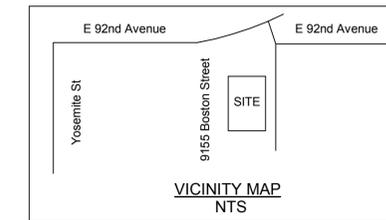


# CRYSTAL PACKAGING, INC.

## Request for Conditional Use Permit (CUP)

### 9155 BOSTON STREET HENDERSON, CO 80640



Wardel Industrial District, Lot 2  
Parcel 0172122006008

Land Use Summary				
Total and Proposed Building and Parking Areas				
Item	Existing (Sq. Ft.)	Proposed (Sq. Ft.)	% +/-	Note
Building Internal Sq. Ft.	63,744	No change	0	Approved Permit is for Tenant Finish with no change in structure footprint or elevations.
Building Occupancy, S-2	As above	46,996	(26%)	
Building Occupancy, H-3	None	16,748	100%	
Parking	10,530	No change	0	
Zoning	I-3			
Building Lot Coverage	70,915=23.53%	No change	0	Includes Dock Bay Overhang.
Lot Coverage-Landscape	27,063=8.98%	No change	0	
Lot Coverage-Asphalt Paving	43,476=14.42%	No change	0	
Lot Coverage-Concrete Coverage	49,739=16.50%	No change	0	
Rail Area Coverage	17,615=5.84%	No change	0	This area may change with a rail expansion in the future. See Site Plan for details.
Gravel/Soil Parking Coverage	39,793=13.20%	0	(100%)	
Crushed Asphalt Parking Coverage	0	39,793=13.20%	100%	Area to be used for working space for temporarily parking bottle and box trailers.
Unimproved Coverage	55,871=17.53%	No change	0	This area may change with a rail expansion in the future.
Lot Total	301,435	No change	0	
Lot Coverage	208,807	248,601	13%	Lot coverage includes the addition of the crushed asphalt parking area.
Estimated # of Employees	20	50	250%	
Number of Fixed Seats	0	0	0	

### Sheet Index - CUP

- 1 Cover Sheet (Updated 11/12/19)
- 2 CS101\_191112 - Site and Utility Plan
- 3-10 ESC Plan C3.0 - C3.6
- 11-13 Landscape Plan L0.0, L1.09 and L1.1
- 15-17 Irrigation Plan IR 1.1 - 1.3

#### LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QTY. REQUIRED	TOTAL QTY. PROVIDED
REQUIRED TREES	16,555 SF	1 TREE PER 1200 SF OF LANDSCAPING + 25% UPGRADE	18 TREES	18 TREES
REQUIRED SHRUBS	16,555 SF	1 SHRUB PER 300 SF OF LANDSCAPING + 25% UPGRADE	69 SHRUBS	69 SHRUBS

PARKING LOT REQUIREMENTS	FORMULA	TOTAL QTY. REQUIRED	TOTAL QTY. PROVIDED
REQUIRED TREES	1 TREE PER 30 LF OF PARKING LOT DRIVEWAY	280 LF TOTAL 10 TREES REQUIRED	10 TREES (8 PROPOSED 2 EXISTING)

RIGHT OF WAY REQUIREMENTS	FORMULA	TOTAL QTY. REQUIRED	TOTAL QTY. PROVIDED
REQUIRED TREES	1 TREE PER 40 LF OF SIDEWALK LENGTH	370 LF TOTAL 10 TREES REQUIRED	12 TREES (8 PROPOSED 4 EXISTING)

LANDSCAPE REQUIREMENT	REQUIREMENT AREA / %	REQUIREMENT MET
PLANTING COVERAGE	75% OF PLANTING AREA COVERED (WITHIN 5 YEARS)	X
TURF	50% MAXIMUM OF PLANTING TO BE TURF	X (NO TURF - 20% SEED)
MULCH	2 TYPES OF MULCH REQUIRED	X

Off-Street Parking Calculations				
Area	Sq. Ft	Specific Use Type	Rate	Minimum Off-Street Parking
South Warehouse Building	43,846	Production, ...handling of goods	1/1000 sq. ft	43.846
North Windshield Wash Building	16,748	As above	As above	16.748
Office	1,800	Office	1/300 sq. ft.	6
Lab	1,350	Testing Laboratory	1/500 sq. ft.	2.7

Per Table VIII in LDC Sec. 21-7233, Total Off-Street Spaces is 69.294.

Above Ground Storage Tank Development Summary		
Current Tank Location	11,000 Gal. fiberglass AST	None Present
Future Tank	As above, stainless steel with foundation modification.	5,000 Gal. stainless steel with foundation.
Increase in volume	0 Gal.	5,000 Gal.
All other ASTs remain unchanged.		

