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5848 DAHLIA STREET
CITY OF COMMERCE CITY, CO 80022

ARCHITECT CONTACT INFORMATION:
SHELTERBELT DESIGN
4420 ZUNI STREET
DENVER, CO 80211
ATTN: NICOLE DELMAGE

ENGINEER CONTACT INFORMATION:
OLSSON ASSOCIATES
5285 MCWHINNEY BLVD.
LOVELAND, CO 80538
ATTN: MIKE MAURER

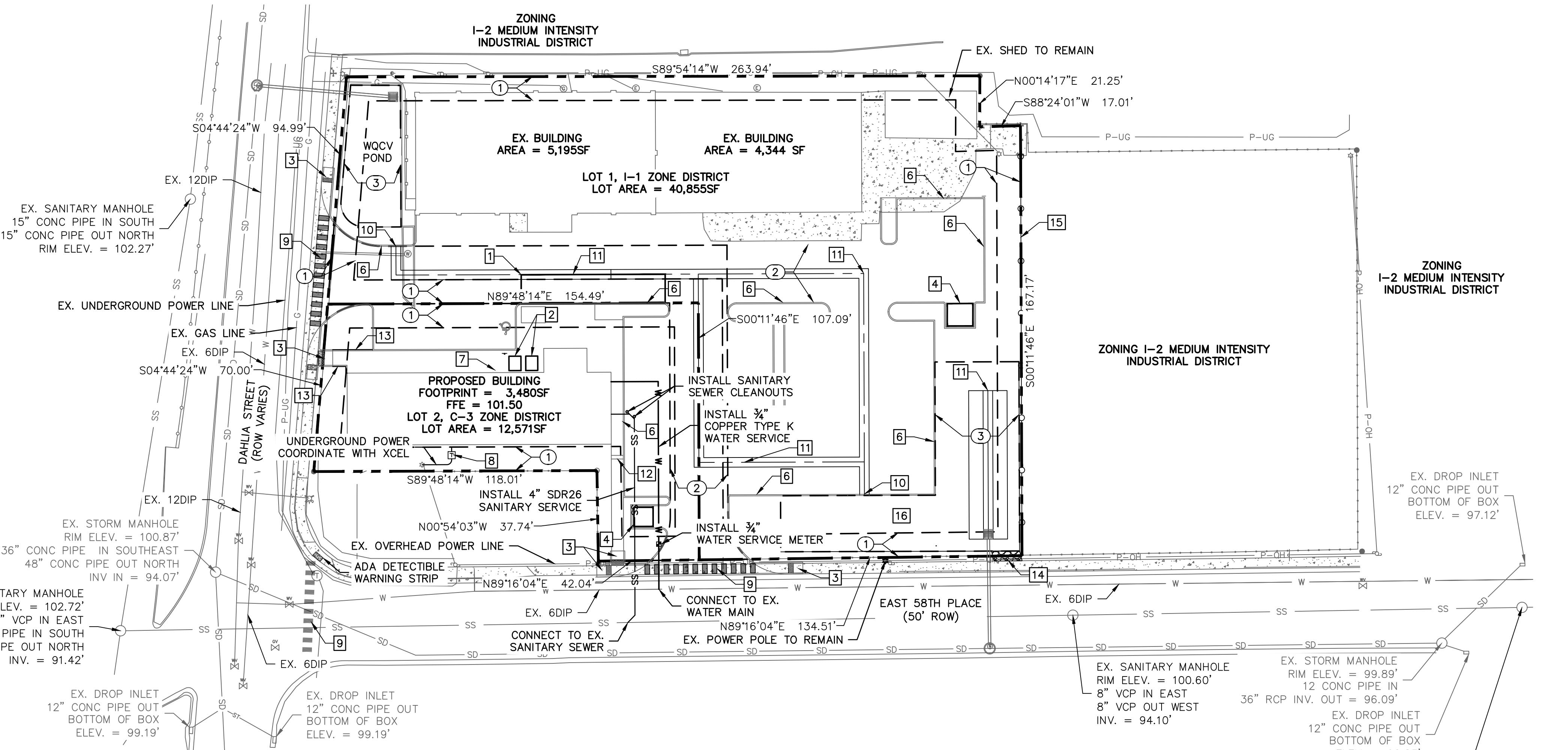
LANDSCAPE ARCHITECT CONTACT INFORMATION:
WENK ASSOCIATES
ATTN: TYREL R. STURGEON

5846 DAHLIA ST., COMMERCE CITY, COLORADO

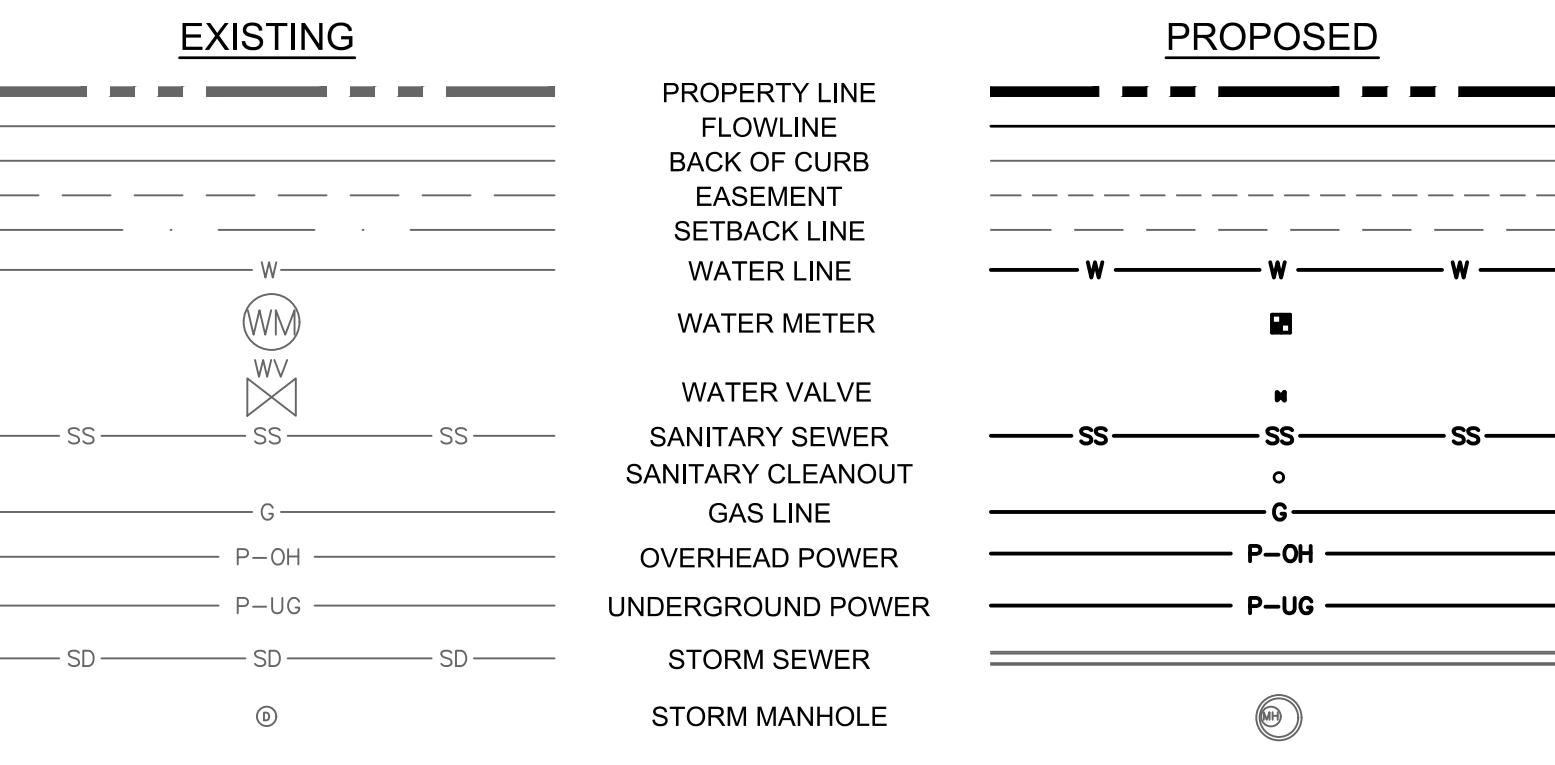
A PORTION THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE
SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF
THE 6TH P.M. CITY OF COMMERCE CITY
COUNTY OF ADAMS, STATE OF COLORADO

WOLSSON
ASSOCIATES[®]

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Loveland, CO 80538 TEL 970.461.7733 www.olssonassociates.com



LEGEND



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RELEASED BY OLSSON
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BY REGULATORY AGENCIES
OTHER PROFESSIONALS, AND
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DOCUMENT IS NOT TO BE USED
FOR CONSTRUCTION.

OLSSON ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



**Know what's below.
Call before you dig.**

CALL 811 SEVENTY-TWO HOURS
PRIOR TO DIGGING, GRADING OR
EXCAVATING FOR THE MARKING OF

WATER AND SEWER GENERAL NOTES

ALL CONSTRUCTION WORK TO BE ACCEPTED BY THE CITY SHALL CONFORM THE CITY OF COMMERCE CITY CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.

ALL OVER LOT GRADING IN THE RIGHT-OF-WAY OR EASEMENT SHALL BE COMPLETED PRIOR TO INSTALLING POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION LINES.

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR DIAL 811 FOR UTILITY LOCATES 48 HOURS PRIOR TO ANY EXCAVATION WORK.

MAINTAIN A MINIMUM OF TEN (10) FEET HORIZONTAL CLEAR DISTANCE SEPARATION BETWEEN POTABLE WATER MAINS/SERVICES AND SANITARY SEWER OR NON-POTABLE IRRIGATION MAINS/SERVICES. POTABLE WATER MAINS/SERVICES ARE TO BE LOCATED 18-INCHES MINIMUM ABOVE THE SANITARY SEWER OR NON-POTABLE IRRIGATION MAINS/SERVICES. IF FIELD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS AND THE SANITARY SEWER OR NON-POTABLE MAINS/SERVICES CANNOT BE LOCATED BELOW THE WATER MAIN OR SERVICE, A CLEAR VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BELOW CANNOT BE MAINTAINED, OR A MINIMUM THE (10) FOOT HORIZONTAL SEPARATION CANNOT BE ACHIEVED, THE CITY SHALL BE CONTACTED IMMEDIATELY TO REVIEW THE SITUATION.

IN ALL INSTANCES WHERE A WATER LINE LOWERING, POTABLE OR NON-POTABLE, IS REQUIRED DUE TO UNFORESEEN FIELD CONDITIONS, A DETAILED DRAWING SHALL BE PROVIDED TO THE CITY FOR ACCEPTANCE PRIOR TO PERFORMING THE WORK.

WHERE POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION LINES ARE LOCATED IN COMMON UTILITY EASEMENT AREAS, THERE SHALL BE NO OTHER UTILITIES LOCATED HORIZONTALLY WITHIN TEN (10) FEET OF EITHER LINE EXCEPT AT APPROVED CROSSINGS.

CONTRACTOR SHALL NOTIFY THE CITY ONE (1) WEEK PRIOR TO COMMENCING WORK AFTER CITY ACCEPTED CONSTRUCTION DRAWINGS HAVE BEEN DISTRIBUTED AND A PRECONSTRUCITON MEETING HAS BEEN HELD WITH THE CITY.

CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO BE CROSSED BY POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION LINES AT LEAST 24 HOURS PRIOR TO CROSSING TO ENSURE 18" MINIMUM CLEARANCE FOR OPEN CUT CROSSINGS AND 36" MINIMUM CLEARANCE FOR BORED CROSSINGS. HORIZONTAL AND VERTICAL LOCATION OF CROSSED EXISTING UTILITIES SHALL BE RECORDED ON THE AS-CONSTRUCTED RECORD DRAWINGS.

SHOULD ANY VARIATIONS BEFORE OR DURING CONSTRUCTION TO THE POTABLE WATER DISTRIBUTION, SANITARY SEWER COLLECTION, OR NON-POTABLE IRRIGATION SYSTEM DESIGNS BE CONSIDERED, NOTICE MUST FIRST BE GIVEN TO THE CITY TO DETERMINE IF IT NEEDS ACCEPTANCE BY THE CITY. IF SO, A NEW PLAN SHALL BE DRAWN AND SUBMITTED TO THE CITY FOR ACCEPTANCE BY THE DESIGN ENGINEER 72 HOURS PRIOR TO CONSTRUCTION.

THE FINAL CONSTRUCTION PLANS ARE VALID FOR CONSTRUCTION ONE (1) YEAR FROM THE DATE OF CITY SIGNATURE ACCEPTANCE.

