET;
4. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 10°23'00", AN ARC LENGTH OF 219.41 FEET;
5. SOUTH 33°07'45" EAST, A DISTANCE OF 192.05 FEET TO THE EAST LINE OF A 5.00 FOOT DRAINAGE AND UTILITY EASEMENT RECORDED AT RECEPTION NO. A036063 IN SAID RECORDS;

THENCE ALONG SAID EAST LINE, NORTH 00°07'15" EAST, A DISTANCE OF 136.68 FEET TO THE SOUTHWESTERLY BOUNDARY OF AN EXCEPTION PARCEL RECORDED IN BOOK 4642, PAGE 722 IN SAID RECORDS;

THENCE ALONG SAID SOUTHWESTERLY BOUNDARY THE FOLLOWING SIX (6) COURSES:

1. SOUTH 33°07'55" EAST, A DISTANCE OF 779.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 3,046.37 FEET;
2. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 32°46'45", AN ARC LENGTH OF 1,742.84 FEET;
3. SOUTH 72°20'38" EAST, A DISTANCE OF 185.03 FEET;
4. SOUTH 68°39'15" EAST, A DISTANCE OF 485.75 FEET;
5. SOUTH 40°59'43" EAST, A DISTANCE OF 136.94 FEET;
6. SOUTH 07°10'51" EAST, A DISTANCE OF 51.26 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID SOUTH LINE, NORTH 89°55'35" WEST, A DISTANCE OF 477.90 FEET TO THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID EAST LINE, SOUTH 00°07'17" WEST, A DISTANCE OF 1,937.90 FEET TO A LINE 40.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SOUTHEAST QUARTER;

THENCE ALONG SAID PARALLEL LINE, SOUTH 89°52'32" WEST, A DISTANCE OF 1,985.86 FEET TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID WEST LINE, NORTH 00°07'47" EAST, A DISTANCE OF 621.59 FEET TO THE SOUTH LINE OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID SOUTH LINE, NORTH 89°54'38" WEST, A DISTANCE OF 2,586.52 FEET TO A LINE 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER;

THENCE ALONG SAID PARALLEL LINE, NORTH 00°09'18" EAST, A DISTANCE OF 1,986.53 FEET TO A LINE 60.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID PARALLEL LINE, NORTH 00°03'29" EAST, A DISTANCE OF 2,444.27 FEET TO THE SOUTHEAST BOUNDARY OF SAID EXCEPTION PARCEL RECORDED IN BOOK 3037, PAGE 990;

THENCE ALONG SAID SOUTHEAST BOUNDARY, NORTH 44°46'28" EAST, A DISTANCE OF 28.42 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 387.695 ACRES, (16,887,977 SQUARE FEET), MORE OR LESS.

PARCEL 2:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 4; THENCE S00°03'04" W ALONG THE WESTERLY LINE OF SECTION 4, A DISTANCE OF 1594.49 FEET TO THE POINT OF BEGINNING;

THENCE DEPARTING SAID WEST LINE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1075.00, AND A CENTRAL ANGLE OF 07°29'41", A DISTANCE OF 140.62 FEET;

THENCE S00°03'04"W ALONG A LINE 60.00 FEET EAST AND PARALLEL TO THE WEST LINE OF SECTION 4; A DISTANCE OF 801.54 FEET;

THENCE S00°08'49" W ALONG A LINE 60.00 FEET EAST AND PARALLEL TO THE WEST LINE OF SECTION 4; A DISTANCE OF 1986.07 FEET;

THENCE N89°55'06"W A DISTANCE OF 60.00 FEET TO A POINT ON THE WEST LINE OF SECTION 4;

THENCE N00°08'49" E ALONG THE WEST LINE OF SECTION 4, A DISTANCE OF 1986.04 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 4;

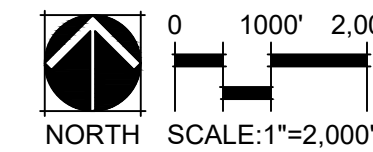
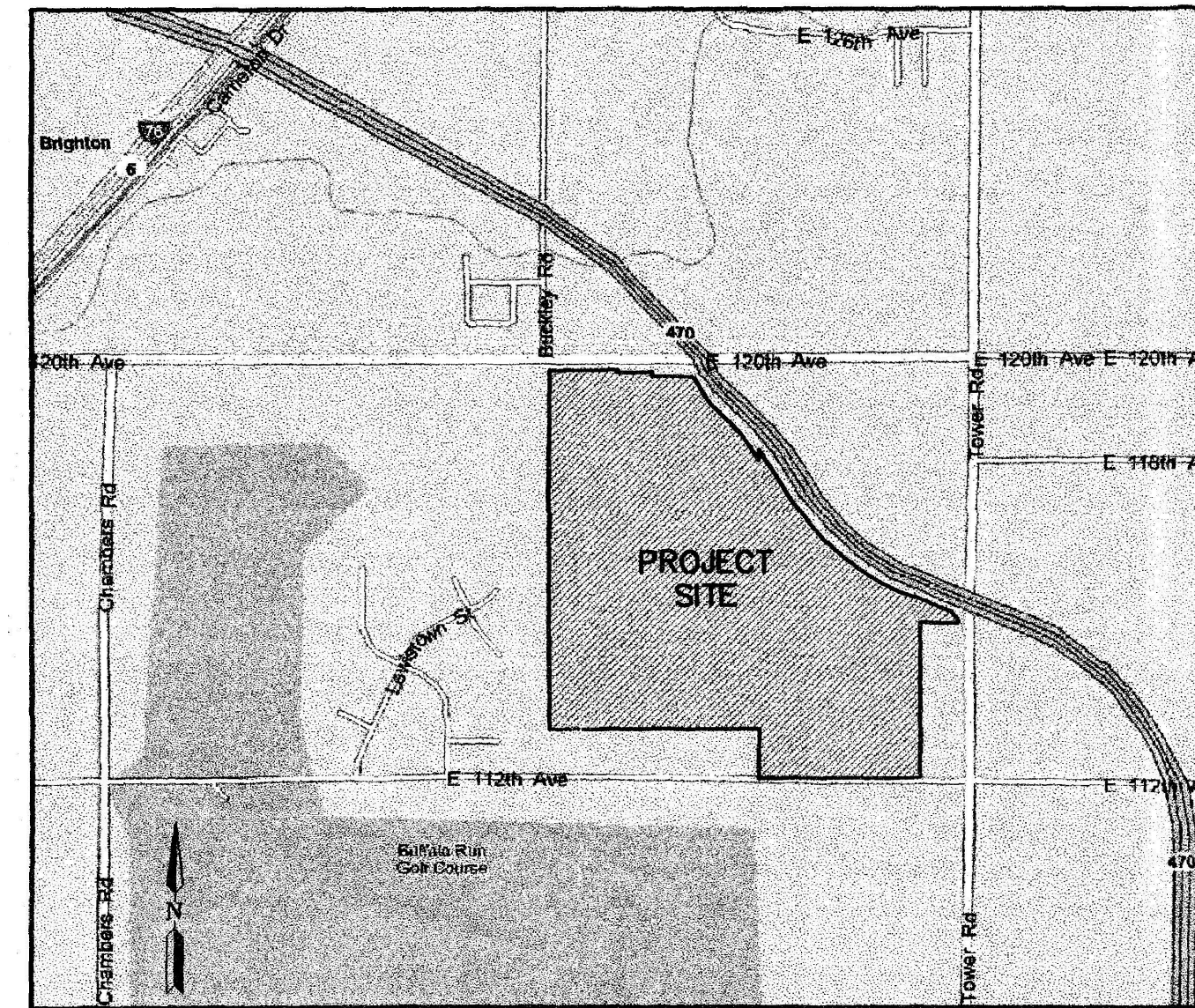
THENCE N00°03'04" E CONTINUING ALONG THE WEST LINE OF SECTION 4, A DISTANCE 928.61 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.92 ACRES, OR 170,852 SQ. FT, MORE OR LESS.

EXECUTED THIS _____ DAY OF _____, 20_____.

OWNERS:
PARKWOOD EAST LLC
BUSINESS CENTER INVESTORS GP
CLAY CARLSON
JEANIE D MCDONALD CARLSON
SCOTT L CARLSON
LISA CARLSON
KENT D CARLSON
C & J LAND INVESTMENTS LLC
S & L LAND INVESTMENTS LLC
K & H LAND INVESTMENTS LLC
CLAY F CARLSON 2012 TRUST
SCOTT L CARLSON 2012 TRUST
KENT D CARLSON 2012 TRUST

VICINITY MAP



PROJECT TEAM

OWNER / DEVELOPER
BUSINESS CENTER INVESTORS GP at al.
PO Box 247
EAST LAKE CO 80614
303.457.2966

PLANNING/LANDSCAPE ARCHITECT
NORRIS DESIGN
1101 BANNOCK ST
DENVER CO 80214
303.892.1166

ENGINEER
INNOVATIVE LAND CONSULTANTS, INC
12071 TEJON STREET STE 470
WESTMINSTER CO 80234
303.421.4224

PROJECT SUMMARY

AN AMENDMENT TO THE BUCKLEY CROSSING PUD ZONE DOCUMENT (PUD 3729, RECEPTION #C1215808) IS REQUESTED TO REFLECT MODIFIED LAND USES AND PROPOSED LOCATIONS OF SITE FEATURES. THE AMENDMENT APPLIES TO THE ENTIRETY OF THE APPROXIMATELY 392-ACRE SITE, WHICH CURRENTLY CONSISTS OF TWO SEPARATE LAND PARCELS. THE PROJECT SITE IS LOCATED WEST OF E-470 AND IS BOUNDED BY 120TH AVENUE TO THE NORTH, AND 112TH AVENUE TO THE SOUTH. THE WESTERN BOUNDARY OF THE SITE IS ABUTTED BY AN EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL NEIGHBORHOOD.

GENERAL PROJECT NOTES

1. ANY STANDARDS NOT ADDRESSED HEREIN SHALL DEFAULT TO THE STANDARDS OF THE CITY OF COMMERCE CITY LAND DEVELOPMENT REGULATION (LDR).
2. DEPICTED ACCESS POINTS ARE PRELIMINARY AND SUBJECT TO FINAL APPROVAL BY PUBLIC WORKS.
3. DRAINAGE IS PRELIMINARY AND SUBJECT TO FINAL APPROVAL BY PUBLIC WORKS.
4. FUTURE DESIGN ELEMENTS SUCH AS LANDSCAPE, SIGNAGE, ARCHITECTURAL DESIGN STANDARDS, LIGHTING, PUBLIC ART, PEDESTRIAN CONNECTIVITY, ETC., UNLESS NOTED OTHERWISE HEREIN SHALL DEFAULT TO THE STANDARDS OF THE CITY OF COMMERCE CITY LAND DEVELOPMENT REGULATION (LDR).
5. STREET SECTIONS SHALL DEFAULT TO THE STANDARDS OF THE CITY OF COMMERCE CITY LAND DEVELOPMENT REGULATION (LDR).

OWNER CERTIFICATE

BUSINESS CENTER INVESTORS (B.C.I.), A COLORADO GENERAL PARTNERSHIP, AND JACK D. FEUER, INDIVIDUALLY AND AS TRUSTEE, BEING THE OWNER(S) OF THE PROPERTY LOCATED IN THE CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO DO HEREBY SUBMIT THIS PLANNED UNIT DEVELOPMENT AMENDMENT AND AGREE TO PERFORM UNDER THE TERMS NOTED HEREON.

OWNERS:
PARKWOOD EAST LLC
BUSINESS CENTER INVESTORS GP
CLAY CARLSON
JEANIE D MCDONALD CARLSON
SCOTT L CARLSON
LISA CARLSON
KENT D CARLSON
C & J LAND INVESTMENTS LLC
S & L LAND INVESTMENTS LLC
K & H LAND INVESTMENTS LLC
CLAY F CARLSON 2012 TRUST
SCOTT L CARLSON 2012 TRUST
KENT D CARLSON 2012 TRUST

ACKNOWLEDGEMENT:

STATE OF COLORADO)
COUNTY OF ADAMS)
CITY OF COMMERCE CITY)

THE FOREGOING OWNERSHIP CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20_____.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES _____

APPROVAL CERTIFICATES:

APPROVAL OF THE CITY OF COMMERCE CITY PLANNING COMMISSION:
APPROVED THIS _____ DAY OF _____, 20_____.