11/12/2019

PREPARED BY :

PAGE 1

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no.	date	by	ckd	description
		S		

Landscape Architect:  
**Galloway**

6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8894  
GallowayUS.com

Civil engineer:  
**BURNS  
MCDONNELL**

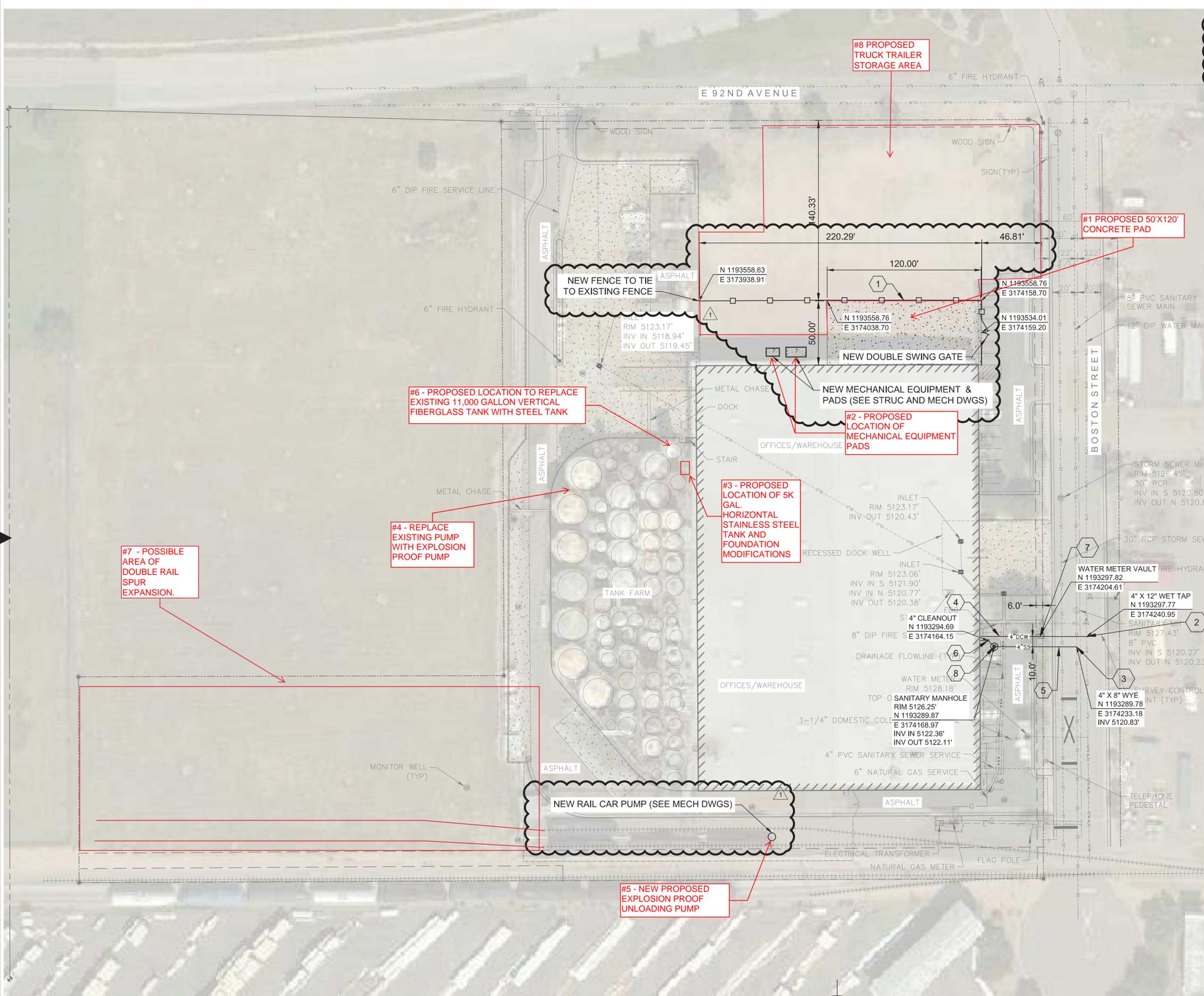
9785 MAROON CIRCLE  
SUITE 400  
CENTENNIAL, CO 80112

Owner:



9155 BOSTON STREET  
HENDERSON, CO 80640

CITY COUNCIL CERTIFICATE  
Approved by the City Council of Commerce City, this  
\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_  
\_\_\_\_\_  
City Signature