VERIFICATION SURVEY – TOP OF PIPE ELEVATIONS AT ALL POTABLE AND NON-POTABLE WATER LINE VALVES, AND SANITARY SEWER MANHOLE INVERTS SHALL BE SURVEYED AND PROVIDED TO THE CITY BY THE DESIGN ENGINNER FOR ACCEPTANCE PRIOR TO PAVING CONSTRUCTION. THE VERIFICATION SURVEY SHALL ALSO PROVIDE SEWER PIPE SLOPES AND LENGTH AND PROPOSED FINISHED GROUND ELEVATIONS AT ALL VALVE BOXES AND MANHOLE RIM ELEVATIONS.

ALL UTILITY CONDUIT CROSSINGS OF POTABLE WATER, SANITARY SEWER AND NON-POTABLE IRRIGATION LINES SHALL BE ENCASED IN HIGH DENSITY POLYETHYLENE (HDPE) PIPE, WITH A MINIMUM STANDARD DIMENSION RATIO (SDR) 11 ACROSS THE ENTIRE EASEMENT OR RIGHT-OF-WAY WIDTH. THE ENCASEMENT JOINT SHALL BE BUTT FUSED. FLEXIBLE JOINTS ARE NOT ALLOWED.

PRIOR TO EXCAVATION AND CONSTRUCTION OVER AND NEAR THE EXISTING WATER AND SEWER MAINS, PLEASE CONTACT THE WATER AND SEWER DEPARTMENT RIGHT-OF-WAY STAFF, TO COMPLETE THE APPLICABLE DOCUMENTATION TO WORK WITHIN THE RIGHT OF WAY AND EASEMENTS.

COORDINATE UTILITIES AT BUILDING WITH PLUMBING PLANS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDFRGROUND PER LAND DEVELOPMENT CODE.

EASEMENT TABLE

EASEMENT TABLE	
①	10' UTILITY EASEMENT
②	24' CROSS ACCESS EMERGENCY ACCESS EASEMENT
③	DRAINAGE EASEMENT

BENCHMARK

SSUMED 100.0' ON THE CONCRETE FINISHED FLOOR
AT THE EASTERLY END OF THE BRICK BUILDING AS
SHOWN AND DESCRIBED HEREON. WITH ALL OTHER
ELEVATION INFORMATION SHOWN HEREON RELATED
HERETO.

BASIS OF BEARING

ASSUMED BEARING OF NORTH 00°15'10" WEST LINE OF
THE SOUTHEAST QUATER OF SECTION 7.

PARCEL IDENTIFICATION NUMBER:

TY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS DAY OF , A.D. .

drawn by: _____ CH
checked by: _____ CH
approved by: _____ MM
QA/QC by: _____ CH
project no.: _____ 016-1205
drawing no.: C_UTL_161205
date: 12/22/2016

SHEET
C2.0

OWNER CONTACT INFORMATION:
SANS SOUCI ENTERPRISES
5284 DAHLIA STREET
CITY OF COMMERCE CITY, CO 80022

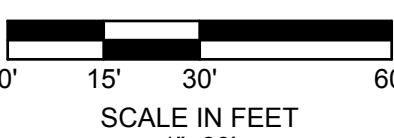
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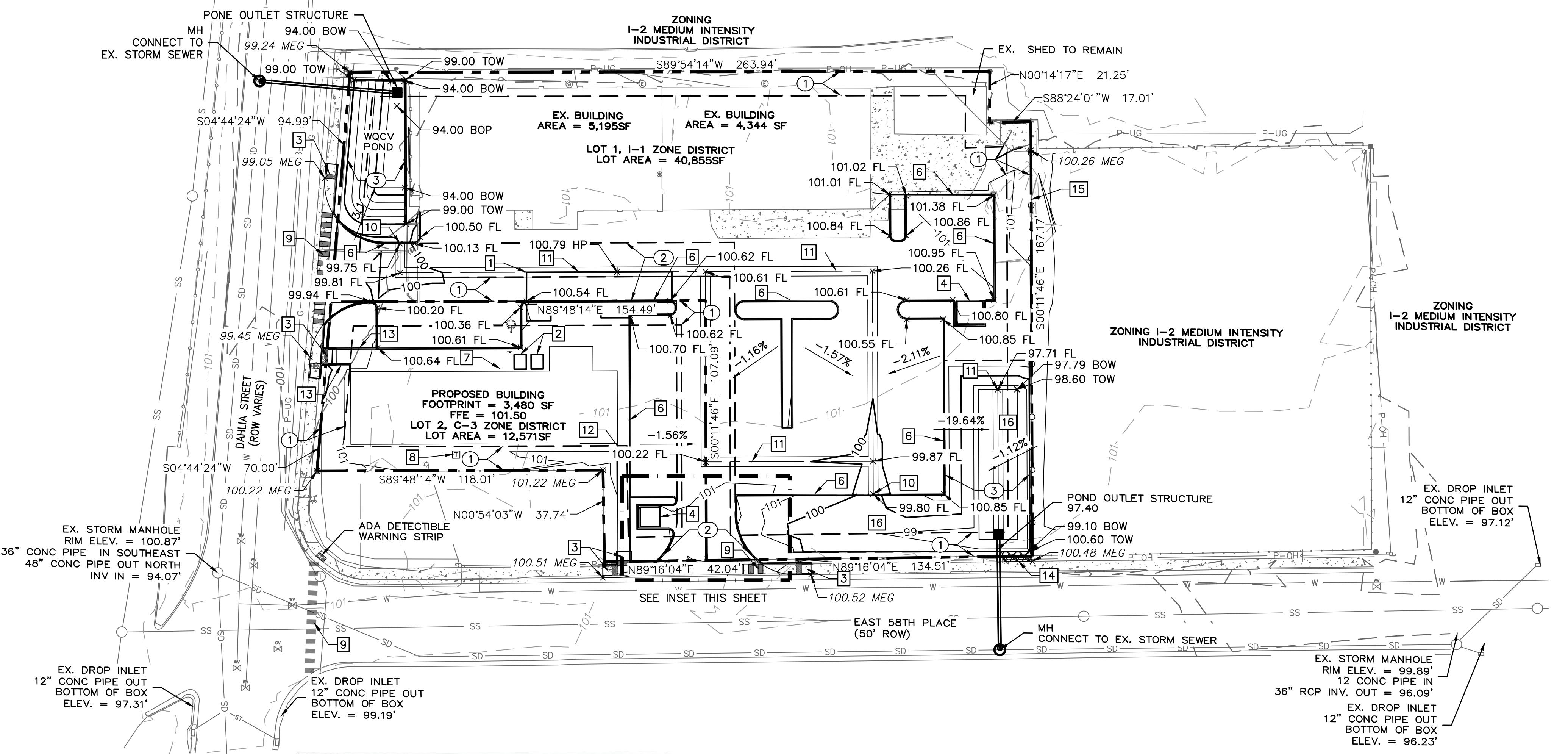


OLSSON
ASSOCIATES

5245 McWhinney Boulevard, Suite 160
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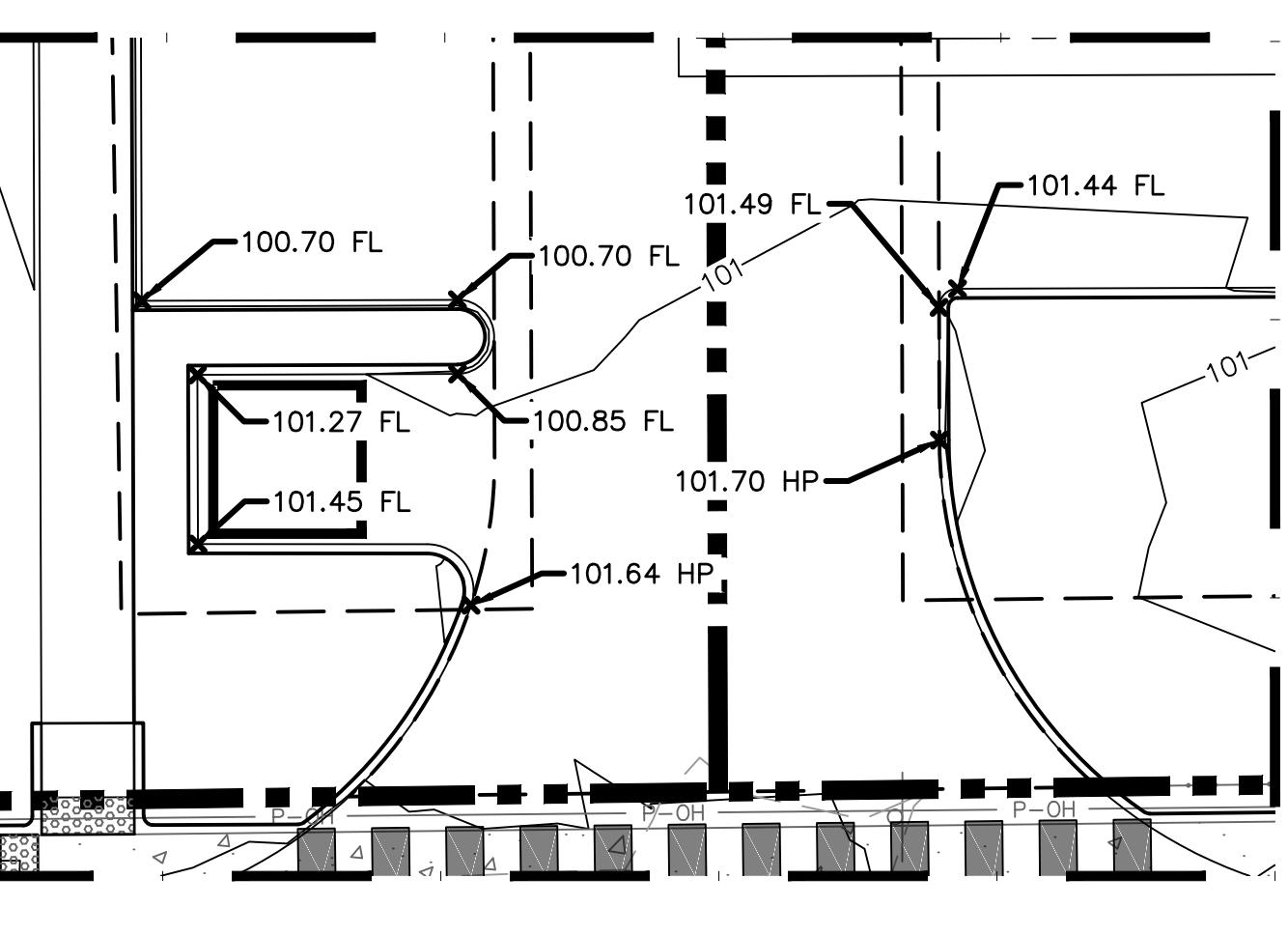
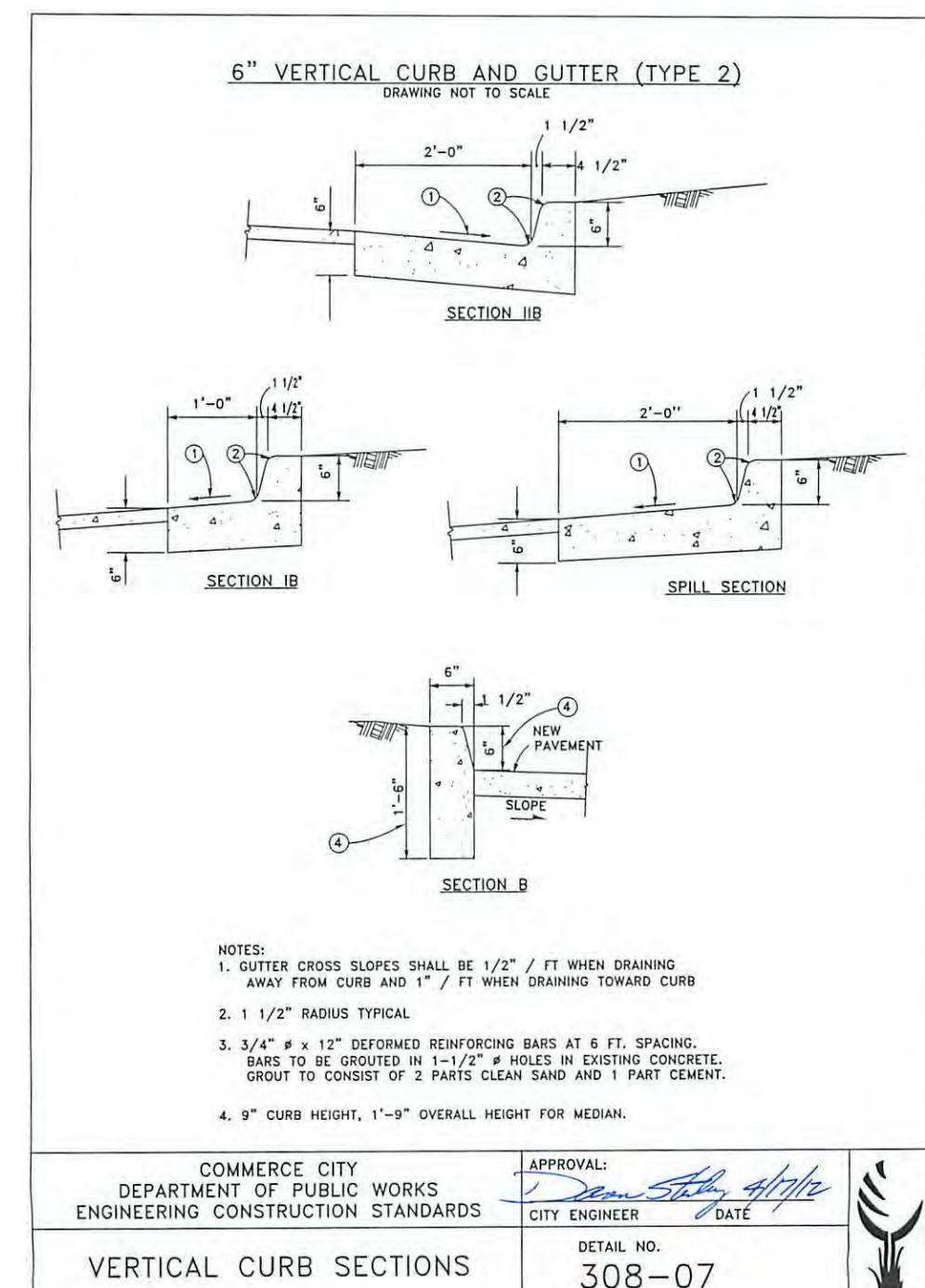
TEL: 970-461-7733