CHAIRPERSON _____

APPROVAL OF THE CITY COUNCIL OF THE CITY OF COMMERCE CITY:
APPROVED THIS _____ DAY OF _____, 20_____.

CITY CLERK _____

MAYOR _____

CLERK AND RECORDER:

THIS PUD ZONE DOCUMENT AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF ADAM COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT _____ O'CLOCK ____ M., THIS _____ OF _____, 20_____.

COUNTY CLERK AND RECORDER _____

DEPUTY _____

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	SHEET NO.	SHEET DESCRIPTION
1	COVER SHEET	5	DEVELOPMENT STANDARDS
2	LAND USE PLAN & DATA	6	ALLOWED USES
3	DEVELOPMENT STANDARDS	7	LOT TYPICALS
4	DEVELOPMENT STANDARDS	8	ALLEY STANDARDS

PUD#:

RECEPTION NUMBER:

BUCKLEY CROSSING
PUD ZONE DOCUMENT AMENDMENT
COMMERCE CITY, COLORADO

OWNER:
CARLSON ASSOCIATES, INC
12460 1ST STREET
EAST LAKE CO 80614
303.457.2966
SCOTT CARLSON

DATE:
07/15/2020
11/20/2020
02/12/2021
04/09/2021
05/06/2021

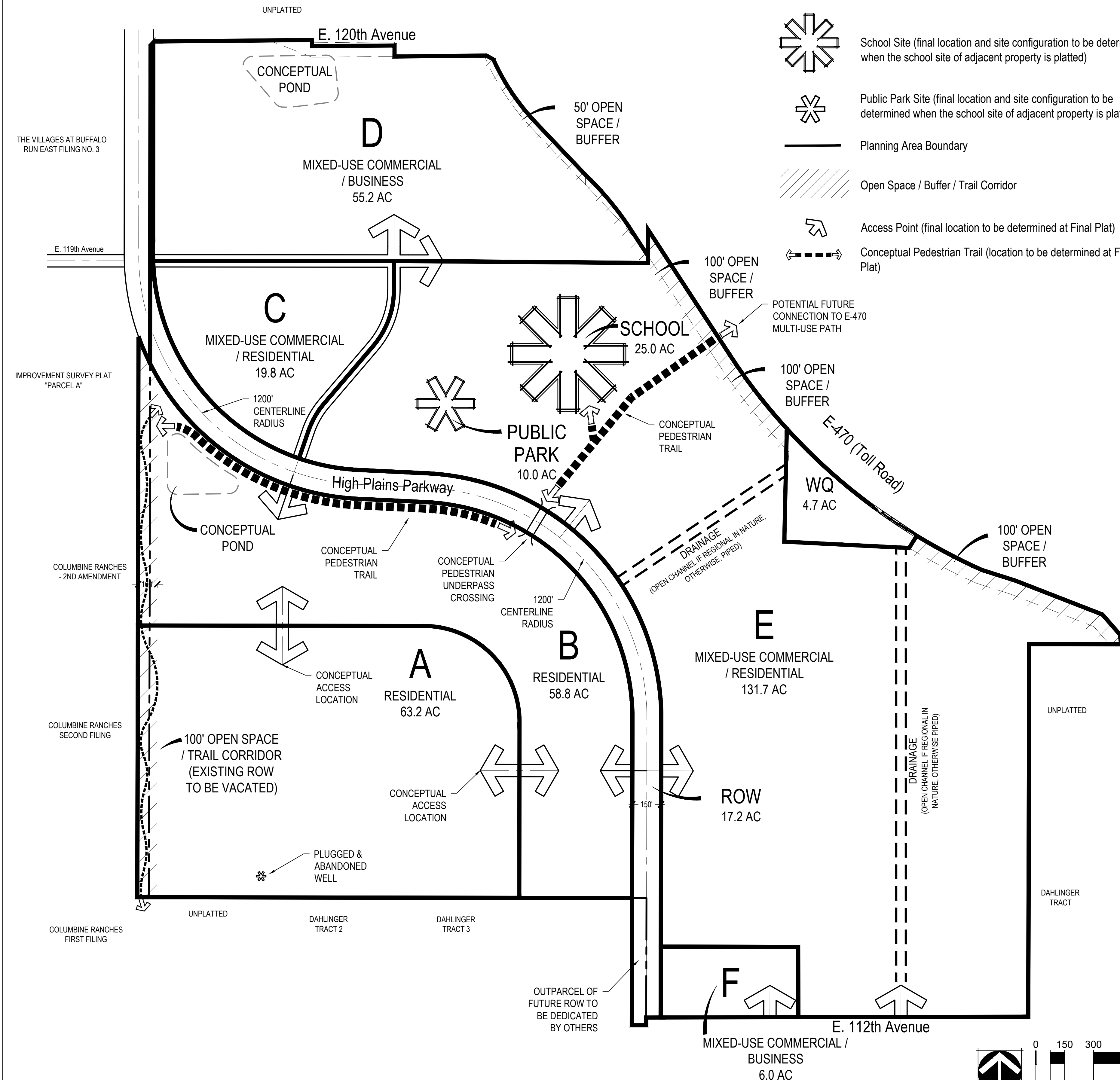
NOT FOR CONSTRUCTION

COVER SHEET

BUCKLEY CROSSING PUD AMENDMENT #1

PART OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
LOCATED AT EAST 120TH AVE & HIGH PLAINS PKWY

LAND USE PLAN



LEGEND

- School Site (final location and site configuration to be determined when the school site of adjacent property is platted)
- Public Park Site (final location and site configuration to be determined when the school site of adjacent property is platted)
- Planning Area Boundary
- Open Space / Buffer / Trail Corridor
- Access Point (final location to be determined at Final Plat)
- Conceptual Pedestrian Trail (location to be determined at Final Plat)

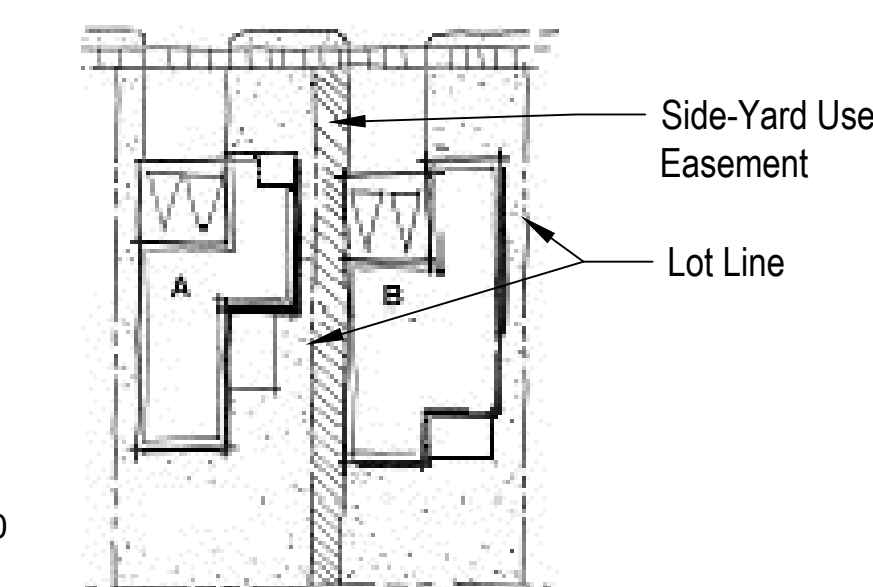
LAND USE DATA

Planning Area	Use	Description of Uses	Acres	Percent of Overall Development	Permitted Gross Density
A	Residential	Single-family detached residential.	63.2	16.1%	1-4 DU/AC
B	Residential	Smaller lot single-family detached residential.	58.8	15.0%	4-8 DU/AC
C	Mixed-Use Commercial / Residential	Includes single-family attached (townhome, duplex), and multi-family residential, commercial, retail and office uses.	19.8	5.1%	Non-Residential Land Uses: N/A Residential Land Uses: 8-40 DU/AC
D	Mixed-Use Commercial / Business	Includes primarily commercial, retail, civic, and office uses, but may also include high-density residential as part of a vertical mixed-use development.	55.2	14.1%	Non-Residential Land Uses: N/A Residential Land Uses: 8-40 DU/AC (Maximum 50% total land area permitted for residential as part of an integrated mixed-use development)
E	Mixed-Use Commercial / Residential	Includes single-family attached (townhome, duplex), and multi-family residential, commercial, retail, civic, and office uses.	131.7	33.6%	Non-Residential Land Uses: N/A Residential Land Uses: 8-40 DU/AC
F	Mixed-Use Commercial / Business	Includes primarily commercial, retail, civic, and office uses; no residential land uses permitted.	6.0	1.5%	N/A
PARK	Park	Includes park and open space.	10.0	2.6%	-
SCHOOL	School	Intended to be educational, park and/or open space.	25.0	6.4%	-
WQ	Water Quality Pond	Intended for future development, includes water quality / detention pond and open space.	4.7	1.2%	-
ROW	High Plains Parkway ROW	Public Right-of-Way.	17.2	4.4%	-
Total Land Area			391.6	100%	-

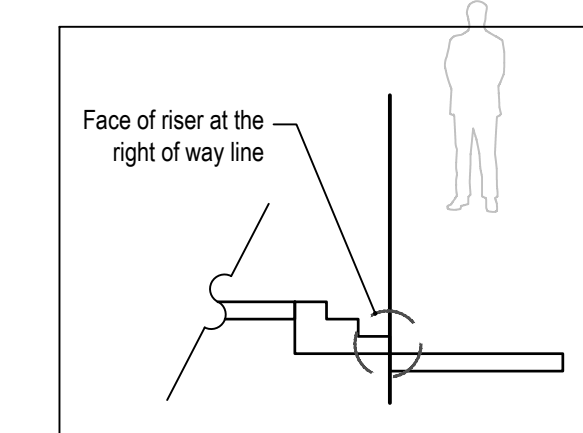
NOTES

- "Description of Uses" outlines the primary intended land use(s) for the subject planning area. However, additional land uses may be allowed per the "Table of Allowed Land Uses" on sheet 6 and subject to Community Development Director approval.
- The Planning Area acreage and shapes may be administratively varied up to 15% without a PUD Zone Document Amendment so long as shapes, locations of land uses, and compatibility generally remain consistent.
- All residential densities stated are to be calculated on a gross acreage basis. Individual filings within each planning area may be constructed with net densities below the stated gross density minimums, as long as the overall parcel achieves the gross density requirements with all combined residential filings.
- Drainage facilities for this Buckley Crossing PUD will be served by one or more detention ponds located within this PUD Zone boundary. Parcel E depicts two drainage corridors. The final design and location of these corridors and all drainage/detention facilities within this PUD are to be determined during the PUD Permit and/or Final Plat.
- Drainage facilities that collect, detains and conveys storm runoff for tributary basins exceeding 130 acres shall be designed to comply with the Mile High Flood District (MHFD) Maintenance Eligibility Program (MEP), unless otherwise approved by Public Works and Mile High Flood District (MHFD).
- Access points and road classifications shown are conceptual and subject to change during the PUD Permit approval process. Final access points and road classifications will be determined by traffic analysis(es) at that time.
- Conceptual pedestrian trails depicted west of High Plains Parkway may be aligned along High Plains Parkway or within PA-B and/or PA-A. Trails depicted east of High Plains Parkway will be located within PA-E and will connect with the planned school and the future multi-use path along E-470. Trails may be aligned with open space, parks, and/or streets, which shall be determined by the Developer and the Department of Community Planning Development and Services at the time of PUD Permit and/or Final Plat. General locations are depicted on the land use map.
- A sub-grade pedestrian crossing will be provided for the site and the design and location shall be determined by the Developer and the Department of Community Planning and Development Services at time of PUD Permit and/or Final Plat. A general location is depicted on the land use map.
- A 100' open space transition zone will be provided on the western boundary of the site in Planning Area A and B, adjacent to Columbine Ranches Subdivision. This zone shall include a trail corridor with open space and native landscape.
- No direct vehicular access to arterial or collector street for individual residences is permitted.
- The tread of the first entry step may be located immediately adjacent to public sidewalk (see graphic below).
- Side-yard use easements are permitted on single-family detached residential lots. Decks, patios, landscaping, walls, fences, rails, furniture, driveways and similar elements are permitted within the defined use easement (see graphic below).
- Shared driveways/driveway easements are permitted for all uses per then current code requirements.
- Accessory structures include all structures located within the parcel in which the use is incidental to the use of the principal structure.
- The applicant will dedicate up to 35 acres for a public park/school site if Brighton School District 27 J approves a K-8 school for the site. Final location shall be determined by the developer and the School District and City at the time of Final Plat. 10 acres of this acreage shall be credited toward the Buckley Crossing parks dedication requirement. If the School District does not approve the site for a school, the remaining 25-acres shall carry the same zoning standards as Planning Area E, herein.