- KEYED NOTES:**
- 1 CONSTRUCT CONCRETE EQUIPMENT PAD WITH PERIMETER 8-FOOT WOOD PICKET FENCE, AND MATCHING 16-FOOT MANUAL DOUBLE SWING GATE. SEE FENCE DETAILS 2 & 3/CS500. SEE STRUCTURAL PLANS FOR PAD DETAIL.
  - 2 CONNECT TO EXISTING 12" WATER MAIN PER DETAIL 1/CS500.
  - 3 CONNECT TO EXISTING 8" SANITARY SEWER MAIN PER DETAIL S-8/CS501.
  - 4 NEW 4" PVC C900 CL-150 DCW LINE TO BLDG. PER DETAILS G-4/CS500 AND WP-3/CS501.
  - 5 NEW 4" PVC SDR-35 SANITARY SEWER LINE TO BLDG. PER DETAIL G-4/CS500.
  - 6 NEW 4" SEWER CLEANOUT PER DETAIL S-9/CS501.
  - 7 NEW METER VAULT PER DETAIL W-11/CS500.
  - 8 NEW SANITARY SAMPLING MANHOLE PER DETAIL S-3/CS501.

- NOTES TO CONTRACTOR**
1. VERIFY IN THE FIELD THE EXACT LOCATION AND SIZE OF THE POINTS OF CONNECTION BETWEEN NEW AND EXISTING UTILITIES PRIOR TO ORDERING PROPOSED UTILITY EQUIPMENT.
  2. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN. BEFORE STARTING ANY WORK, LOCATE AND PROTECT ALL EXISTING UTILITY LINES DURING THE COURSE OF CONSTRUCTION WHETHER OR NOT SHOWN ON THESE DRAWINGS.
  3. PROPOSED UTILITIES TO ALL NEW BUILDINGS SHALL STOP AT 5' OUTSIDE NEW BUILDINGS ENVELOPE. SEE FIRE PROTECTION PLANS, ELECTRICAL PLANS AND PLUMBING PLANS FOR CONTINUATION.

- UTILITY NOTES:**
1. ALL PIPE SIZES ARE IN INCHES UNLESS NOTED OTHERWISE.
  2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL BUILDING CONNECTIONS WITH INFORMATION PROVIDED ON MECHANICAL AND ELECTRICAL DRAWINGS.
  3. A MINIMUM COVER OF 54 INCHES SHALL BE PROVIDED OVER TOP OF UTILITIES.
  4. THRUST BLOCKS ARE REQUIRED AT ALL TEES, BENDS, OR ELBOWS OF PRESSURIZED PIPING PER DETAIL W-7/CS500.

no.	date	by	ckd	description
0	7/27/18	NT	NT	ISSUED FOR CONSTRUCTION
1	8/30/18	NT	NT	ISSUED FOR ADDENDUM

date	detailed
04/13/18	B. MOSER
designed	checked
B. MOSER	N. TESSITORE

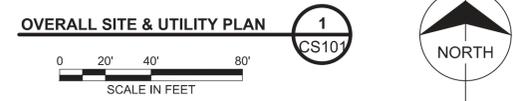
**BURNS MEDONNELL**  
 9785 MAROON CIRCLE  
 SUITE 400  
 CENTENNIAL, CO 80112

**Crystal**  
 9155 BOSTON STREET  
 HENDERSON, CO 80650

**RELOCATION & TENANT IMPROVEMENT OVERALL SITE & UTILITY PLAN**

project	contract
106123	
drawing	rev.
CS101_19112	1
sheet	of sheets
106123_CS101.DWG	

CITY COUNCIL CERTIFICATE  
 Approved by the City Council of Commerce City, this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_  
 City Signature \_\_\_\_\_



Scale For Microfitting  
 Millimeters

Inches

5/30/2018 12:52:30 PM  
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CRYSTAL PACKAGING  
CONDITIONAL USE PERMIT - LANDSCAPE PLANS  
SE CORNER OF BOSTON STREET & E. 92ND AVENUE  
HENDERSON, COLORADO

Table with 4 columns: #, Date, Issue / Description, Init. It contains a list of revision entries.

Project No: CP100001  
Drawn By: EVR  
Checked By: ARK  
Date: 03/20/2019

EROSION CONTROL  
DETAILS  
C3.3

EROSION AND SEDIMENT CONTROL (ESC) GENERAL NOTES. Includes diagrams for Check Dam, Compost Blanket, and Compost Filter Berm. Includes a table for Compost Blanket and Compost Filter Berm parameters.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-01, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 1 of 14.