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USER: chili
C:\LND_161205

KEYNOTES:
 1 - 12'x60' LOADING ZONE
 2 - 5'x6' BIKE RACKS 2 BIKES PER RACK
 3 - ADA RAMP
 4 - TRASH ENCLOSURE
 5 - HEADER CURB
 6 - VERTICAL SPILL CURB
 7 - MAIN PUBLIC ENTRANCE, SEE SHEET A1.0
 8 - TRANSFORMER PAD
 9 - CROSS WALK STRIPING
 10 - CURB CUT
 11 - CONCRETE VALLEY PAN
 12 - CHASE DRAIN
 13 - HAND RAIL
 14 - POND EMERGENCY SPILLWAY
 15 - PROPOSED FENCE
 16 - WQCV & DETENTION POND



SOUTH ACCESS DRIVE
SCALE: 1'=10'

5846 DAHLIA ST., COMMERCE CITY, COLORADO

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SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF
THE 6TH P.M. CITY OF COMMERCE CITY
COUNTY OF ADAMS, STATE OF COLORADO

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
FLOWLINE	FLOWLINE
BACK OF CURB	BACK OF CURB
EASEMENT	EASEMENT
SETBACK LINE	SETBACK LINE
GRADE BREAK	GRADE BREAK
MAJOR CONTOURS	MINOR CONTOURS
MINOR CONTOURS	INVERTED CROWN
WATER LINE	WATER LINE
SANITARY SEWER	SANITARY SEWER
STORM MANHOLE	STORM MANHOLE
GRATE INLET	GRATE INLET
STORM SEWER	STORM SEWER
SPOT ELEVATION	SPOT ELEVATION
FLOW ARROW	FLOW ARROW
FINISH FLOOR ELEVATION	FINISH FLOOR ELEVATION
HIGH POINT	HIGH POINT
LOW POINT	LOW POINT
SIDEWALK	SIDEWALK
FLOWLINE	FLOWLINE
MATCH EXISTING GRADE	MATCH EXISTING GRADE
BOTTOM OF WALL	BOTTOM OF WALL
TOP OF WALL	TOP OF WALL
BOTTOM OF POND	BOTTOM OF POND

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Know what's below.
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CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

GRADING NOTES

1. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY COMMENCING.
2. GRADES SHOWN ARE FINISHED GRADES.
3. THE CONTOUR LINES AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. ALL SPOT ELEVATIONS SHOWN ARE TO FLOWLINE UNLESS OTHERWISE INDICATED. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
4. TOP OF CURB AND SIDEWALK ELEVATIONS AT LOCATIONS OTHER THAN THE SIDEWALK AROUND THE BUILDING SHALL BE 0.5' ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
5. NO ASPHALT OR CONCRETE PAVING SHALL BE INSTALLED UNTIL ALL UTILITIES IN OR CROSSING PAVED AREAS HAVE BEEN INSTALLED AND THE BASE COURSE IS APPROVED.
6. NO PAVING SHALL BE INSTALLED UNTIL APPROVAL IS GIVEN AS TO TYPE OF PAVING MATERIAL USED.
7. BASE MATERIAL AND ASPHALT SHALL BE INSTALLED PER GEOTECHNICAL RECOMMENDATIONS AND SPECIFICATIONS.
8. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION AND IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES.
9. OUTFLOW CURB AND GUTTER SHALL BE INSTALLED AS INDICATED. TRANSITION FROM INFLOW CURB AND GUTTER TO OUTFLOW CURB AND GUTTER SHALL BE A 3' MINIMUM.
10. CONTRACTOR SHALL CONDUCT SAMPLING AND TESTING QUALITY CONTROL PER THE PLANS AND GEOTECHNICAL RECOMMENDATIONS.
11. PRIOR TO BEGINNING ANY CUT OR FILL, CONTRACTOR SHALL STRIP EXISTING GROUND TO REMOVE ALL VEGETATION.
12. TOPSOIL SHALL BE REMOVED WHERE STRUCTURES ARE TO BE BUILT. TOPSOIL SHALL BE STORED CLEAR OF THE CONSTRUCTION AREA. CONTRACTOR SHALL TAKE CARE TO PREVENT THE TOPSOIL FROM BECOMING MIXED WITH SUBSOIL.
13. UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER, COMPLETION OF STRIPPING AND/OR EXCAVATION IN AREAS TO PROVIDE SUPPORT FOR INTERIOR/EXTERIOR SLABS, TO RECEIVE PAVEMENT, AND TO RECEIVE FILL SHALL BE SCARIFIED TO MINIMUM DEPTH OR 8 INCHES AND COMPAKED IN ACCORDANCE WITH QUALITY CONTROL NOTES.
14. DO NOT PLACE FILL OR BACKFILL IF FILL OR BACKFILL MATERIAL IS FROZEN OR IF THE SURFACE UPON WHICH FILL OR BACKFILL IS TO BE PLACED IS FROZEN.
15. BACKFILL AROUND STRUCTURES: CONTRACTOR SHALL PLACE BACKFILL AROUND CONCRETE STRUCTURES ONLY AFTER THE CONCRETE HAS ATTAINED THE SPECIFIED COMPRESSIVE STRENGTH. CONTRACTOR SHALL REMOVE ALL FORM MATERIALS AND TRASH FROM THE EXCAVATION BEFORE PLACING ANY BACKFILL. CONTRACTOR SHALL NOT OPERATE EARTH-MOVING EQUIPMENT WITHIN 5 FEET OF WALLS OF CONCRETE STRUCTURES FOR THE PURPOSE OF DEPOSITING OR COMPACTING BACKFILL MATERIAL. CONTRACTOR SHALL COMPACT BACKFILL ADJACENT TO CONCRETE WALLS WITH HAND-OPERATED TAMPERS OR SIMILAR EQUIPMENT THAT WILL NOT DAMAGE THE STRUCTURE. CONTRACTOR SHALL PLACE FILL IN LIFTS NOT MORE THAN 8 INCHES THICK PRIOR TO COMPAKING AND COMPACT IN ACCORDANCE WITH QUALITY CONTROL NOTES.
16. DOWNSPOUT NOTE: NO DRAIN DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
17. CONTRACTOR TO OBTAIN THE NPDES PERMIT NOTE.

EASEMENT TABLE	
①	10' UTILITY EASEMENT
②	24' CROSS ACCESS EMERGENCY ACCESS EASEMENT
③	DRAINAGE EASEMENT

BENCHMARK

ASSUMED 100.0' ON THE CONCRETE FINISHED FLOOR
AT THE EASTERLY END OF THE BRICK BUILDING AS
SHOWN AND DESCRIBED HEREON. WITH ALL OTHER
ELEVATION INFORMATION SHOWN HEREON RELATED
THERETO.

BASIS OF BEARING

ASSUMED BEARING OF NORTH 00°15'10" WEST LINE OF
THE SOUTHEAST QUARTER OF SECTION 7.

PARCEL IDENTIFICATION NUMBER:
182307400059

drawn by: CH
checked by: CH
approved by: MM
QA/CC by: CH

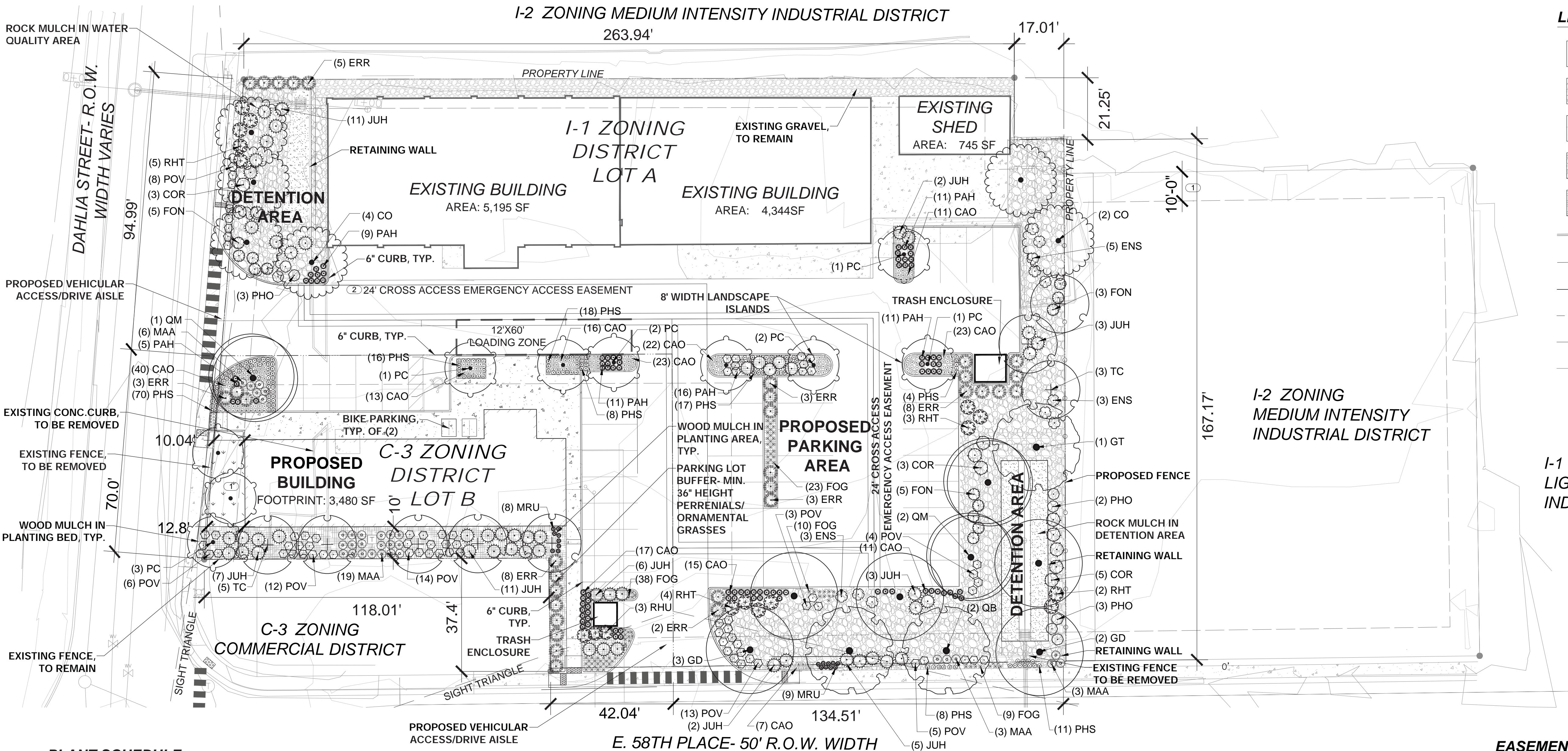
project no.: 016-1205
drawing no.: C-GRD-161205.dwg
date: 12/22/2016

DEPARTMENT OF COMMUNITY DEVELOPMENT SIGNATURE
C3.0

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS ____ DAY OF ____, A.D. ____