SIDE-YARD USE EASEMENT EXHIBIT



TREAD RISER AT ROW EXHIBIT



BUCKLEY CROSSING PUD AMENDMENT #1

PART OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO LOCATED AT EAST 120TH AVE & HIGH PLAINS PKWY

BULK STANDARDS

STANDARDS (1)	USES						
	Standard Lot Single-Family Detached Residential with Front-Loaded Garage	Small Lot Single-Family Detached Residential with Front-Loaded Garage	Single-Family Detached Residential with Rear-Loaded Garage	Duplexes (Single-Family Attached Residential)	Townhomes (Multi-Family Residential)	Apartments/Condos (Multi-Family Residential)	Non-Residential Uses
Lot Size (Min.)	6,000 SF						
Lot Width (Min.) (2)	50'						
Min. Gross Floor Area (3)	1,080 SF (1-Story)						
	1,600 SF (2-Story)						
Setback (Min.) for all Structures Adjacent to Arterial (4,6,7)	25'						
Setback (Min.) for all Structures Adjacent to Collector (4,6,7)	20'						
Front Yard Setback (Min.) (4,6,7,8)	10' to Living						
	10' to Porch						
	20' to Garage						
Side Yard Setback (Min.) (4,5,6,7,8)	5'						
	10' (Side Corner Lot Condition)						
Rear Yard Setback (Min.) (4,6,7,8)	20'						
Building Height (Max.) (9)	35'						
Accessory Use: Building Height (Max) (9,10,11)	15'						
Accessory Use: Front Yard Setback (Min.) (4,6,7,8,10)	No closer than front facade of primary structure						
Accessory Use: Side Yard Setback (Min.) (4,6,7,8,10)	5'						
Accessory Use: Rear Yard Setback (Min.) (4,6,7,8,10)	5'						

PLANNING AREA A BULK STANDARDS TABLE NOTES

- Shared driveways/driveway easements are permitted for all uses per the current code requirements.
- Minimum lot width shall be measured at the front setback.
- Minimum gross floor area does not include garage or basement square footage.
- Setbacks shall be measured from public right-of-way to the foundation. 10' side yard setback for corner lots shall only apply to lots abutting a public right of way. Lots siding onto private streets, alleys, open space areas, or other similar uses shall use the 5' side yard setback standards. The driveway length shall be at least 20' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line (unless using a 0' lot line configuration).
- Bay windows, window wells, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. Side-loaded garages and non-livable structures, such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of-way or transportation and utility easements.
- Roof overhangs are permitted with a maximum encroachment of 2' into the building setback.
- Window wells are permitted to encroach into setbacks up to 3', as long as adequate drainage is accommodated.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Accessory structures include all structures located within the parcel in which the use is incidental to the use of the principal structure.
- Accessory Dwelling Units (ADUs) building height shall comply with the building height of the principal structure.

STANDARDS (1)	USES						
	Standard Lot Single-Family Detached Residential with Front-Loaded Garage	Small Lot Single-Family Detached Residential with Front-Loaded Garage (12)	Single-Family Detached Residential with Rear-Loaded Garage	Duplexes (Single-Family Attached Residential)	Townhomes (Multi-Family Residential)	Apartments/Condos (Multi-Family Residential)	Non-Residential Uses
Lot Size (Min.)	4,000 SF	4,000 SF	4,000 SF				
Lot Width (Min.) (2)	50'	40'	35'				
Min. Gross Floor Area (3)	1,080 SF (1-Story)	1,080 SF (1-Story)	800 SF (1-Story)				
	1,600 SF (2-Story)	1,300 SF (2-Story)	1,400SF (2-Story)				
Setback (Min.) for all Structures Adjacent to Arterial (4,6,7)	25'	25'	25'				
Setback (Min.) for all Structures Adjacent to Collector (4,6,7)	20'	20'	20'				
Front Yard Setback (Min.) (4,6,7,8)	10' to Living	10' to Living	10' to Living				
	10' to Porch	6' to Porch	6' to Porch				
	20' to Garage	20' to Garage	N/A				
Side Yard Setback (Min.) (4,5,6,7,8)	5'	0/5' Side to Living	5'				
	10' Side Corner Lot Condition	10' Side Corner Lot Condition	10' Side Corner Lot Condition				
Rear Yard Setback (Min.) (4,6,7,8)	15'	10'	6' (No Parking)				
			20' (Parking Allowed)				
Building Height (Max.) (9)	35'	35'	35'				
Accessory Use: Building Height (Max) (9,10,11)	20'	20'	20'				
Accessory Use: Front Yard Setback (Min.) (4,6,7,8,10)	No closer than front facade of primary structure	No closer than front facade of primary structure	No closer than front facade of primary structure				
Accessory Use: Side Yard Setback (Min.) (4,6,7,8,10)	5'	5'	5'				
Accessory Use: Rear Yard Setback (Min.) (4,6,7,8,10)	5'	5'	5'				

PLANNING AREA B BULK STANDARDS TABLE NOTES

- Shared driveways/driveway easements are permitted for all uses per the current code requirements.
- Minimum lot width shall be measured at the front setback.
- Minimum gross floor area does not include garage or basement square footage.
- Setbacks shall be measured from public right-of-way to the foundation. 10' side yard setback for corner lots shall only apply to lots abutting a public right of way. Lots siding onto private streets, alleys, open space areas, or other similar uses shall use the 5' side yard setback standards. The driveway length shall be at least 20' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line (unless using a 0' lot line configuration- see Note 12).
- Bay windows, window wells, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. Side-loaded garages and non-livable structures, such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of-way or transportation and utility easements.
- Roof overhangs are permitted with a maximum encroachment of 2' into the building setback.
- Window wells are permitted to encroach into setbacks up to 3', as long as adequate drainage is accommodated.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Accessory structures include all structures located within the parcel in which the use is incidental to the use of the principal structure.
- Accessory Dwelling Units (ADUs) building height shall comply with the building height of the principal structure.
- 0' lot line configurations are allowed. When 0' lot line configurations are permitted, detached garages may also utilize a 0' side setback. All structures must meet separation and code requirements as well as minimum standards for architecture.

OIL AND GAS NOTES

- A minimum of 50 foot setback shall be maintained from plugged and abandoned wells to adjacent structures.
- Colorado Oil and Gas Conservation Commission (COGCC) and City standards for setbacks and development shall be observed for all oil and gas operations within the Buckley Crossing PUD Zone Document area.

CHECKED BY: AW
DRAWN BY: BB

BUCKLEY CROSSING
PUD ZONE DOCUMENT AMENDMENT
COMMERCE CITY, COLORADO

OWNER:
CARLSON ASSOCIATES, INC
12460 1ST STREET
EAST LAKE CO 80614
303.457.2966
SCOTT CARLSON

DATE:
07/15/2020
11/20/2020
02/12/2021
04/09/2021
05/06/2021

NOT FOR CONSTRUCTION

DEVELOPMENT STANDARDS

BUCKLEY CROSSING PUD AMENDMENT #1

PART OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
LOCATED AT EAST 120TH AVE & HIGH PLAINS PKWY

BULK STANDARDS

STANDARDS (1)	USES						
	Standard Lot Single-Family Detached Residential with Front-Loaded Garage	Small Lot Single-Family Detached Residential with Front-Loaded Garage	Single-Family Detached Residential with Rear-Loaded Garage	Duplexes (Single-Family Attached Residential)	Townhomes (Multi-Family Residential) (12)	Apartments/Condos (Multi-Family Residential) (12,13)	Non-Residential Uses (12)
Lot Size (Min.)				2,000 SF	1,800 SF (interior unit) 2,700 SF (end unit)	N/A	N/A
Lot Width (Min.) (2)				20'	30' (Front-Loaded) 20' (Rear-Loaded)	N/A	30'
Min. Gross Floor Area (3)				800 SF (1-Story) 1,250 SF (2-Story) per dwelling unit	0 bdrm: 400 SF 1 bdrm: 550 SF 2 bdrm: 700 SF 3 bdrm: 850 SF 4 bdrm: 1,000 SF	0 bdrm: 400 SF 1 bdrm: 550 SF 2 bdrm: 700 SF 3 bdrm: 850 SF 4 bdrm: 1,000 SF	N/A
Setback (Min.) for all Structures Adjacent to Arterial (4,6,7)				25'	25'	25'	25'
Setback (Min.) for all Structures Adjacent to Collector (4,6,7)				20'	20'	20'	20'
Front Yard Setback (Min.) (4,6,7,8)				6' to Porch 10' to Living 20' to Garage	6' to Porch 10' to Living 20' to Garage	15'	10'
Side Yard Setback (Min.) (4,5,6,7,8)				5' exterior wall 0' common wall 10' side corner	5' exterior wall 0' common wall 10' side corner	15' (20' min. building separation)	0' (20' min. building separation)
Rear Yard Setback (Min.) (4,6,7,8)				15' (Front-Loaded) 6' (Rear-Loaded, no parking) 20' (parking allowed)	15' (Front-Loaded) 6' (Rear-Loaded, no parking) 20' (parking allowed)	15'	15'
Building Height (Max.) (9)				35'	40'	75'	120'
Accessory Use: Building Height (Max) (9,10,11)				20'	20'	35'	25'
Accessory Use: Front Yard Setback (Min.) (4,6,7,8,10)				No closer than front facade of primary structure	No closer than front facade of primary structure	No closer than front facade of primary structure	No closer than front facade of primary structure
Accessory Use: Side Yard Setback (Min.) (4,6,7,8,10)				5'	5'	5'	5'
Accessory Use: Rear Yard Setback (Min.) (4,6,7,8,10)				5'	5'	5'	5'

STANDARDS (1)	USES						
	Standard Lot Single-Family Detached Residential with Front-Loaded Garage	Small Lot Single-Family Detached Residential with Front-Loaded Garage	Single-Family Detached Residential with Rear-Loaded Garage	Duplexes (Single-Family Attached Residential)	Townhomes (Multi-Family Residential)	Apartments/Condos (Multi-Family Residential) (12)	Non-Residential Uses (12)
Lot Size (Min.)						N/A	N/A
Lot Width (Min.) (2)						N/A	30'
Min. Gross Floor Area (3)						N/A	N/A
Setback (Min.) for all Structures Adjacent to Arterial (4,6,7)						N/A	25'
Setback (Min.) for all Structures Adjacent to Collector (4,6,7)						N/A	20'
Front Yard Setback (Min.) (4,6,7,8)						N/A	10'
Side Yard Setback (Min.) (4,5,6,7,8)						N/A	0' (20' min. building separation)
Rear Yard Setback (Min.) (4,6,7,8)						N/A	15'
Building Height (Max.) (9)						150'	150'
Accessory Use: Building Height (Max) (9,10,11)						35'	25'
Accessory Use: Front Yard Setback (Min.) (4,6,7,8,10)						No closer than front facade of primary structure	No closer than front facade of primary structure
Accessory Use: Side Yard Setback (Min.) (4,6,7,8,10)						5'	5'
Accessory Use: Rear Yard Setback (Min.) (4,6,7,8,10)						5'	5'

PLANNING AREA C BULK STANDARDS TABLE NOTES

- Shared driveways/driveway easements are permitted for all uses per the current code requirements.
- Minimum lot width shall be measured at the front setback.
- Minimum gross floor area does not include garage or basement square footage.
- Setbacks shall be measured from public right-of-way to the foundation. 10' side yard setback for corner lots shall only apply to lots abutting a public right of way. Lots siding onto private streets, alleys, open space areas, or other similar uses shall use the 5' side yard setback standards. The driveway length shall be at least 20' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line (unless using a 0' lot line configuration).
- Bay windows, window wells, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. Side-loaded garages and non-livable structures, such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of-way or transportation and utility easements.
- Roof overhangs are permitted with a maximum encroachment of 2' into the building setback.
- Window wells are permitted to encroach into setbacks up to 3', as long as adequate drainage is accommodated.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Accessory structures include all structures located within the parcel in which the use is incidental to the use of the principal structure.
- Accessory Dwelling Units (ADUs) building height shall comply with the building height of the principal structure.
- Multi-family and Commercial development may utilize a 0' front yard setback when used in planning areas C, D, E, & F to promote an urban edge/streetscape.