EROSION AND SEDIMENT CONTROL. Includes diagrams for Dewatering, Diversion Ditch, and Construction Fence. Includes a table for Construction Fence parameters.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-02, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 2 of 14.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-03, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 3 of 14.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-04, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 4 of 14.

EROSION AND SEDIMENT CONTROL (ESC) GENERAL NOTES. Includes diagrams for Concrete Washout Area, Construction Fence, and Construction Markers. Includes a table for Construction Fence parameters.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-01, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 1 of 14.

EROSION AND SEDIMENT CONTROL. Includes diagrams for Concrete Washout Area, Construction Fence, and Construction Markers. Includes a table for Construction Fence parameters.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-02, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 2 of 14.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-03, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 3 of 14.

COMPUTER FILE INFORMATION, APPROVAL, CITY OF COMMERCE CITY, EROSION & SEDIMENT CONTROL, DETAIL NO. 800-04, ENGINEERING CONSTRUCTION STANDARDS, Sheet No. 4 of 14.















**IRRIGATION LEGEND**

SYMBOL	MANUF.	MODEL NO.	DESCRIPTION	REMARKS/DETAIL
<b>CONTROLLERS AND SENSORS</b>				
[A]	HUNTER	I-CORE 10 STATION	IRRIGATION CONTROLLER TO BE A HUNTER IC-1000-M, WITHIN METAL VANDAL RESISTANT LOCKABLE PEDESTAL CABINET. IRRIGATION CONTROLLER TO BE LOCATED AS DIRECTED BY OWNER OR OWNERS REPRESENTATIVE.	DETAIL 1 / IR1.3
[S]	HUNTER	SOLAR-SYNC	ET/RAIN/FREEZE SENSOR - MOUNT PER DETAIL AND PLAN LOCATION	DETAIL 4 / IR1.3
<b>POINT OF CONNECTION</b>				
[C]	PER CITY OR WATER DISTRICT CODES AND STANDARDS		3/4" POINT OF CONNECTION, REFERENCE CIVIL PLANS FOR TAP LOCATION.	SEE P.O.C. DIAGRAM THIS SHEET
[M]	PER CITY OR WATER DISTRICT CODES AND STANDARDS		IRRIGATION METER, REFERENCE CIVIL PLANS FOR METER LOCATION.	SEE P.O.C. DIAGRAM THIS SHEET
[N]	FEBCO	MODEL 825YA	3/4" BACKFLOW PREVENTER MOUNT IN GUARDSHACK MODEL HGS-1 W/ FROST GUARD BAG MODEL #FG-1 FOR WINTERIZATION. SEE POINT OF CONNECTION SCHEMATIC DIAGRAMS	DETAIL 2 / IR1.3
<b>VALVES</b>				
[MV]	HUNTER	IBV-101G-FS	3/4" MASTER VALVE	DETAIL 16 / IR1.3
[F]	HUNTER	FLOW-SYNC	3/4" HFS FLOW SENSOR WITH FCT SCHEDULE 40 RECEPTACLE TEE	DETAIL 12 / IR1.3
[R]	HUNTER	ICV-FS-ADJ	REMOTE CONTROL VALVE, SIZE PER PLAN. ADJUST PRESSURE REGULATOR BETWEEN 60-55PSI. GROUP VALVES TO FIT WITHIN WATER SCHEDULES/MAXIMIZE AVAILABLE GPMS.	DETAIL 3 / IR1.3
[R]	RAINBIRD	XCZ-100-PRB-COM (0.3-20 GPM)	DRIP CONTROL ZONE KITS (24 VAC-60Hz)-IRRIGATION CONTRACTOR TO VERIFY DRIP ZONES PRESSURE REQUIREMENTS AND USE VALVE REGULATOR FOR HIGH PRESSURES. GROUP VALVES TO FIT WITHIN WATER SCHEDULES/MAXIMIZE AVAILABLE GPMS.	DETAIL 5 / IR1.3
[QC]	HUNTER	HQ-44-LRC	1" QUICK COUPLER WITH LOCK	DETAIL 9 / IR1.3
[FV]	HUNTER	AFV-B	AUTOMATIC FLUSH VALVE WITH BARB CONNECTION.	DETAIL 13 / IR1.3
[W]	WATTS	WGV-X	GATE VALVE, SEE POINT OF CONNECTION SCHEMATIC DIAGRAMS	DETAIL 7 / IR1.3
[V]	ANY APPROVED	ANY APPROVED	PVC BALL VALVE - SIZE PER MAINLINE SIZE	DETAIL 11 / IR1.3
<b>MAIN LINE/ LATERALS &amp; SLEEVES</b>				
[M]	ANY APPROVED		PRESSURIZED PVC MAINLINE - 1-1/2" CLASS 200 PVC PIPE UNLESS OTHERWISE NOTED ON THE PLANS	DETAIL 10 / IR1.3
[L]	ANY APPROVED		LATERAL LINE - USE CLASS 200 PVC, SIZE 1"-INCH SIZE UNLESS OTHERWISE NOTED ON THE PLANS. INSTALL ANTI-FREEZE DRAINS AT LOW POINTS	DETAIL 10 / IR1.3
[S]	ANY APPROVED		IRRIGATION SLEEVE - SCHEDULE 40 PVC TWICE THE SIZE OF THE PIPE TO BE INSERTED, ONE SLEEVE PER PIPE	DETAIL 10 / IR1.3
[W]	ANY APPROVED		CONTROL WIRING SLEEVE - 2" SCHEDULE 40 PVC PIPE (SEE WIRING/SPLICING/SLEEVE NOTE, THIS SHEET)	DETAIL 10 / IR1.3