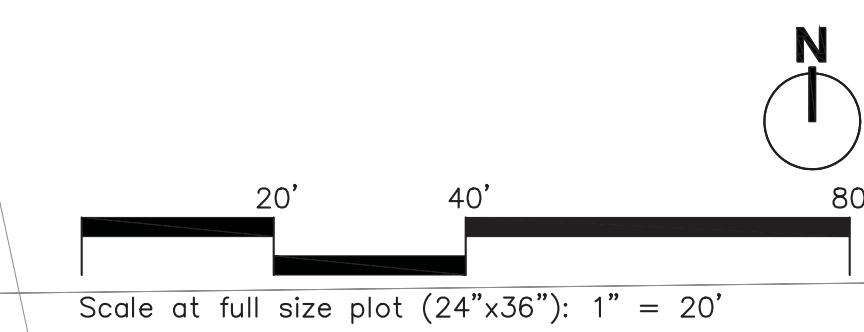
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C3.0

MASTER LANDSCAPE PLAN



LEGEND:

	SOD AREA
	RIPARIAN SEED AREA
	CONCRETE PAVING
	ROCK MULCH
	WOOD MULCH
	6" CURB, RE: CIVIL
	PROPERTY LINE (EXISTING)
	PROPERTY LINE
	DRIVE AISLE (PROPOSED)
	SIGHT TRIANGLE
	XCEL EASEMENT

I-1 ZONING
LIGHT INTENSITY
INDUSTRIAL DISTRICT

EASEMENT TABLE

	10' UTILITY EASMENT
	24' CROSS ACCESS EMERGENCY VEHICLE EASEMENT
	DRAINAGE EASEMENT

Date: 22 DECEMBER 2016
Revisions:1. 28 JULY 2016
2. 12 OCTOBER 2016
3. 17 NOVEMBER 2016
4. 16 DECEMBER 2016PROJECT TEAM:
Master Planner/Architect
ShelterBelt Design
4470 Zuni Street
Denver, CO 80211
(303) 704-2812
contact: Nicole DelmageLandscape Architect
Wenk Associates
1130 31st St, Ste 101
Denver, CO 80205
(303) 628-0003
contact: Tyrel Sturgeon
tsturgeon@wenk.comCivil Engineer
Olsson Associates
5285 McWhinney Blvd, Ste160
Loveland, CO 80538
(970) 461-7733
contact: Mike Maurer

Drawing Number:

L1.0

PLANT SCHEDULE

SYMB.	QTY	ABBREV.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	MIN. SPACING	NOTES	SYMB.	QTY	ABBREV.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	MIN. SPACING	NOTES									
ORNAMENTAL TREES																								
	10	PC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2" CAL.	AS SHOWN	B&B		155	CAO	CALAMGROSTIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	1 GAL.	18" O.C.	CONT.									
	2	KP	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRairie PRIDE HACKBERRY	2" CAL.	AS SHOWN	B&B		32	ERR	ERIANTHUS RAVENNA	RAVENNA GRASS	1 GAL.	6' O.C.	CONT.									
	5	GD	GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	2" CAL.	AS SHOWN	B&B		* 81	FOG	FESTUCA OVINA GLAUCA	BLUE FESCUE	1 GAL.	18" O.C.	CONT.									
	5	GT	GLEDISTIA TRIACANTHOS ENERMIS	SHADEMASTER HONEY LOCUST	2" CAL.	AS SHOWN	B&B		17	MRU	MUHLENBERGIA REVERCHONI 'UNDANUTED'	UNDAUNTED MUHLY GRASS	1 GAL.	18" O.C.	CONT.									
	3	QM	QUERCUS MACROCARPA	BUR OAK	2" CAL.	AS SHOWN	B&B		91	PAH	PENNSETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL.	2' O.C.	CONT.									
	8	TC	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" CAL.	AS SHOWN	B&B	GROUNDCOVERS																
	11	COR	CORNUS SERICEA	REDOISIER DOGWOOD	5 GAL.	6' O.C.	CONT.		55	JUH	JUNIPEROUS HORIZONTALIS	CREEPING JUNIPER	5 GAL.	6' O.C.	CONT.									
	11	ENS	ERICAMERIA NAUSEOSA SPECIOSA	DWARF BLUE RABBITBRUSH	5 GAL.	4' O.C.	CONT.		148	PHS	PHLOX SUBULATA	CREEPING PHLOX	4" POT	18" O.C.	CONT.									
	13	FON	FORESTIERA NEOMEXICANA	NEW MEXICAN PRIVET	5 GAL.	4' O.C.	CONT.		17	POV	POTENTILLA VERNIA	CREEPING POTENTILLA	5 GAL.	3' O.C.	CONT.									
	31	MAA	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	5 GAL.	3' O.C.	CONT.	RIPARIAN SEED MIX																
	8	PHO	PHYSOCARPUS OPULIFOLIUS	MOUNTAIN NINEBARK	5 GAL.	4' O.C.	CONT.		COMMON NAME	SCIENTIFIC NAME	LB/AC (PLS)													
	17	RHT	RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL.	6' O.C.	CONT.		WOOLY SEDGE	CAREX PELLITA	.23													
BLUEGRASS SOD MIX																								
COLORADO GROWN KENTUCKY BLUEGRASS SOD BLEND. BLEND SHALL CONTAIN A MINIMUM OF 3 IMPROVED VARIETIES, OF WHICH AT LEAST ONE VARIETY IS AN AGGRESSIVE TYPE.																								

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

Landscape Plan

Drawing Number:

DEPARTMENT OF COMMUNITY DEVELOPMENT
L1.0

5846 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

LANDSCAPE NOTES

1. FINAL CONSTRUCTION DOCUMENTS SHALL CONFORM TO THE REQUIREMENTS OUTLINED WITHIN THIS SUBMITTAL
2. LANDSCAPE PLANS ARE SCHEMATIC IN NATURE AND SUBJECT TO MODIFICATION TO MEET THE CITY'S REQUIREMENTS, THE DEVELOPER'S PROGRAM, OR OTHER NECESSARY REQUIREMENTS.
3. LOCATION, BUT NOT QUANTITY, OF LANDSCAPE PLANTINGS MAY BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF UNDERGROUND UTILITIES.
4. PLANTINGS SHALL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. TURF AREAS WILL BE SPRAY IRRIGATED. TREES, SHRUBS, LANDSCAPE BEDS AND TREE LAWNS LESS THAN 10' WIDE SHALL BE SUBSURFACE IRRIGATED. THE TAP AND BACKFLOW PREVENTION DEVICE SIZE AND LOCATION SHALL BE SHOWN ON IRRIGATION PLANS. LANDSCAPE AND IRRIGATION SHALL MEET THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT.
5. LANDSCAPE IMPROVEMENTS IN TRACTS SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER.
6. AREAS INTENDED FOR IRRIGATED AND MOWED TURF SHALL NOT EXCEED 4:1 SLOPE. NATIVE GRASSES AND SHRUB BEDS SHALL NOT EXCEED 3:1 SLOPE.
7. 30' SIGHT TRIANGLES ARE SHOWN ON THE PLANS, PER MUNICIPAL CODE. A VISION CLEARANCE AREA SHALL CONTAIN NO PLANTINGS, WALLS, STRUCTURES, OR TEMPORARY OR PERMANENT OBSTRUCTIONS EXCEEDING 2.5' IN HEIGHT, MEASURED FROM THE TOP OF THE CURB OR EXISTING GRADE, UNLESS SUCH STRUCTURE OR OBSTRUCTIONS ARE MORE THAN 80 PERCENT OPEN.
8. TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING RE-VEGATION AND LANDSCAPING.
9. SOIL IN AREAS THAT HAVE BEEN COMPAKTED OR DISTURBED DURING CONSTRUCTION SHALL BE THOROUGHLY LOOSENED. ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL AT A RATE OF A MINIMUM OF 5 CUBIC YARDS PER 1,000 SQUARE FEET OF LANDSCAPE AREA, AND TILLED TO A MINIMUM DEPTH OF 6 INCHES.
10. PLANT MATERIALS SHALL BE SELECTED FROM THE CITY'S APPROVED PLAN LIST AND LANDSCAPING SPECIFICATIONS.
11. ALL PLANTS SHALL BE A-GRADE OR NO. 1 GRADE, FREE OF ANY DEFECTS, AND SHALL BE OF NORMAL HEALTH, HEIGHT, LEAF DENSITY, AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
12. THE CALIPER OF DECIDUOUS TREES SHALL BE MEASURED 6" ABOVE THE BASE.
13. EXISTING CONDITIONS: THERE ARE NO EXISTING LANDSCAPE IMPROVEMENTS. THEREFORE, NO LANDSCAPE IS PLANNED TO REMAIN.
14. MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION: MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER. PERENNIALS AND GROUND COVER 2 1/4 POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES). MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000SF OF LANDSCAPE AREA.
15. STREET TREES: THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
16. WEED BARRIER: POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
17. EDGING: PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
18. IMPLEMENTATION AND COORDINATION OF THE LANDSCAPE PLAN. THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
19. IRRIGATION: ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
20. MAINTENANCE: THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
21. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR.
22. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
23. VEHICLE PARKING NOTE: NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.

Landscape Statistics Tables:

LOT B:

LANDSCAPE TREATMENT AREA:

TOTAL SQUARE FEET OF LANDSCAPE AREA: 2,836
SQUARE FEET OF SOD AREA : 395
PERCENTAGE OF TOTAL LANDSCAPE AREA IN SOD: 14%
SQUARE FEET OF PLANTED AREA: 2,300 SF
PERCENTAGE OF TOTAL LANDSCAPE AREA IN PLANTINGS: 81%
TOTAL TREES REQUIRED BY LANDSCAPE ORDINANCE: 5
TOTAL TREES PROVIDED IN PLAN: 16
TOTAL SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 9
TOTAL SHRUBS PROVIDED IN PLAN: 78
MULCH TYPES REQUIRED BY LANDSCAPE ORDINANCE: 2
MULCH TYPES PROVIDED IN PLAN: 2

RIGHT-OF-WAY LANDSCAPE AREA:

SQUARE FEET OF LANDSCAPE IN RIGHT OF WAY: 0
STREET TREES REQUIRED BY LANDSCAPE ORDINANCE: 7
STREET TREES PROVIDED IN PLAN: 7

PARKING LOT PERIMETER LANDSCAPE:

PARKING PERIMETER TREES REQUIRED BY LANDSCAPE ORDINANCE: 4
PARKING PERIMETER TREES PROVIDED IN PLAN: 4
PARKING PERIMETER SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 20
PARKING PERIMETER SHRUBS PROVIDED IN PLAN: 23

PARKING LOT INTERIOR LANDSCAPE:

ISLANDS REQUIRED BY LANDSCAPE ORDINANCE: 0
ISLANDS PROVIDED IN PLAN: 0
MEDIAN REQUIRED BY LANDSCAPE ORDINANCE: 0
MEDIAN PROVIDED IN PLAN: 0
INTERIOR PARKING LOT TREES REQUIRED BY LANDSCAPE ORDINANCE: 1
INTERIOR PARKING LOT TREES PROVIDED IN PLAN: 2
INTERIOR PARKING LOT SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 6
INTERIOR PARKING LOT SHRUBS PROVIDED IN PLAN*: 6

LOT A:

LANDSCAPE TREATMENT AREA:

TOTAL SQUARE FEET OF LANDSCAPE AREA: 9,045
SQUARE FEET OF SOD AREA : 0
PERCENTAGE OF TOTAL LANDSCAPE AREA IN SOD: 0
SQUARE FEET OF PLANTED AREA: 6,785
PERCENTAGE OF TOTAL LANDSCAPE AREA IN PLANTINGS: 75%
TOTAL TREES REQUIRED BY LANDSCAPE ORDINANCE: 15
TOTAL TREES PROVIDED IN PLAN: 18
TOTAL SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 30
TOTAL SHRUBS PROVIDED IN PLAN: 142
MULCH TYPES REQUIRED BY LANDSCAPE ORDINANCE: 2
MULCH TYPES PROVIDED IN PLAN: 2

DETENTION/RETENTION LANDSCAPE:

DETENTION/RETENTION TREES REQUIRED BY LANDSCAPE ORDINANCE: 12
DETENTION/RETENTION TREES PROVIDED IN PLAN: 12
DETENTION/RETENTION SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 117
DETENTION/RETENTION SHRUBS PROVIDED IN PLAN: 129

RIGHT-OF-WAY LANDSCAPE AREA:

SQUARE FEET OF LANDSCAPE IN RIGHT OF WAY: 0
STREET TREES REQUIRED BY LANDSCAPE ORDINANCE: 5
STREET TREES PROVIDED IN PLAN: 7

PARKING LOT PERIMETER LANDSCAPE:

PARKING PERIMETER TREES REQUIRED BY LANDSCAPE ORDINANCE: 14
PARKING PERIMETER TREES PROVIDED IN PLAN: 14
PARKING PERIMETER SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 70
PARKING PERIMETER SHRUBS PROVIDED IN PLAN: 102