PLANNING AREA D BULK STANDARDS TABLE NOTES

- Shared driveways/driveway easements are permitted for all uses per the current code requirements.
- Minimum lot width shall be measured at the front setback.
- Minimum gross floor area does not include garage or basement square footage.
- Setbacks shall be measured from public right-of-way to the foundation. 10' side yard setback for corner lots shall only apply to lots abutting a public right of way. Lots siding onto private streets, alleys, open space areas, or other similar uses shall use the 5' side yard setback standards. The driveway length shall be at least 20' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line (unless using a 0' lot line configuration).
- Bay windows, window wells, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. Side-loaded garages and non-livable structures, such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of-way or transportation and utility easements.
- Roof overhangs are permitted with a maximum encroachment of 2' into the building setback.
- Window wells are permitted to encroach into setbacks up to 3', as long as adequate drainage is accommodated.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Accessory structures include all structures located within the parcel in which the use is incidental to the use of the principal structure.
- Accessory Dwelling Units (ADUs) building height shall comply with the building height of the principal structure.
- Multi-family and Commercial development may utilize a 0' front yard setback when used in planning areas C, D, E, & F to promote an urban edge/streetscape.
- High-density residential may only be allowed in a vertical mixed-use development.

OIL AND GAS NOTES

- A minimum of 50 foot setback shall be maintained from plugged and abandoned wells to adjacent structures.
- Colorado Oil and Gas Conservation Commission (COGCC) and City standards for setbacks and development shall be observed for all oil and gas operations within the Buckley Crossing PUD Zone Document area.

BUCKLEY CROSSING
 PUD ZONE DOCUMENT AMENDMENT
 COMMERCE CITY, COLORADO

OWNER:
CARLSON ASSOCIATES, INC
12460 1ST STREET
EAST LAKE CO 80614
303.457.2966
SCOTT CARLSON

DATE:
07/15/2020
11/20/2020
02/12/2021
04/09/2021
05/06/2021

NOT FOR CONSTRUCTION

DEVELOPMENT STANDARDS

BUCKLEY CROSSING PUD AMENDMENT #1

PART OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
LOCATED AT EAST 120TH AVE & HIGH PLAINS PKWY

BULK STANDARDS

STANDARDS (1)	USES						
	Standard Lot Single-Family Detached Residential with Front-Loaded Garage	Small Lot Single-Family Detached Residential with Front-Loaded Garage	Single-Family Detached Residential with Rear-Loaded Garage	Duplexes (Single-Family Attached Residential)	Townhomes (Multi-Family Residential) (12)	Apartments/Condos (Multi-Family Residential) (12)	Non-Residential Uses (12)
Lot Size (Min.)				2,000 SF	1,800 SF	N/A	N/A
Lot Width (Min.) (2)				20'	30' (Front-Loaded) 20' (Rear-Loaded)	N/A	30'
Min. Gross Floor Area (3)				800 SF (1-Story) 1,250 SF (2-Story)	800 SF (1-Story) 1,250 SF (2-Story)	N/A	N/A
Setback (Min.) for all Structures Adjacent to Arterial (4,6,7)				25'	25'	25'	25'
Setback (Min.) for all Structures Adjacent to Collector (4,6,7)				20'	20'	20'	20'
Front Yard Setback (Min.) (4,6,7,8)				6' to Porch 10' to Living 20' to Garage	6' to Porch 10' to Living 20' to Garage	15'	10'
Side Yard Setback (Min.) (4,5,6,7,8)				5' exterior wall 0' common wall 10' side corner	5' exterior wall 0' common wall 10' side corner	15' (20' min. building separation)	0' (20' min. building separation)
Rear Yard Setback (Min.) (4,6,7,8)				15' (Front-Loaded) 6' (Rear-Loaded, no parking) 20' (parking allowed)	15' (Front-Loaded) 6' (Rear-Loaded, no parking) 20' (parking allowed)	15'	15'
Building Height (Max.) (9)				20'	20'	20'	35'
Accessory Use: Building Height (Max) (9,10,11)				20'	20'	20'	25'
Accessory Use: Front Yard Setback (Min.) (4,6,7,8,10)				No closer than front facade of primary structure	No closer than front facade of primary structure	No closer than front facade of primary structure	No closer than front facade of primary structure
Accessory Use: Side Yard Setback (Min.) (4,6,7,8,10)				5'	5'	5'	5'
Accessory Use: Rear Yard Setback (Min.) (4,6,7,8,10)				5'	5'	5'	5'

STANDARDS (1)	USES						
	Standard Lot Single-Family Detached Residential with Front-Loaded Garage	Small Lot Single-Family Detached Residential with Front-Loaded Garage	Single-Family Detached Residential with Rear-Loaded Garage	Duplexes (Single-Family Attached Residential)	Townhomes (Multi-Family Residential)	Apartments/Condos (Multi-Family Residential)	Non-Residential Uses (11)
Lot Size (Min.)							N/A
Lot Width (Min.) (2)							30'
Min. Gross Floor Area (3)							N/A
Setback (Min.) for all Structures Adjacent to Arterial (4,6,7)							25'
Setback (Min.) for all Structures Adjacent to Collector (4,6,7)							20'
Front Yard Setback (Min.) (4,6,7,8)							10'
Side Yard Setback (Min.) (4,5,6,7,8)							0' (20' min. building separation)
Rear Yard Setback (Min.) (4,6,7,8)							15'
Building Height (Max.) (9)							75'
Accessory Use: Building Height (Max) (9,10)							25'
Accessory Use: Front Yard Setback (Min.) (4,6,7,8,10)							No closer than front facade of primary structure
Accessory Use: Side Yard Setback (Min.) (4,6,7,8,10)							5'
Accessory Use: Rear Yard Setback (Min.) (4,6,7,8,10)							5'

PLANNING AREA E BULK STANDARDS TABLE NOTES

- Shared driveways/driveway easements are permitted for all uses per the current code requirements.
- Minimum lot width shall be measured at the front setback.
- Minimum gross floor area does not include garage or basement square footage.
- Setbacks shall be measured from public right-of-way to the foundation. 10' side yard setback for corner lots shall only apply to lots abutting a public right of way. Lots siding onto private streets, alleys, open space areas, or other similar uses shall use the 5' side yard setback standards. The driveway length shall be at least 20' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line (unless using a 0' lot line configuration- see above).
- Bay windows, window wells, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. Side-loaded garages and non-livable structures, such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of-way or transportation and utility easements.
- Roof overhangs are permitted with a maximum encroachment of 2' into the building setback.
- Window wells are permitted to encroach into setbacks up to 3', as long as adequate drainage is accommodated.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Accessory structures include all structures located within the parcel in which the use is incidental to the use of the principal structure.
- Accessory Dwelling Units (ADUs) building height shall comply with the building height of the principal structure.
- Multi-family and Commercial development may utilize a 0' front yard setback when used in planning areas C, D, E, & F to promote an urban edge/streetscape.

PLANNING AREA F BULK STANDARDS TABLE NOTES

- Shared driveways/driveway easements are permitted for all uses per the current code requirements.
- Minimum lot width shall be measured at the front setback.
- Minimum gross floor area does not include garage or basement square footage.
- Setbacks shall be measured from public right-of-way to the foundation. 10' side yard setback for corner lots shall only apply to lots abutting a public right of way. Lots siding onto private streets, alleys, open space areas, or other similar uses shall use the 5' side yard setback standards. The driveway length shall be at least 20' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line (unless using a 0' lot line configuration- see above).
- Bay windows, window wells, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. Side-loaded garages and non-livable structures, such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of-way or transportation and utility easements.
- Roof overhangs are permitted with a maximum encroachment of 2' into the building setback.
- Window wells are permitted to encroach into setbacks up to 3', as long as adequate drainage is accommodated.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Accessory structures include all structures located within the parcel in which the use is incidental to the use of the principal structure.
- Multi-family and Commercial development may utilize a 0' front yard setback when used in planning areas C, D, E, & F to promote an urban edge/streetscape.

OIL AND GAS NOTES

- A minimum of 50 foot setback shall be maintained from plugged and abandoned wells to adjacent structures.
- Colorado Oil and Gas Conservation Commission (COGCC) and City standards for setbacks and development shall be observed for all oil and gas operations within the Buckley Crossing PUD Zone Document area.

CHECKED BY: AW
DRAWN BY: BB

BUCKLEY CROSSING
PUD ZONE DOCUMENT AMENDMENT
COMMERCE CITY, COLORADO

OWNER:
CARLSON ASSOCIATES, INC
12460 1ST STREET
EAST LAKE CO 80614
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SCOTT CARLSON

DATE:
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NOT FOR CONSTRUCTION

DEVELOPMENT STANDARDS

BUCKLEY CROSSING PUD AMENDMENT #1

PART OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
LOCATED AT EAST 120TH AVE & HIGH PLAINS PKWY

TABLE OF ALLOWED USES (BY PLANNING AREA)

R = Allowed by Right P = Use by Permit
C = Conditional Use OG = Oil & Gas Permit
Blank Cell = Use Excluded

USE CLASSIFICATION	SPECIFIC USE TYPE	PLANNING AREA					
		A	B	C	D	E	F
AGRICULTURAL USES							
Horticulture & Nurseries	Community garden	R	R	R	R	R	R
	Greenhouse/nursery/tree production (with no outdoor storage)		P	R	P	R	
COMMERCIAL USES							
Animal Services	Animal boarding (indoor/outdoor kennels) and training				R	R	R
	Doggie day care centers		P	R	P	R	
	Veterinary offices or clinics		R	R	R	R	
Antennas	Antennas for commercial/industrial use accessory to principal use	C	C	C	P	C	P
	Antenna and support structure for amateur radio communications	C	C	C	P	C	P
Building Materials & Services (Retail)	Radio or television broadcasting offices		R	R	R	R	
	All other similar uses (plumbing, electrical, lumber & building equipment without outdoor storage)			R	R	R	R
Eating and Drinking Establishments	Bar, tavern, night club		R	R	R	R	
	Brewpub		R	R	R	R	
	Catering services		R	R	R	R	
	Restaurant with drive-thru/lup		R	R	R	R	
	Restaurant without drive-thru/lup		R	R	R	R	
Financial Institutions	Tasting Room		R	R	R	R	
	Bank or financial institution		R	R	R	R	
Food and Beverage Sales	Convenience store/grocery store (<5,000 sf)		R	R	R	R	
	Grocery store (>5,000 sf)		R	R	R	R	
	Liquor store		R	R	R	R	
	All other similar uses (e.g., delicatessen, retail bakery, specialty food market, coffee shop)		R	R	R	R	
	Fuel sales with no vehicle repair			R	R		
Fuel Sales	Fuel sales with minor vehicle repair			R	R		
	Natural gas fuel sales as part of retail sales			R	R		
Funeral	Natural gas fuel sales for trucks			R	R		
	Funeral home		R	R	R	R	
Office	Business or professional (including medical/dental office/clinics)		R	R	R	R	
	Courier services		R	R	R	R	
	Massage therapy office/clinics		R	R	R	R	
	Substance Abuse Treatment Facility, Inpatient Residential		P	P	P	P	
	Substance Abuse Treatment Facility, Outpatient Clinic		P	P	P	P	
Personal Services	Instructional services, studios		R	R	R	R	
	Temporary/day labor facilities/offices		P	P	P	P	
Recreation or Amusement Facilities, Private	Bingo establishments/social gaming outlet/performance centers		R	R	R	R	
	Bowling, billiards, movie theaters & similar uses		R	R	R	R	
Repair Services (Not including)	Health clubs		R	R	R	R	
	Outdoor recreation		R	R	R	R	
Retail Establishments	Furniture or major household appliance repair		R	R	R	R	
	Retail business store < 25,000 square feet		R	R	R	R	
	Retail business store > 25,000 square feet		R	R	R	R	
Vehicle/Equipment Sales and Services	Tattoo parlor		P	R	P	R	
	Thrift/consignment store		R	R	R	R	
	Automobile rentals		R	R	R	R	
	Automobile washing facility		R	R	R	R	
	Tire shop		R	R	R	R	
Visitor Accommodations	Vehicle repair, major (includes auto body repair, paint shops, and incidental sales of parts)			R	R		
	Vehicle repair, minor			R	R		
Office Flex	Bed and breakfast establishments	C	C	C	R	C	R
	Hotel or motel lodging establishments		R	R	R	R	