PARKING LOT INTERIOR LANDSCAPE:

ISLANDS REQUIRED BY LANDSCAPE ORDINANCE: 3
ISLANDS PROVIDED IN PLAN: 0
MEDIAN REQUIRED BY LANDSCAPE ORDINANCE: 0
MEDIAN PROVIDED IN PLAN: 0
INTERIOR PARKING LOT TREES REQUIRED BY LANDSCAPE ORDINANCE: 4
INTERIOR PARKING LOT TREES PROVIDED IN PLAN: 4
INTERIOR PARKING LOT SHRUBS REQUIRED BY LANDSCAPE ORDINANCE: 18
INTERIOR PARKING LOT SHRUBS PROVIDED IN PLAN*: 23

PARCEL IDENTIFICATION NUMBER: 182307400059

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

Landscape Notes & Tables

Drawing Number:

L2.0

*DOES NOT INCLUDE PERENNIALS & ORNAMENTAL GRASSES

DEPARTMENT OF COMMUNITY DEVELOPMENT

Date: 22 DECEMBER 2016
Revisions:

1. 28 JULY 2016
2. 12 OCTOBER 2016
3. 17 NOVEMBER 2016
4. 16 DECEMBER 2016

PROJECT TEAM:
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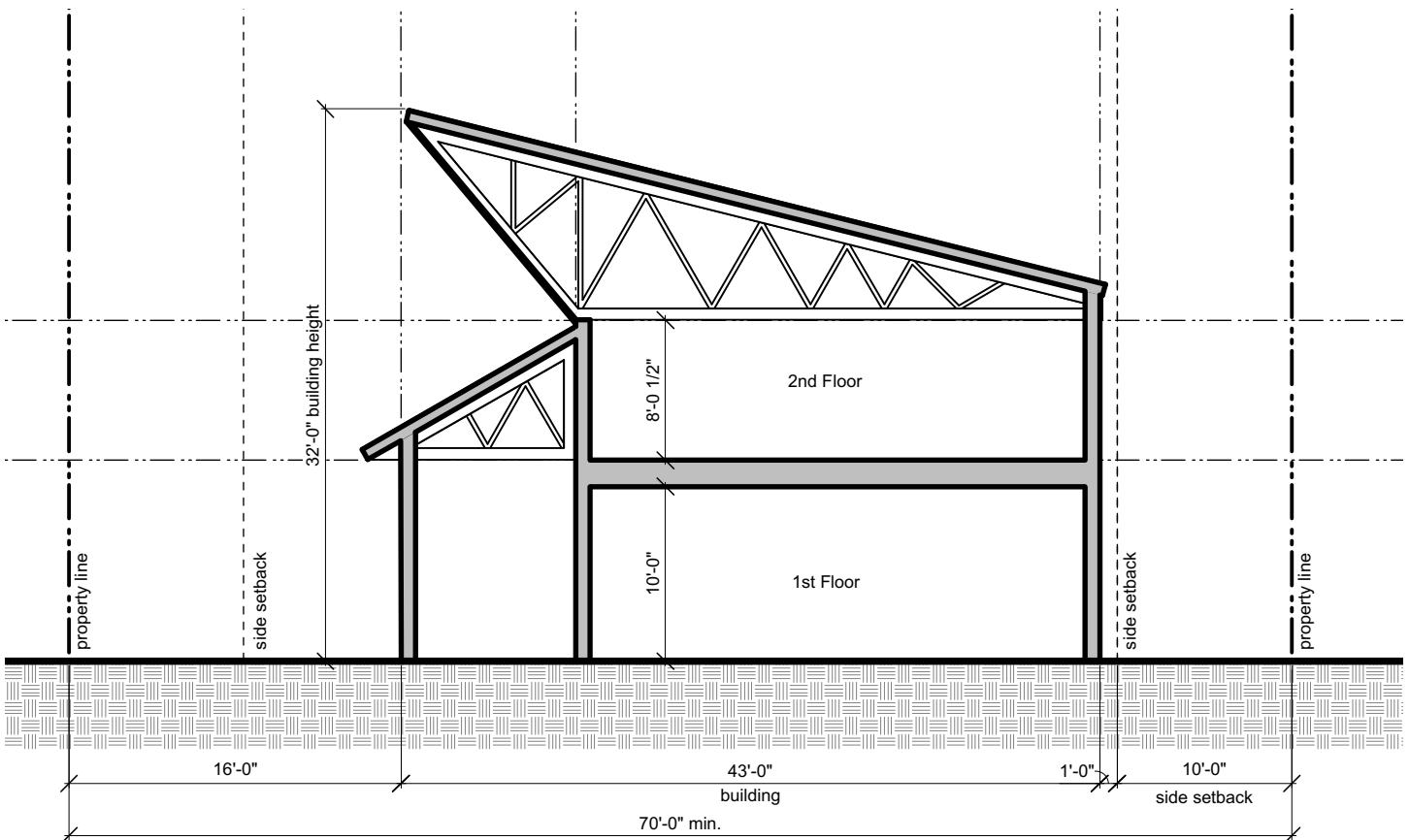
Landscape Notes & Tables

5846 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE
SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF
THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

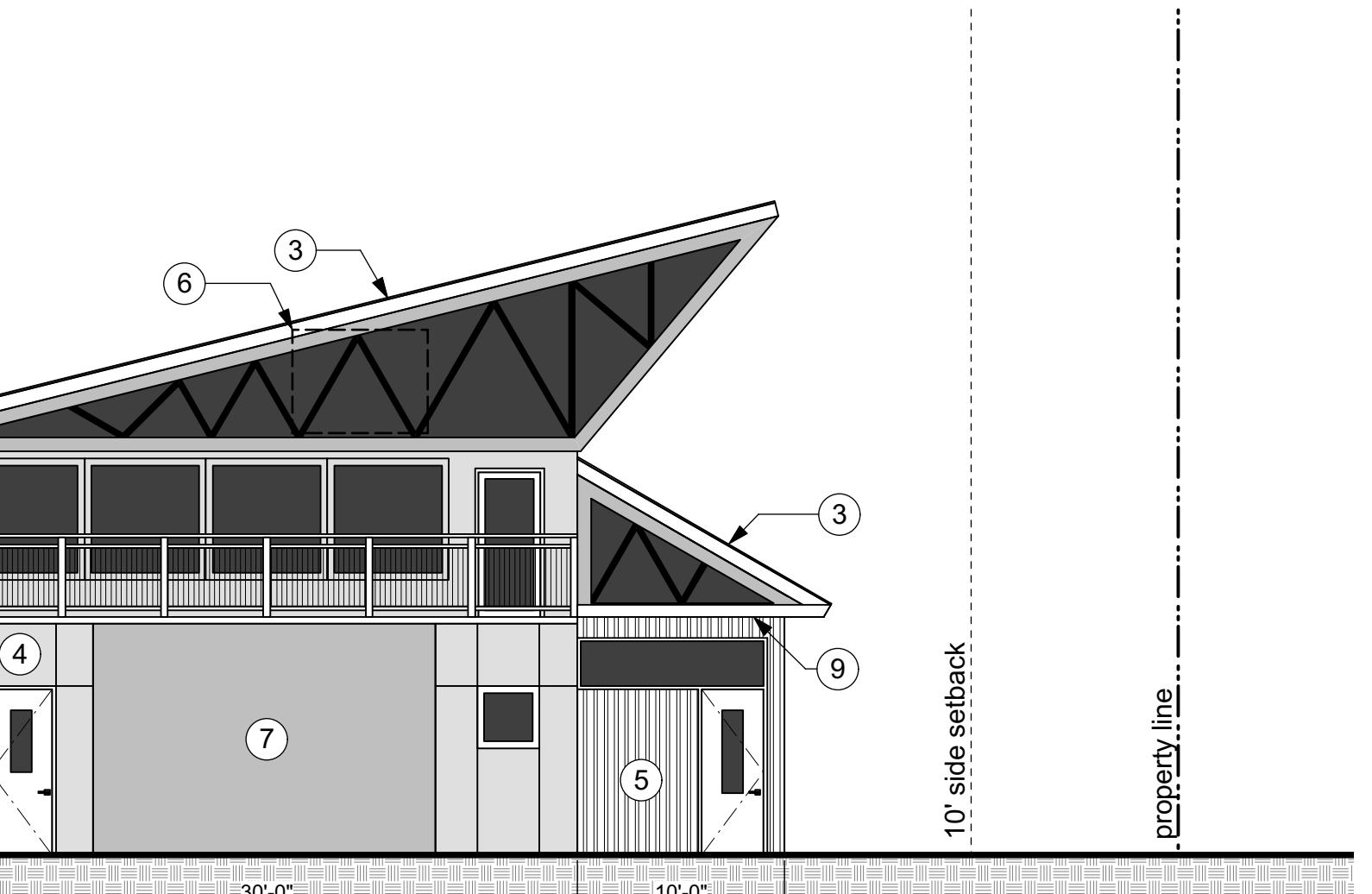
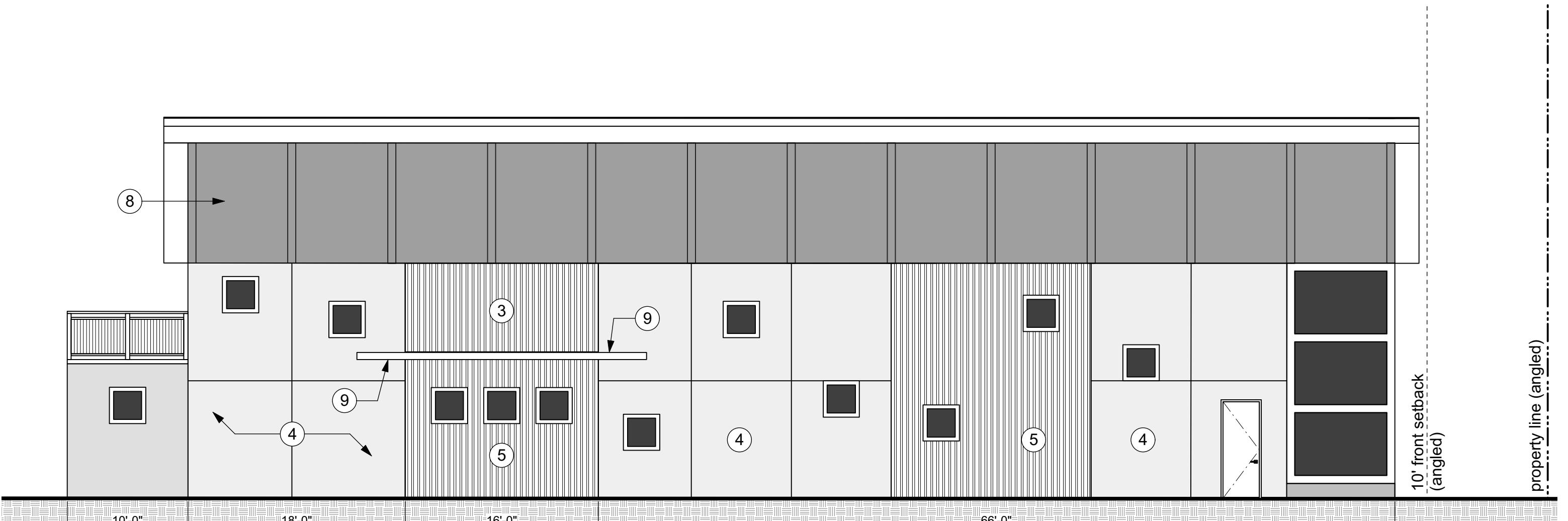
File: **NOTICE_DUTY_OF_COOPERATION**
NOTICE: These plans contemplate further cooperation among the owner, his or her contractor, and the architect. Design and construction are complete. Although the architect and his/her consultants have performed their services to the best of their ability, they cannot guarantee perfection. Communication is impaired and any notice of discrepancy or ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. The architect shall be responsible for any misunderstanding and increases construction costs resulting from any changes or additions made from the plans without consent of the architect. Any changes or additions made from the plans without consent of the architect shall relieve the architect from responsibility for any consequences arising out of such changes.