OFF-STREET PARKING REQUIREMENTS

- The following parking standards shall apply to the Buckley Crossing PUD Zone area. Land uses not specifically listed in the table below shall reflect minimums outlined in then current code.

Household Living (Residential Uses)	Multi-Family Dwelling	1 space per 1 bedroom; 1.5 spaces per 2 bedroom; 2 spaces per 3+ bedroom; + 10% of total required spaces for visitor parking
	Single-Family Detached Dwelling	2 spaces / dwelling unit
	Single-Family Attached Dwelling	2 spaces / dwelling unit
Non-Residential Uses	Reference City of Commerce City Land Development Regulation	

USE CLASSIFICATION	SPECIFIC USE TYPE	PLANNING AREA					
		A	B	C	D	E	F
INDUSTRIAL USES							
Auction House or Yard	Auction house (inside)			R	R	R	R
	Brewery			R	R	R	R
Manufacturing, Food	Distillery			R	R	R	R
	Meat products, packing & processing (no slaughtering)			C	R	C	
	Microbrewery			R	R	R	R
	Micro-winery			R	R	R	R
Marijuana Uses	Medical marijuana center			P	P		
	Primary caregiver			P	P		
Research and Development Services	Retail marijuana store			P	P		
	Scientific R & D services			R	R	R	R
Truck/ Transportation Services	Testing laboratories, non-medical			P	P		
	Private Bus Station with repair			R	R		
Warehousing & Distribution	Private Bus Station without repair			R	R		
	Transportation terminal			R	R		
	Household moving center			R	R	R	R
	Mini-storage and warehouse (entirely indoors) without outdoor storage			R	R	R	R
PUBLIC, INSTITUTIONAL & CIVIC USES							
Ambulance Service	Garage and office for ambulance service			C	C	C	C
Clubs and Lodges	Private lodge or club	C	C	R	R	R	R
	Gun club (indoor)			R	R	R	R
Community Services	Events center < 15,000 sf			R	R	R	R
	Events center > 15,000 sf			R	R	R	R
Day Care Facilities, Adult or Child	Child care center			R	R	R	R
	Adult day care center			R	R	R	R
Golf Course	Day care home	P	P	P	R	R	R
	Golf course/driving range			R	R	R	R
Hospitals	Hospital			C	C	C	C
	Outpatient surgical centers			C	C	C	C
Public Lands, Parks, and Buildings	Library			R	R	R	R
	Public administrative office or service building			R	R	R	R
Religious Institutions	Public park or recreational facilities			R	R	R	R
	Police or fire station			R	R	R	R
Educational Facilities	Church or religious institution	C	C	R	C	R	
	Elementary and secondary education schools	R	R	R	R	R	R
Transportation Facilities	Private business, trade, and vocation schools			R	R	R	R
	Post secondary colleges and universities			R	R	R	R
Utilities	Schools of special instruction			R	R	R	R
	Parking garage			R	R	R	R
Zoos, Arboretum, Botanical Gardens	Public parking lot			R	R	R	R
	Public utility office			R	R	R	R
RESIDENTIAL USES	Zoos, arboretum, botanical gardens			C	C	C	C
	Foster care home			R	R	R	R
Household Living	Multi-family dwelling			R	R	R	R
	Single-family detached dwelling			R	R		
	Single-family attached dwelling			R	R	R	R
	Boarding or rooming house			C	C	C	C
	Home occupation			R	R	R	R
Senior Housing	Assisted living facility			R	R	R	R
	Nursing homes			R	R	R	R

TABLE OF ALLOWED USES NOTES

- Grocery/convenience store uses operating on a twenty-four (24) business schedule are allowed in those parcels where such food and beverage sales uses are allowed.
- Commerce City liquor laws and licensing requirements/limitations will apply, as applicable.
- Temporary and seasonal outdoor uses, such as farmers markets, outdoor nursery displays, and sidewalk sales, are allowed and all must meet the criteria as outlined within the Commerce City Land Development Code. In the event of any conflict between a standard stated in this Buckley Crossing PUD and the Commerce City Land Development Code, then this Buckley Crossing PUD will apply. If the Buckley Crossing PUD does not state a relevant standard, then the Commerce City Land Development Code, as amended, shall apply.
- Unless specifically listed or similar to use listed within this Buckley Crossing PUD Zone Document Table of Allowed Uses by Planning Area, a use shall be considered excluded unless otherwise approved by Community Development Director in accordance with the process in article IV of the Land Development Code.
- The existing agricultural uses on the property (farming, ranching, and agricultural support activities) are allowed to continue in operation and use until such time as development occurs in that parcel requiring removal.

BUCKLEY CROSSING
 PUD ZONE DOCUMENT AMENDMENT
 COMMERCE CITY, COLORADO

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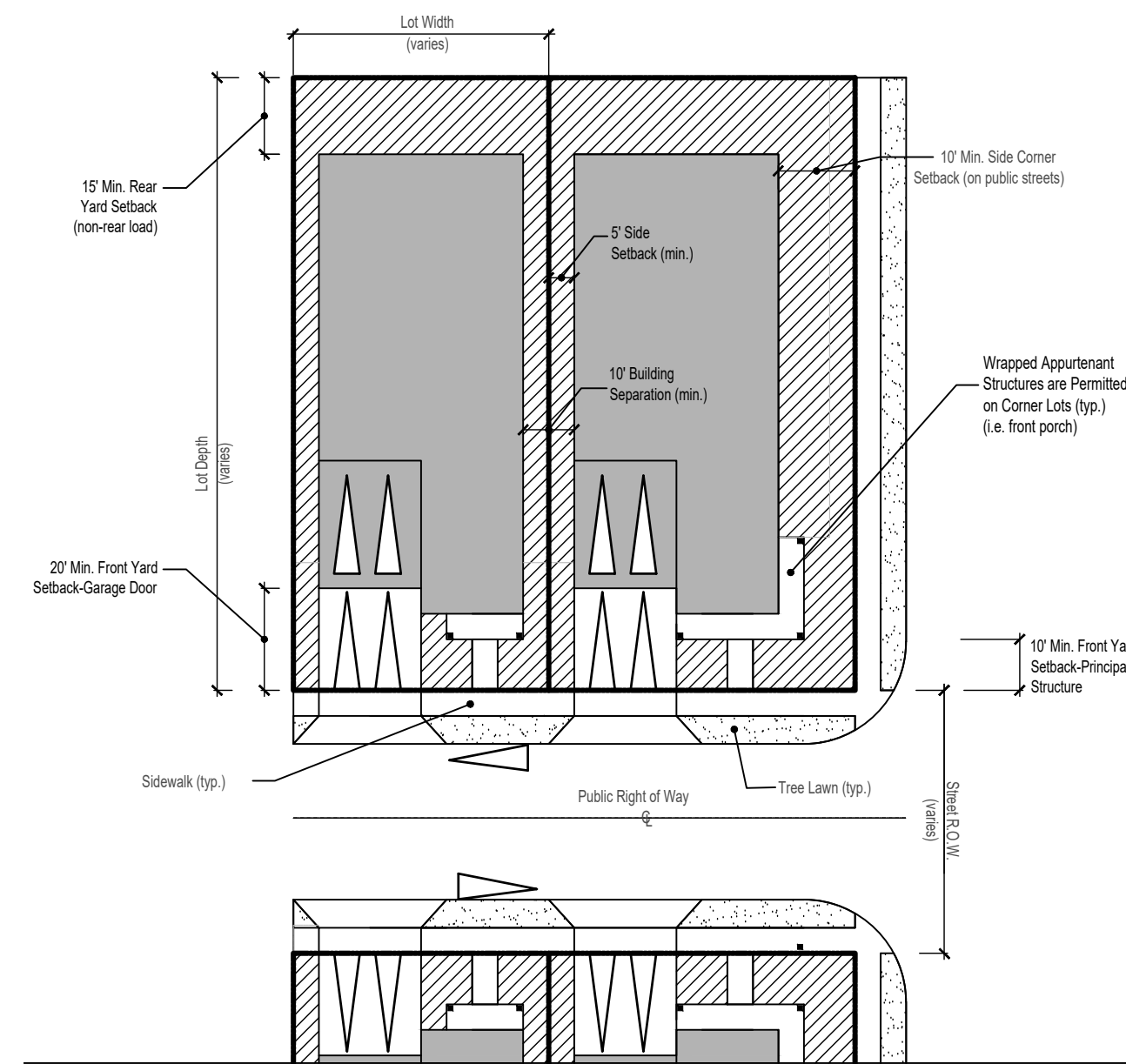
NOT FOR CONSTRUCTION

ALLOWED USES

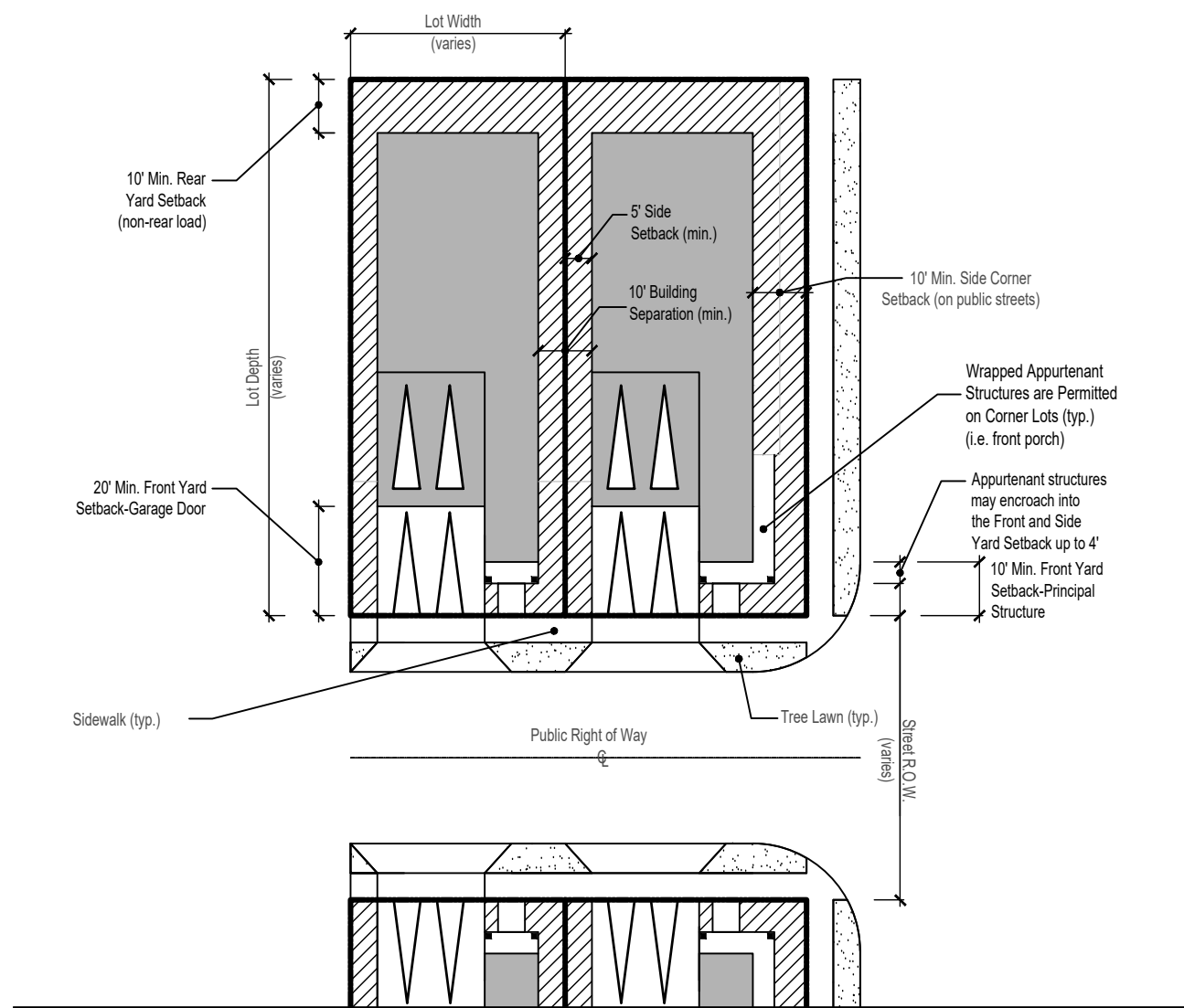
BUCKLEY CROSSING PUD AMENDMENT #1

PART OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO
LOCATED AT EAST 120TH AVE & HIGH PLAINS PKWY

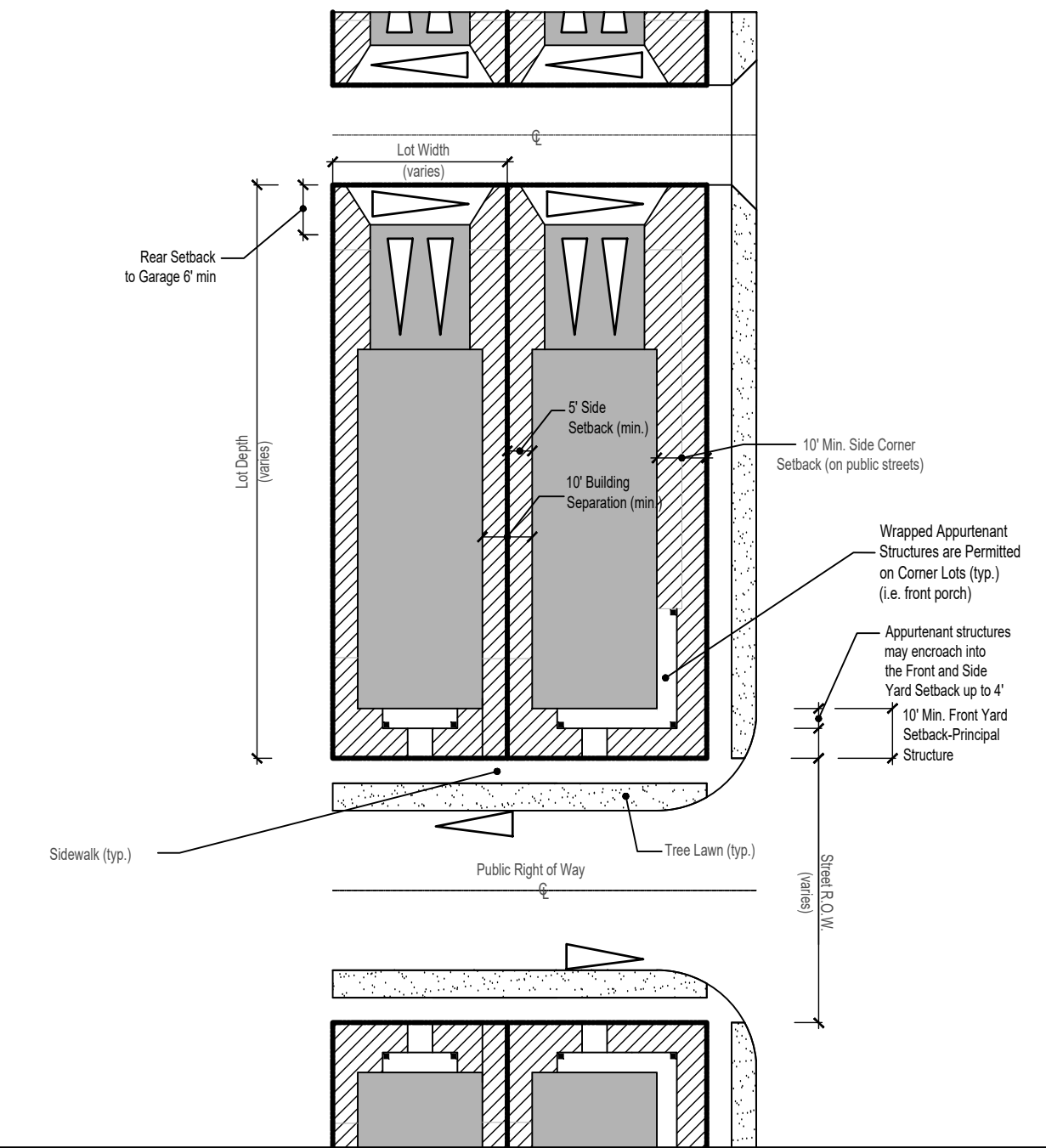
SINGLE-FAMILY DETACHED LOT TYPICALS



SINGLE FAMILY DETACHED - STANDARD LOT - FRONT LOAD GARAGE - TYPICAL NOT TO SCALE
CONCEPTUAL DRAWING SUBJECT TO CHANGE

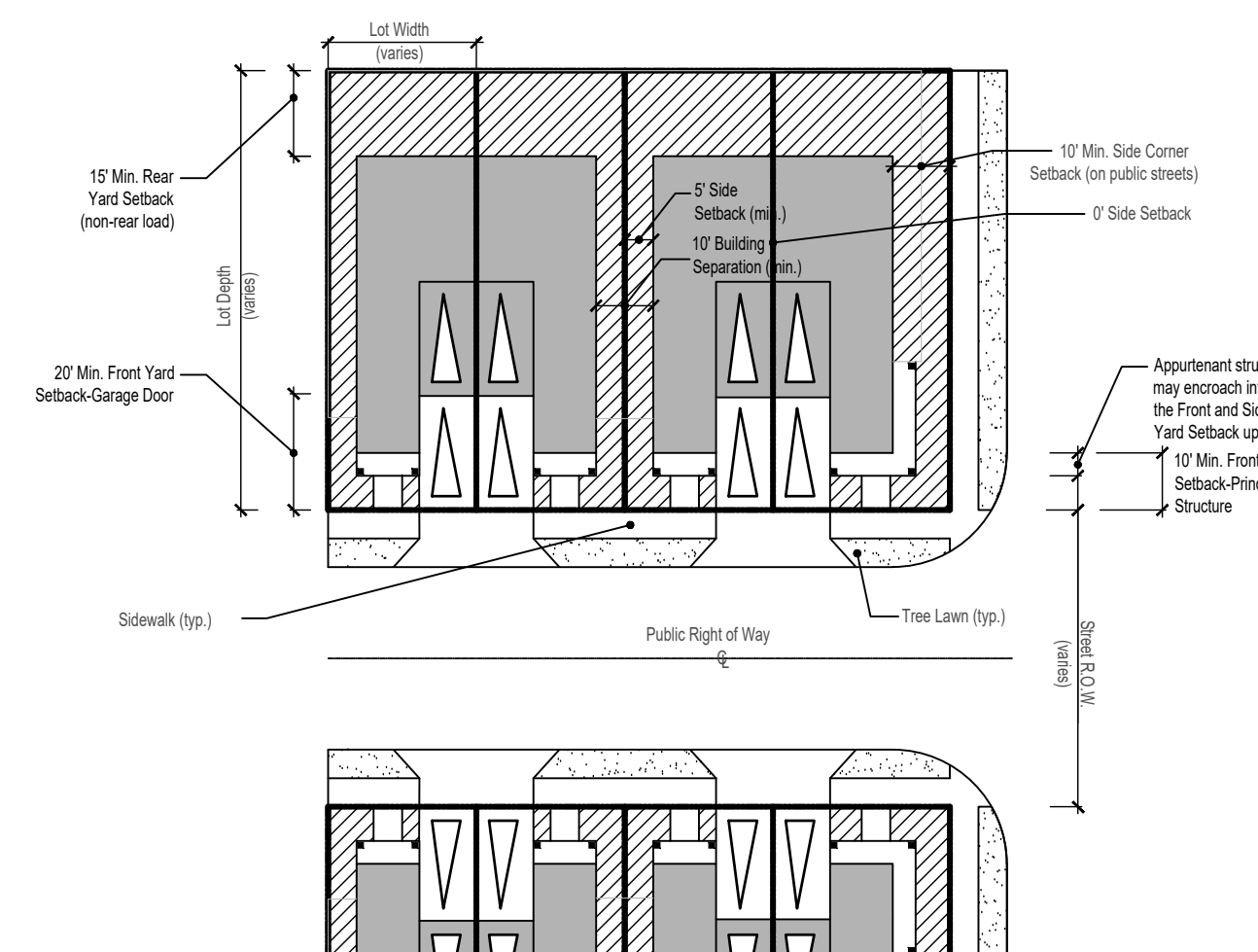


SINGLE FAMILY DETACHED - SMALL LOT - FRONT LOAD GARAGE - TYPICAL NOT TO SCALE
CONCEPTUAL DRAWING SUBJECT TO CHANGE

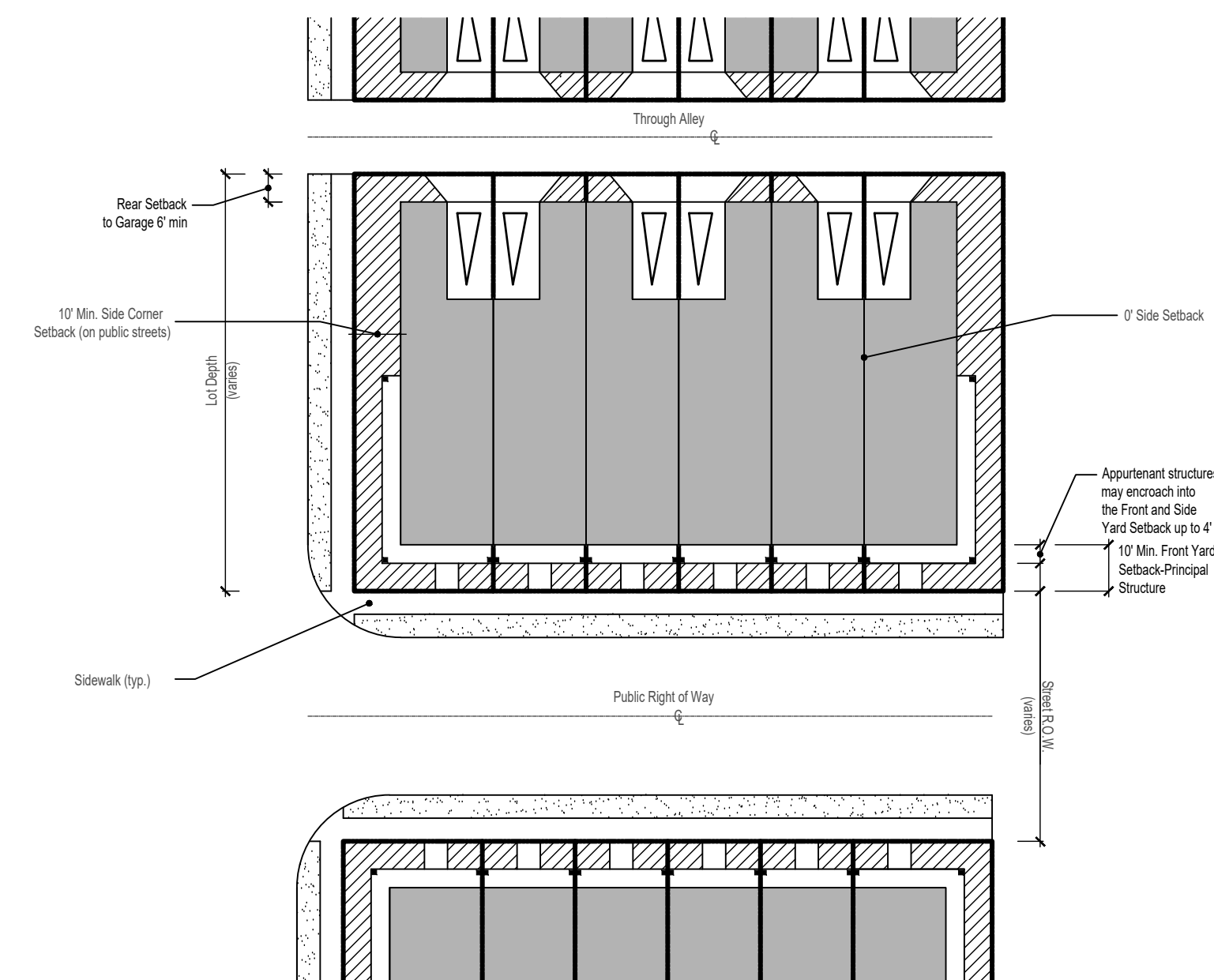


SINGLE FAMILY DETACHED - SMALL LOT - REAR LOAD GARAGE - TYPICAL NOT TO SCALE
CONCEPTUAL DRAWING SUBJECT TO CHANGE

DUPLEX SINGLE-FAMILY ATTACHED AND TOWNHOME LOT TYPICALS



DUPLEXES (SINGLE FAMILY ATTACHED) - FRONT LOAD GARAGE - TYPICAL NOT TO SCALE
CONCEPTUAL DRAWING SUBJECT TO CHANGE



TOWNHOMES (MULTI-FAMILY RESIDENTIAL) - REAR LOAD GARAGE - TYPICAL NOT TO SCALE
CONCEPTUAL DRAWING SUBJECT TO CHANGE

LOT TYPICAL NOTES