Development Plan
Date: 16 December 2016
Revisions:



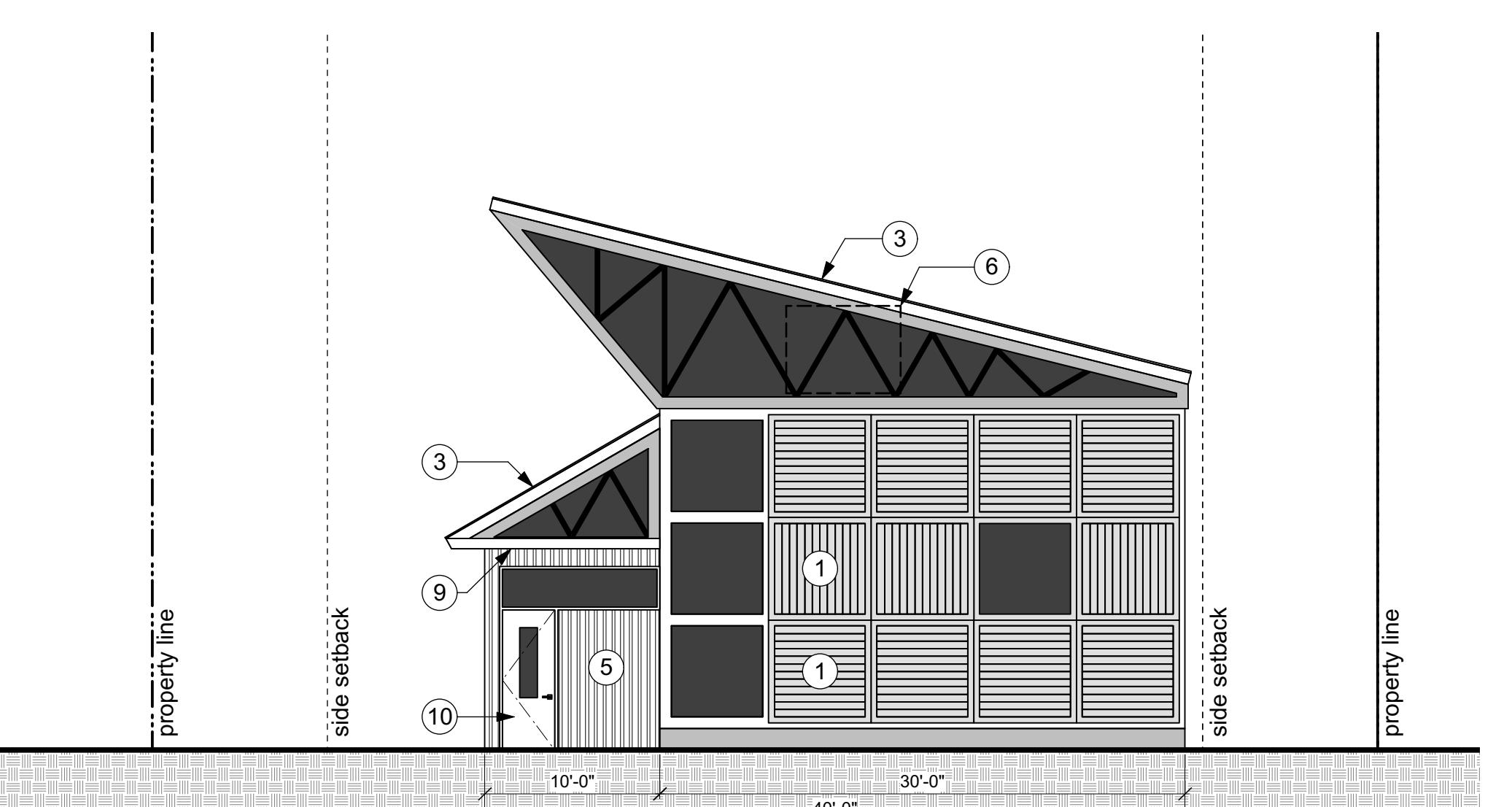
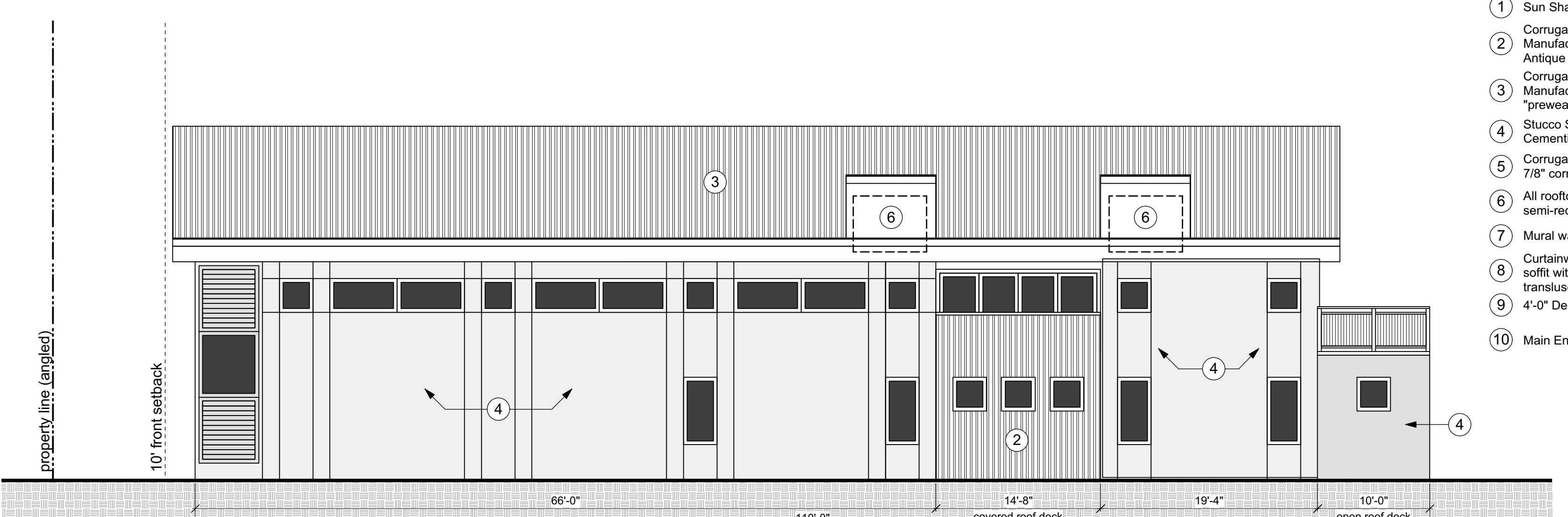
PARCEL IDENTIFICATION NUMBER: 182307400059
CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.
DEPARTMENT OF COMMUNITY DEVELOPMENT

5 Building Section (West Exterior Elevation)
3/32" = 1'-0"



4 North Exterior Elevation
1/8" = 1'-0"

3 East Exterior Elevation
1/8" = 1'-0"



2 South Exterior Elevation
1/8" = 1'-0"

1 West Exterior Elevation
1/8" = 1'-0"

5846 Dahlia Street

Commerce City, CO

ShelterBelt Design • 4420 Zuni Street, Denver CO 80211 • (303) 704-2812

PROJECT TEAM:

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contact: Nicole Delimage

Landscape Architect
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contact: Mike Maurer

Exterior Elevations

Drawing Number:

A1.0

5846 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE
SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF
THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

File: **NOTICE-DUTY OF COOPERATION**
Release of these plans contemplates further cooperation among the owner, his or her contractor, and the architect. Design and construction are complete. Although the architect and his/her consultants have performed their services to the best of their ability, they cannot guarantee perfection. Communication is imperfect and any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. The architect shall be responsible for any misunderstanding and increases construction costs resulting from changes made to the plans. Notice to the architect shall relieve the architect from responsibility for any changes made to the plans without consent of the architect and shall relieve the architect from all consequences arising out of such changes.

Development Plan
Date: 16 December 2016
Revisions:

PARCEL IDENTIFICATION NUMBER: 182307400059

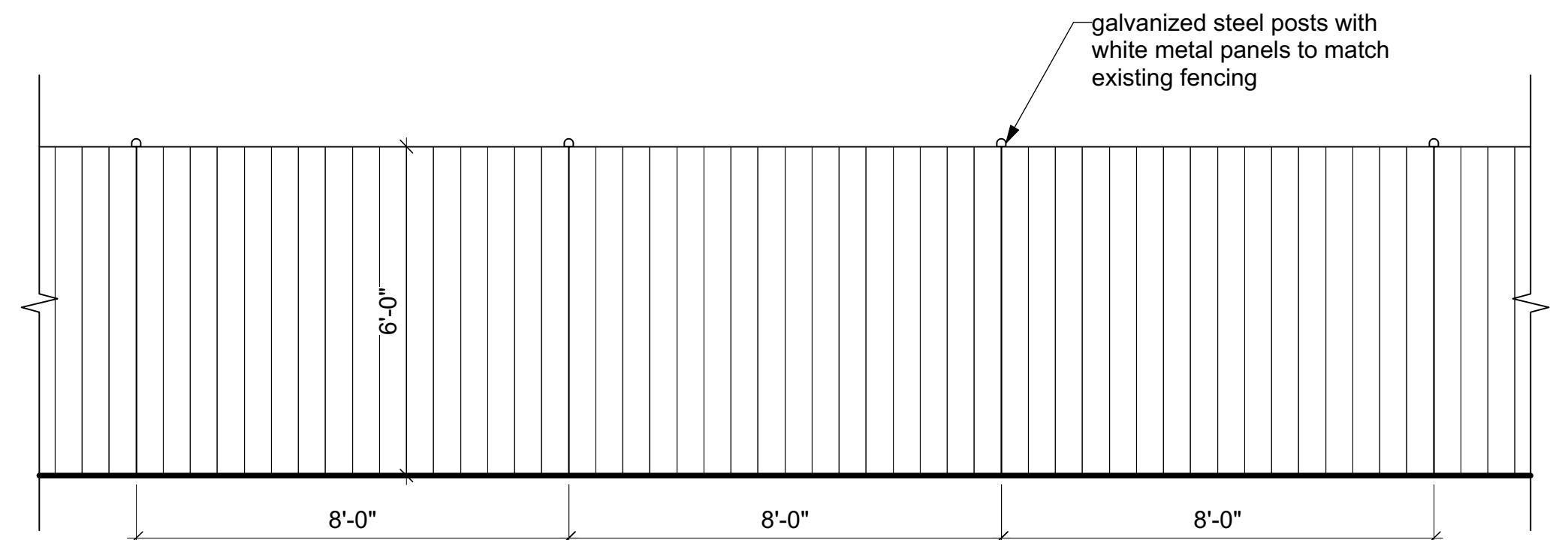
CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF
THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

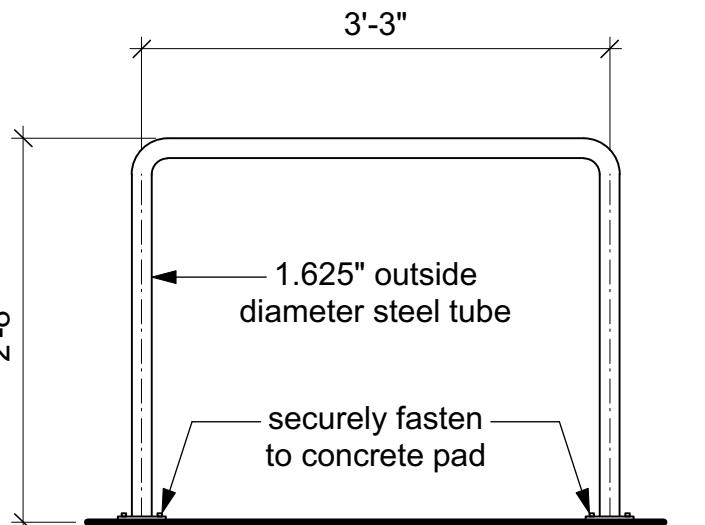
DEPARTMENT OF COMMUNITY DEVELOPMENT

5846 Dahlia Street Commerce City, CO

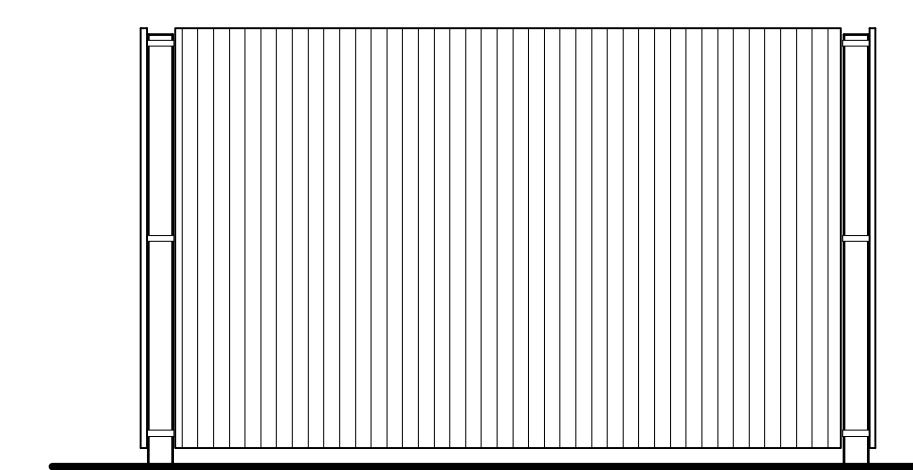
ShelterBelt Design • 4420 Zuni Street, Denver CO 80211 • (303) 704-2812