1. Typical lot layouts reflect bulk standards conveyed on sheets 3 thru 5 of this PUD Amendment and represent multiple, but not all configurations for each lot component depicted. Width and dimensions may change as appropriate provided design is consistent with the bulk standards listed on sheets 3 thru 5.
2. Parallel parking is permitted behind the garage on rear-loaded single family detached lots a minimum of 30' wide and permitted for rear-loaded duplex and townhome lots a minimum of 25' wide.
3. The lot typical diagrams for duplexes and townhomes apply to buildings with two or more attached units.

BUCKLEY CROSSING
PUD ZONE DOCUMENT AMENDMENT
COMMERCE CITY, COLORADO

OWNER:
CARLSON ASSOCIATES, INC
12460 1ST STREET
EAST LAKE CO 80614
303.457.2966
SCOTT CARLSON

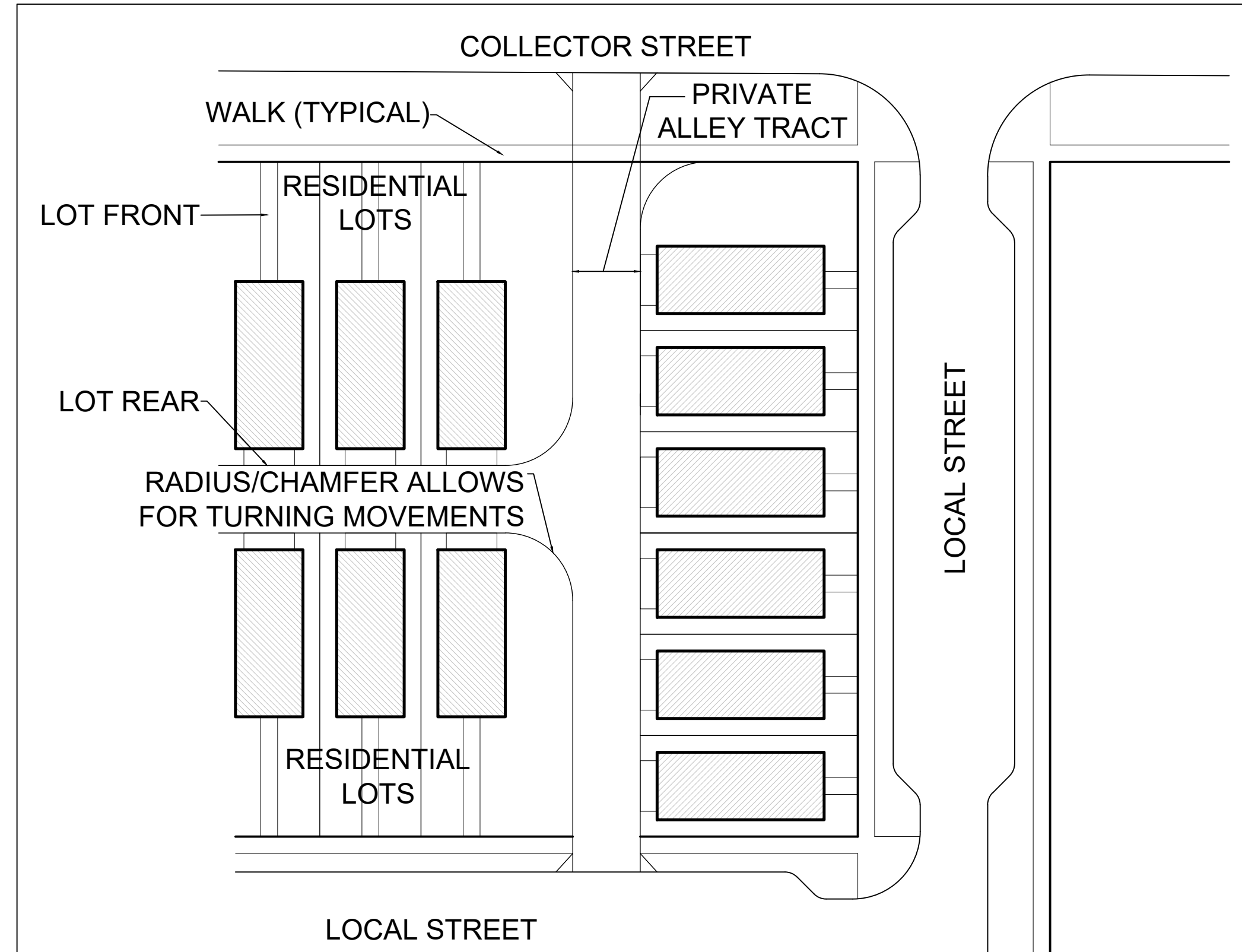
DATE:
07/15/2020
11/20/2020
02/12/2021
04/09/2021
05/06/2021

NOT FOR CONSTRUCTION

LOT TYPICALS

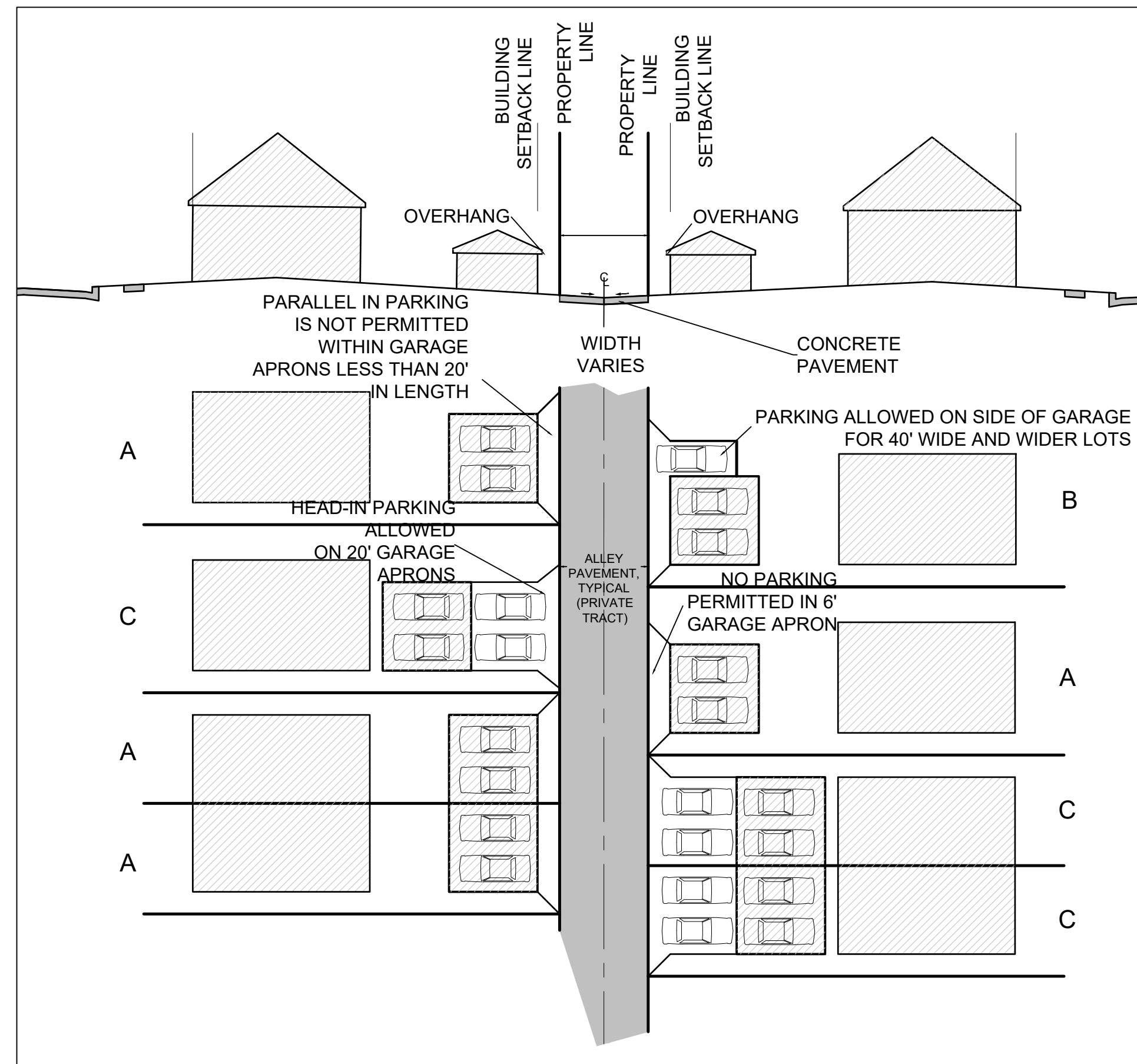
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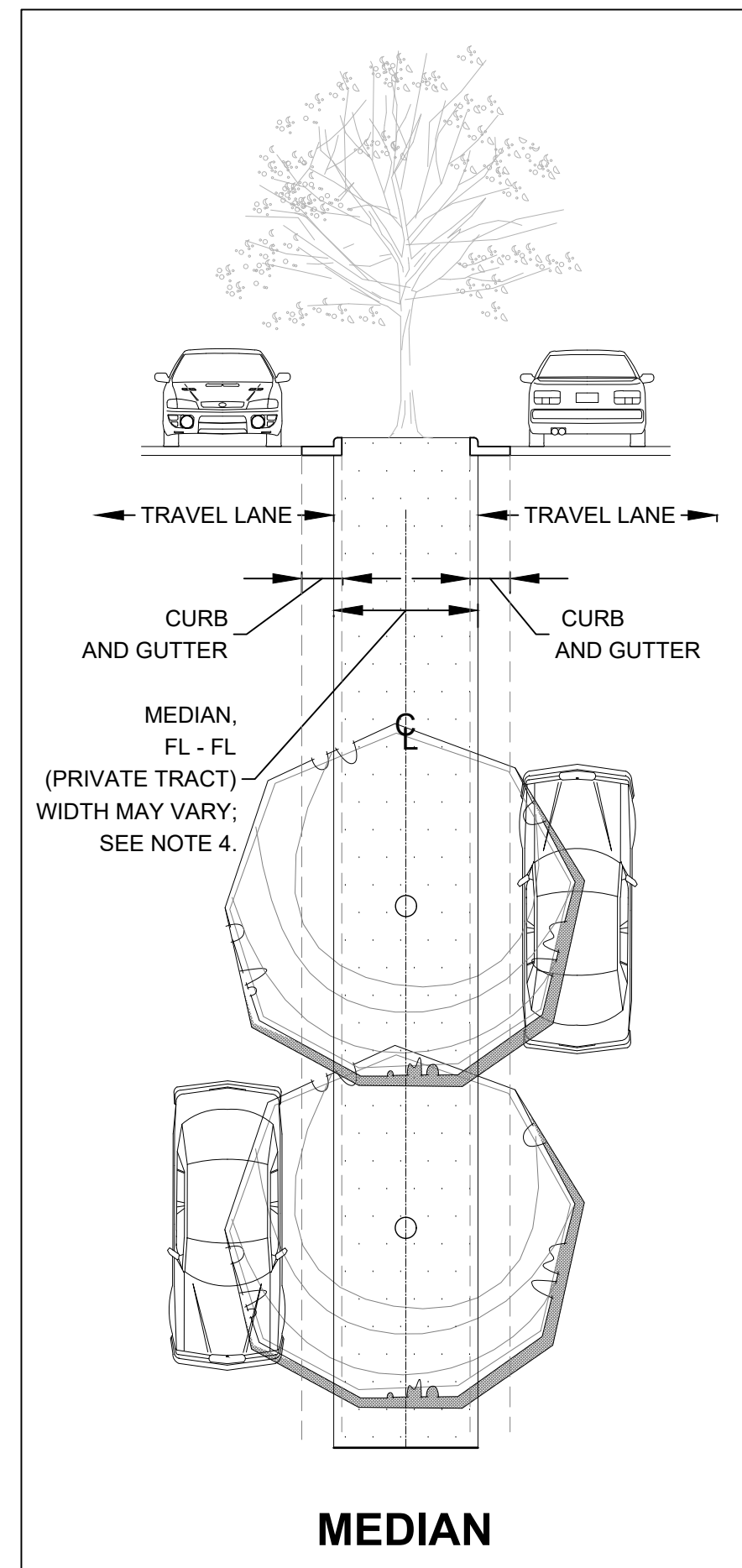
ALLEY END-CAP DETAIL