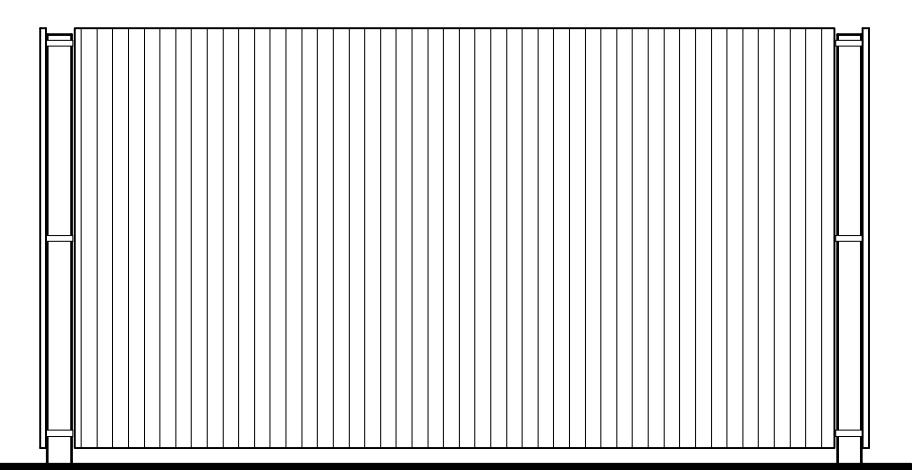
3 Fencing Elevation, Typical
3/8" = 1'-0"



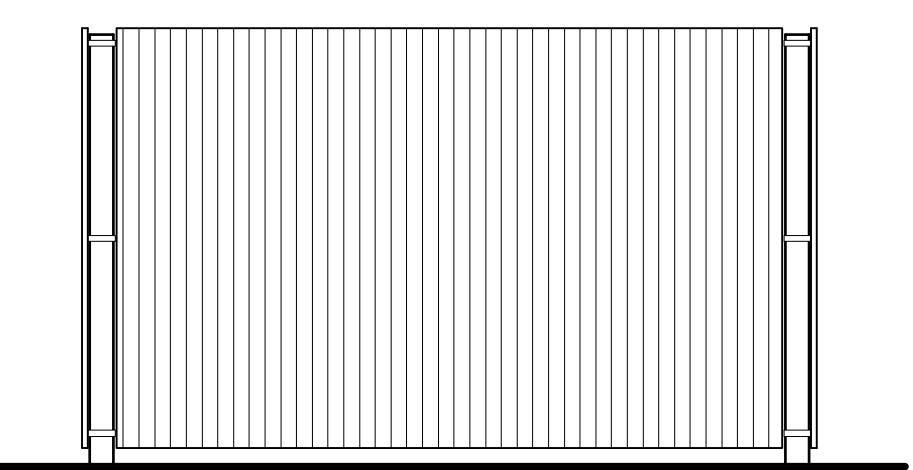
2 Bike Rack Elevation, Typical
3/4" = 1'-0"



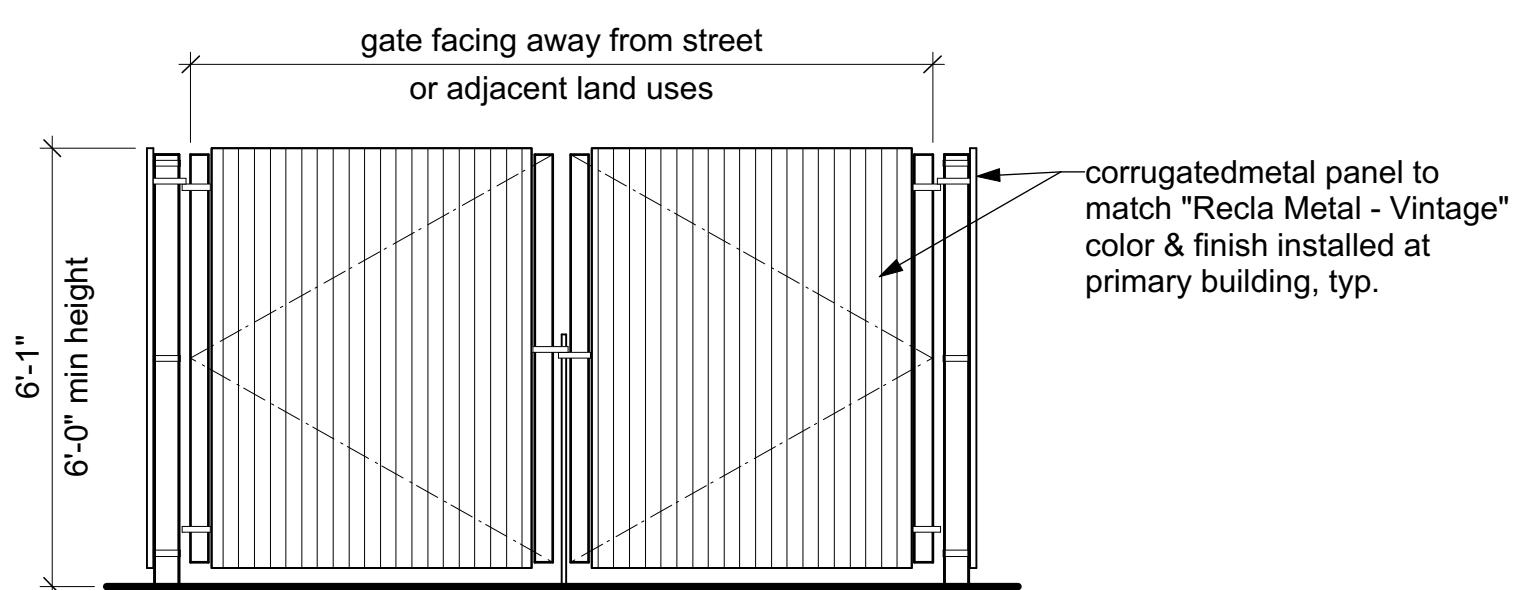
SIDE / LEFT ELEVATION



REAR ELEVATION



SIDE / RIGHT ELEVATION



FRONT / GATE ELEVATION

1 Trash Enclosure Elevations, Typical
3/8" = 1'-0"

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Site Elements Elevations

Drawing Number:

5850 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF THE 6TH P.M.,
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QTY	LAMP WATT	LAMP TYPE	MAX WATTS	LOCATION	INFORMATION	NOTES
EA1	LED AREA LIGHT, TYPE 4 DIST.	PHILIPS-GARDCO	P21-DIM-A1-1-4-TOLA-N4-UNV-XX	UNIV	1	10	LED	10	POLE	30'-0"	
EA2	LED AREA LIGHT, TYPE 4 DIST.	PHILIPS-GARDCO	P21-DIM-A1-2-4-TOLA-N4-UNV-XX	UNIV	1	10	LED	10	POLE	30'-0"	
EA3	LED AREA LIGHT, TYPE 3 DIST.	PHILIPS-GARDCO	P21-DIM-A1-3-TOLA-N4-UNV-XX	UNIV	1	10	LED	10	POLE	30'-0"	
EB1	LED GOOSENECK BARNLIGHT, 850 LUMENS	BARN LIGHT ELECTRIC	G-WB15-PC-LED-XXX-6XX-XXX 850LED-2700K-FLAT-120V	120	1	9	LED	9	SURFACE WALL	12'-0"	BOF

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT

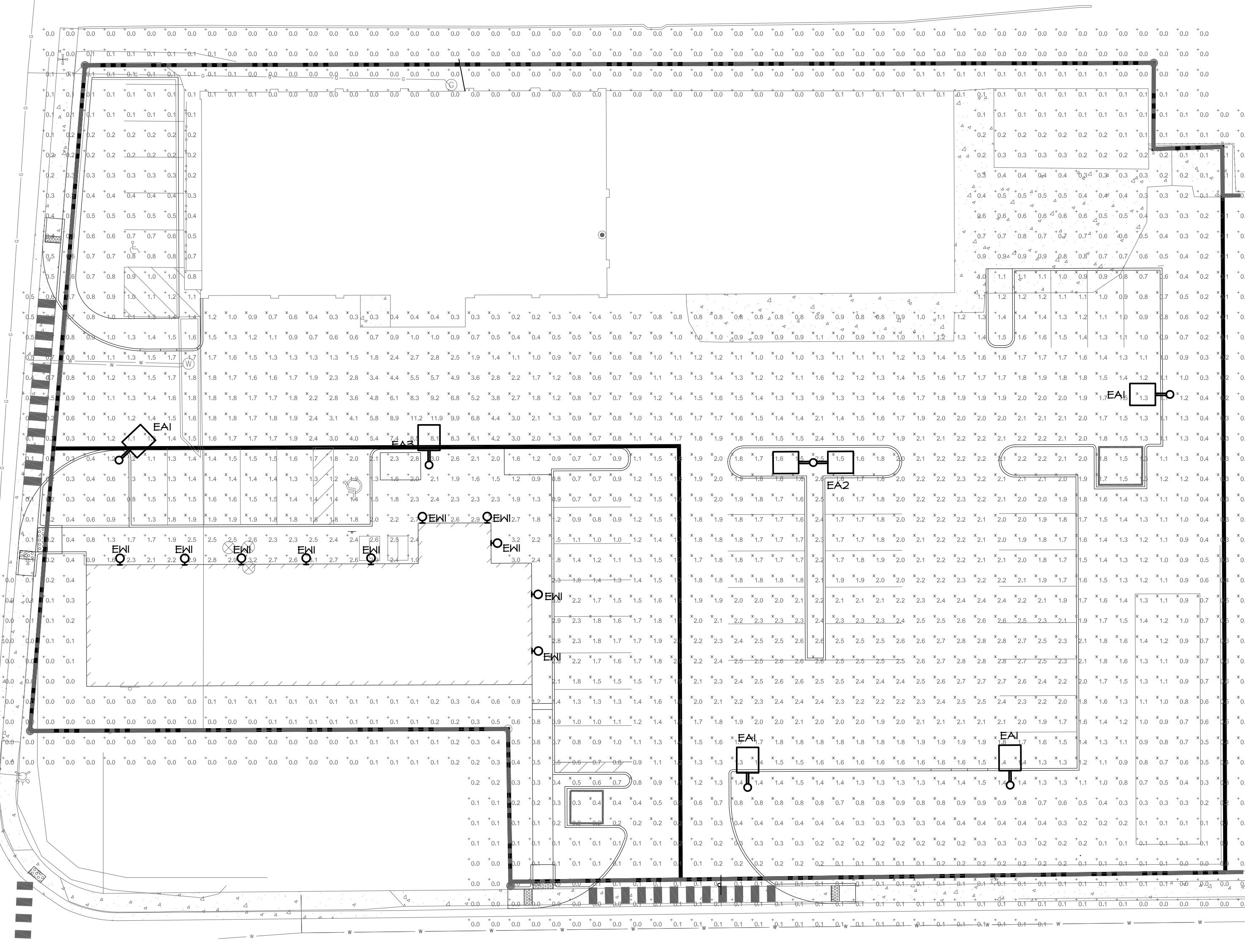
GENERAL NOTES:

A. CONFIRM FINISHES OF FIXTURES PRIOR TO PURCHASE.
B. PROVIDE LUMINAIRES SHOWN AS SHADING WITH EMERGENCY BATTERY BALLASTS. EMERGENCY LUMINAIRES SHALL SENSE UN-SWITCHED POWER TO THE SPACE AND OPERATED AUTOMATICALLY UPON LOSS OF NORMAL POWER. ALL SHADED LUMINAIRES WITH 2FT AND 4FT LAMPS SHALL HAVE ONE (1) 90 MINUTE RATED, TWO LAMP, 1400 LUMEN EMERGENCY BALLAST. ALL SHADED LUMINAIRES WITH COMPACT FLUORESCENT LAMPS SHALL HAVE A FACTORY INSTALLED 90 MINUTE EMERGENCY BALLAST. ALL EMERGENCY LUMINAIRES SHALL HAVE REMOTE TEST SWITCHES AND VISIBLE INDICATING LIGHTS. CONNECT THE EMERGENCY BATTERIES BALLAST TO THE UN-SWITCHED LEG OF THE LIGHTING CIRCUIT INDICATED.