NOT TO SCALE



ALLEY PARKING CONDITIONS

NOT TO SCALE



MEDIAN

MEDIAN DETAILS

NOTES

1. Raised medians can be built in all street types using this detail.
2. Median widths may vary based on traffic conditions and planned improvements/ plantings.
3. Right-of-way widths may increase as needed to accommodate median improvements.
4. Minimum median widths at intersections is 5'.
5. Minimum median width is 8' where planting material is used.
6. Walks can be attached when medians are included in a street section.
7. All sight distance standards shall be maintained when a median is implemented.

NOTES

1. All parking configurations are permitted in single-family detached, single-family attached, and townhome layouts, per the setbacks specified in the alley setback table on this sheet and the Bulk Standards charts on sheets 3 thru 5.
2. All homes on an alley will either all allow parking or all disallow parking. Mixing of parking and no parking configurations is not permitted on a single alley. When parking is prohibited, no parking signs shall be posted according to City standards.

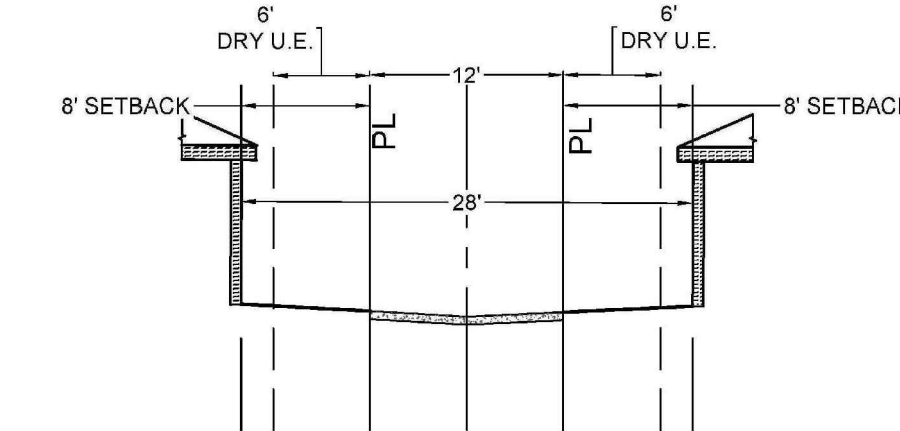
ALLEY USAGE GENERAL NOTES

1. Garages can be either attached or detached.
2. Rear yard fencing on alleys shall be set back from the garage door face a minimum of 12 inches.
3. Alleys shall be private tracts owned by HOA or Metro Districts. Alleys shall either be maintained by HOA or Metro Districts or shall comply with City maintenance easement requirements.
4. All alley networks longer than 150' must have, at a minimum, two access points to a street or acceptable paved vehicular turn around.
5. Minimum pavement width for alleys is 12'.
6. Other parking configurations are permitted, including tandem garages, so long as a 30' separation between buildings across the alley is maintained.
7. Building permit applications shall list alley setbacks as Type A, B, C or N/A (Not Applicable).
8. Alleys proposed to provide fire service are subject to current fire standards, so as to preserve the health, safety, and welfare of users.
9. Minimum pavement width for alleys proposed to provide fire service is 20'.
10. Alley tract widths are subject to change dependant on utility spacing and parking requirements.

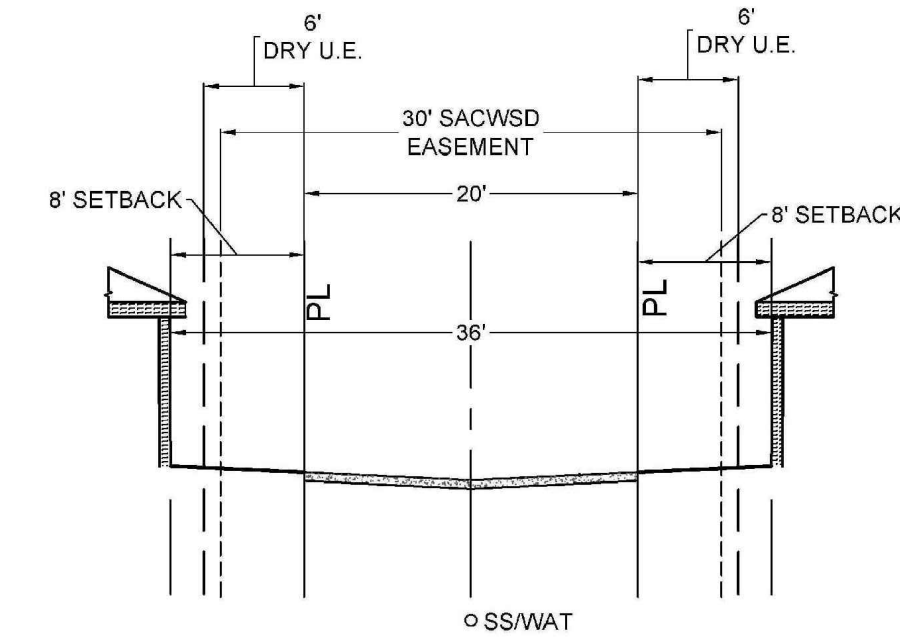
ALLEY SETBACKS

	PARKING TYPE	DISTANCE TO GARAGE FACE FROM EDGE OF ALLEY/PRIVATE DRIVE PAVEMENT
A	Garage parking only	6 FT
B	Garage parking with additional space next to garage	6 FT
C	Garage parking with head-in parking	20 FT MIN.

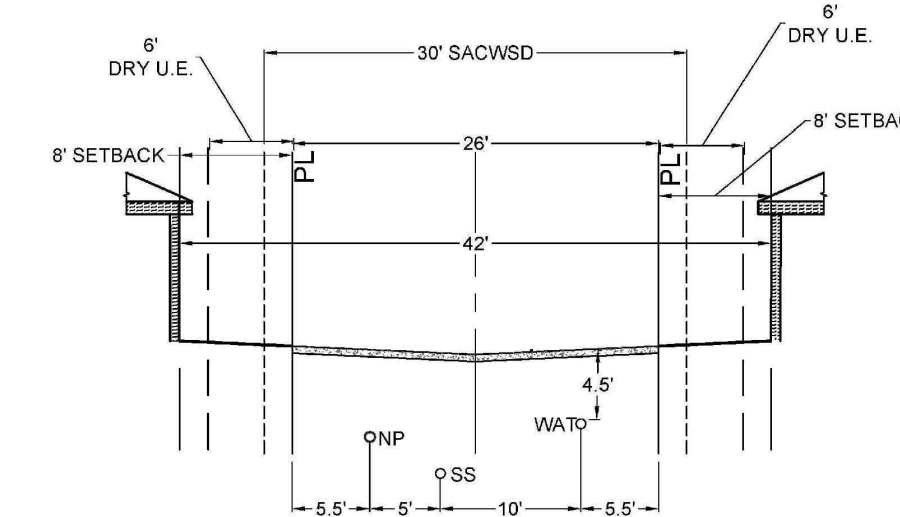
12' PRIVATE ALLEY | No Utilities, No Fire Access NOT TO SCALE



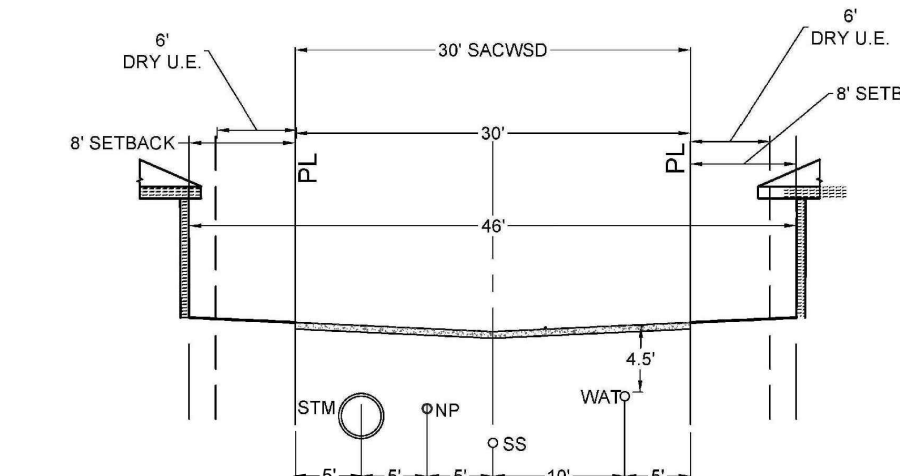
20' PRIVATE ALLEY | Sanitary or Water, Fire Access NOT TO SCALE



20' PRIVATE ALLEY | Wat, SS, NP and Fire Access NOT TO SCALE



30' PRIVATE ALLEY | Wat, SS, NP, STM, and Fire Access NOT TO SCALE



LEGEND

- WAT - Water
- SS - Sanitary Sewer
- STM - Storm Sewer
- NP - Non-Potable Water
- UE - Utility Easement
- PL - Pavement Line

BUCKLEY CROSSING

PUD ZONE DOCUMENT AMENDMENT
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DATE:

07/15/2020
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NOT FOR CONSTRUCTION

ALLEY STANDARDS