SPECIFIC NOTES:

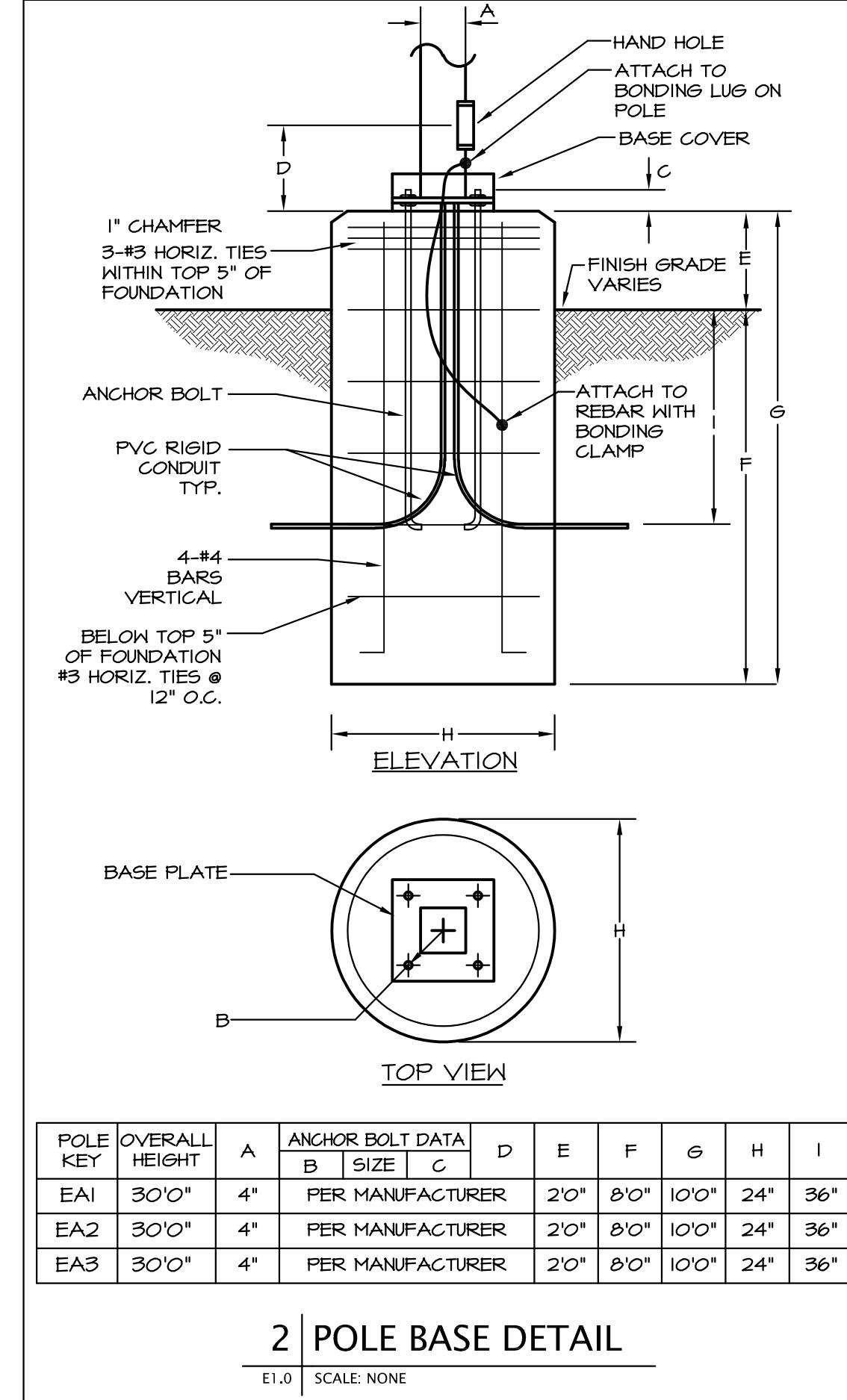
I. CONFIRM GOOSENECK MOUNTING ARM WITH OWNER PRIOR TO PURCHASE.

Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
Parking Lot	X	1.4 fc	11.9 fc	0.1 fc	119.0:1
Property Line	+	0.1 fc	0.8 fc	0.0 fc	N/A
Sidewalk	X	1.8 fc	3.2 fc	0.0 fc	N/A
Site	+	0.7 fc	11.9 fc	0.0 fc	N/A



1 | SITE PHOTOMETRIC PLAN

1/100 SCALE 1" = 30'-0"



2 | POLE BASE DETAIL

E1.0 SCALE: NONE

PARCEL IDENTIFICATION NUMBER: 182307400059

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF

THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2016.

DEPARTMENT OF COMMUNITY DEVELOPMENT

5850 DAHLIA ST.
COMMERCE CITY, CO

SITE PHOTOMETRIC
PLAN

E1.0

5850 DAHLIA ST., COMMERCE CITY, COLORADO

A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 3, RANGE 67 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



Ordering guide											
Prefix	Controls	Arm	Mounting	Optical System ¹	Wattage	Color Temp	Voltage	Finish	Options		
P21- PureForm 21" fixture	— Standard luminaire	A1- Standard	1- Standard	55LA 70LA 90LA 130LA 165LA 180LA 200LA ²	120 208 240 277 347 480 800A	CW 5700K 9000K NW 5W SW BL WW UVN HVN HUV	120V 208V 240V 277V 347V 480V 800A	BRP BLP WP NP OC PCRS ³ PCRS ⁴ SC PTF2 PTF4 SPA2-1 SPA3-1 DL ⁵ CLR ⁶ POLY ⁷ BD ⁸	TL TB F ⁹ LF ¹⁰ PC ¹¹ PCRS ¹² PCRS ¹³ PCRS ¹⁴ SC ¹⁵ EHHS ¹⁶ PTF2 ¹⁷ PTF4 ¹⁸ SPA2-1 ¹⁹ SPA3-1 ²⁰ DL ²¹ CLR ²² POLY ²³ BD ²⁴	example: P21-APD-A1-5M-130LA-NW-120-NC-PCB	
DIM	0-10V Dimming	A2- Dim	2- 5' Arm	2090	2090	5W	240V	BRP	TL	Tool-less extra driver removal hardware	
APD	Automatic Profile Dimming	A3- Decorative	3- 5' Arm	3090	2090	5W	240V	BLP	TB	Terminal Block	
APD-MRO	APD with Motion Detector and motion pole mounted sensor	MA	4- 8' Arm	36120	2090	5W	240V	WP	F ¹⁰	Fusible	
APD-MRI	APD with Motion Detector and motion pole mounted sensor	MA	4- 8' Arm	36120	2090	5W	240V	NP	LF	In-Line/In-Pole Fusing	
MR50	Motion Response at 50% low, 10 minute motion sensor	WS	Wall Mount	4990	4990	5W	240V	OC	PC ¹¹	Recessed with Photocell or Photocell with dimming	
WIRELESS Controls	Wireless controller available. See P21-WS	LLCZ ¹⁰	#2 lens for 8' mounting heights	4-90	4-90	5W	240V	PCRS ¹²	PCRS ¹³	Protocol with 2 dimming connections	
LLCZ ¹¹	#3 lens for 8' mounting heights	LLC3 ¹²	#3 lens for 9-20' mounting heights	4-270	4-270	5W	240V	PCRS ¹⁴	PCRS ¹⁵	Protocol with 2 dimming connections	
LLC4 ¹³	#4 lens for 21-40' mounting heights	LLC4 ¹⁴	#4 lens for 21-40' mounting heights	2-270	2-270	5W	240V	SC	SC	120-277V 50Hz/60Hz	
				4-270	4-270	5W	240V	PTF2	PTF4	120-277V 50Hz/60Hz	
				2-270	2-270	5W	240V	SPA2-1	SPA2-1	120-277V 50Hz/60Hz	
				2-270	2-270	5W	240V	SPA3-1	SPA3-1	120-277V 50Hz/60Hz	
				2-270	2-270	5W	240V	DL ²¹	DL ²¹	120-277V 50Hz/60Hz	
				2-270	2-270	5W	240V	CLR ²²	CLR ²²	120-277V 50Hz/60Hz	
				2-270	2-270	5W	240V	POLY ²³	POLY ²³	120-277V 50Hz/60Hz	
				2-270	2-270	5W	240V	BD ²⁴	BD ²⁴	120-277V 50Hz/60Hz	

1. Available 120-277V only (UNV 120-208, 240-277).
2. Available 120V or 277V only. MR50 and APD-MRI are not available with 240V or 277V. Order separately. See page 2 for Accessories.
3. Available 120V or 277V only. Wattages 190, A and 200A. A requires an on-boarded sensor enclosure mounted to the arm of the luminaire (A1 arms only).
4. Not available with A3 Arm Style 240 & 277V.
5. LLC2/LLC3/LLC4 wireless controls not available with 240V or 277V only. Order separately. See page 5 for Accessories.
6. Arm Styles mount to a round pole with no adapter. If mounting to a square pole, order SPA2-2 for A1/A2 arms, or SPA3 for A3 arms.
7. Available with A1 or A2 Arms only. Not available in P21-MR50, or P21-APD-MRI.

PureForm_P21_LED - 03/16, page 1 of 9

1 | EA1, EA2, EA3
E1.1 | SCALE: NTS



Project:	
Location:	
Cat. No.:	
Type:	
Qty:	
Notes:	



Item #	Diameter (A)	Height (B)
WHB11-PC-LED	11"	6"
WHB13-PC-LED	13"	6"
WHB15-PC-LED	15"	7"
WHB17-PC-LED	17"	8 1/4"

LED WAREHOUSE SHADE COLLECTION: The Old Dixie																
WHB11-PC-LED			WHB13-PC-LED			WHB15-PC-LED			WHB17-PC-LED							
Model #	Item #	Standard Finishes	Mounting Options	Mounting Color	Optional Accessories	Accessory Colors	LED Options	LED Lens	LED	Voltage						
C-Cord Hung	WHB11-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	cord	Black	W/C Wire Cage	Standard Finish for 1350 LED	850 LED	Domed	120V							
S-Stem Mount	WHB13-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	stem	White	Standard Finishes for 2000 LED	2000 LED	3000 LED	4000 LED								
G-Goose-Neck	WHB15-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	goose-neck	Red	Standard Finishes for 2400 LED	2700K Warm White	4000K Cool White									
	WHB17-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	goose-neck	Black	Standard Finishes for 3000 LED	100-Black	400-Black Red	975-Galvanized								
		Other: 975-Galvanized	For additional colors, see color chart													
		Model #	Item #	Standard Finishes	Mounting Options	Mounting Color	Optional Accessories	Accessory Colors	LED Options	LED Lens	Voltage					
		C-Cord Hung	WHB11-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	cord	Black	W/C Wire Cage	Standard Finish for 1350 LED	850 LED	Domed	120V					
		S-Stem Mount	WHB13-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	stem	White	Standard Finishes for 2000 LED	2000 LED	3000 LED	4000 LED						
		G-Goose-Neck	WHB15-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	goose-neck	Red	Standard Finishes for 2400 LED	2700K Warm White	4000K Cool White							
			WHB17-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	goose-neck	Black	Standard Finishes for 3000 LED	100-Black	400-Black Red	975-Galvanized						
				Other: 975-Galvanized	For additional colors, see color chart											
				Model #	Item #	Standard Finishes	Mounting Options	Mounting Color	Optional Accessories	Accessory Colors	LED Options	Voltage				
				C-Cord Hung	WHB11-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	cord	Black	W/C Wire Cage	Standard Finish for 1350 LED	850 LED	Domed	120V			
				S-Stem Mount	WHB13-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	stem	White	Standard Finishes for 2000 LED	2000 LED	3000 LED	4000 LED				
				G-Goose-Neck	WHB15-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	goose-neck	Red	Standard Finishes for 2400 LED	2700K Warm White	4000K Cool White					
					Other: 975-Galvanized	For additional colors, see color chart										
					Model #	Item #	Standard Finishes	Mounting Options	Mounting Color	Optional Accessories	Accessory Colors	Voltage				
					C-Cord Hung	WHB11-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	cord	Black	W/C Wire Cage	Standard Finish for 1350 LED	850 LED	Domed	120V		
					S-Stem Mount	WHB13-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	stem	White	Standard Finishes for 2000 LED	2000 LED	3000 LED	4000 LED			
					G-Goose-Neck	WHB15-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	goose-neck	Red	Standard Finishes for 2400 LED	2700K Warm White	4000K Cool White				
						Other: 975-Galvanized	For additional colors, see color chart									
						Model #	Item #	Standard Finishes	Mounting Options	Mounting Color	Optional Accessories	Accessory Colors	Voltage			
						C-Cord Hung	WHB11-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	cord	Black	W/C Wire Cage	Standard Finish for 1350 LED	850 LED	Domed	120V	
						S-Stem Mount	WHB13-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	stem	White	Standard Finishes for 2000 LED	2000 LED	3000 LED	4000 LED		
						G-Goose-Neck	WHB15-PC-LED	Standard Finishes for ALL Mounting Is. Same as fixture //Leave Code Blank	goose-neck	Red	Standard Finishes for 2400 LED	2700K Warm White	4000K Cool White			
							Other: 975-Galvanized	For additional colors, see color chart					</			