SYMBOL	MANUF.	MODEL NO.	DESCRIPTION	REMARKS/DETAIL
<b>ROTORS &amp; SPRAY HEADS</b>				
[R]	HUNTER	PROS-06-CV/MP1000-90 (TURF) PROS-12-CV/MP1000-90 (SEED)	MP ROTATOR-QUARTER	MAROON 8'-13" 0.16 40 DETAIL 15 / IR1.3
[R]	HUNTER	PROS-06-CV/MP1000-90 (TURF) PROS-12-CV/MP1000-90 (SEED)	MP ROTATOR-135°	MAROON 8'-13" 0.24 40 DETAIL 15 / IR1.3
[R]	HUNTER	PROS-06-CV/MP1000-90 (TURF) PROS-12-CV/MP1000-90 (SEED)	MP ROTATOR-HALF	MAROON 8'-13" 0.32 40 DETAIL 15 / IR1.3
[R]	HUNTER	PROS-06-CV/MP1000-360 (TURF) PROS-12-CV/MP1000-360 (SEED)	MP ROTATOR-FULL	OLIVE 8'-13" 0.65 40 DETAIL 15 / IR1.3
[R]	HUNTER	PROS-06-CV/MP2000-90 (TURF) PROS-12-CV/MP2000-90 (SEED)	MP ROTATOR-QUARTER	BLACK 14'-19" 0.33 40 DETAIL 15 / IR1.3
[R]	HUNTER	PROS-06-CV/MP2000-90 (TURF) PROS-12-CV/MP2000-90 (SEED)	MP ROTATOR-135°	BLACK 14'-19" 0.48 40 DETAIL 15 / IR1.3
[R]	HUNTER	PROS-06-CV/MP2000-90 (TURF) PROS-12-CV/MP2000-90 (SEED)	MP ROTATOR-HALF	BLACK 14'-19" 0.63 40 DETAIL 15 / IR1.3
[R]	HUNTER	PROS-06-CV/MP2000-360 (TURF) PROS-12-CV/MP2000-360 (SEED)	MP ROTATOR-FULL	RED 14'-19" 1.27 40 DETAIL 15 / IR1.3

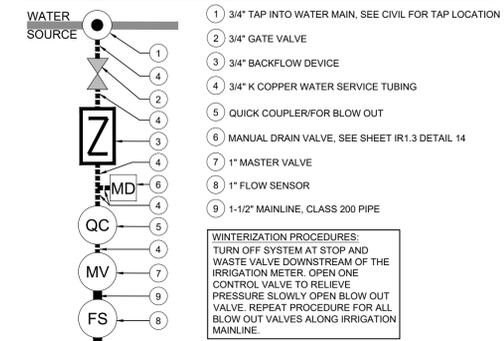
**SPRAY NOTES:**  
1. CONTRACTOR SHALL USE RADIUS REDUCTION SCREWS ON MP ROTATORS AS NECESSARY TO ACHIEVE APPROPRIATE RADII COVERAGE.

LAYOUT AREA	RAINBIRD	FOR LANDSCAPE BED AREAS - XBS-XXX	XERI BLACK STRIPE POLY TUBING (OR APPROVED EQUAL). CONNECTION TO PVC LATERAL PER CONTRACTOR. ATTACH TREE & SHRUB DRIP EMITTERS PER THE EMITTER SCHEDULE BELOW. USE 3/4"-INCH POLY TUBING SIZE UNLESS OTHERWISE NOTED. FLOWS IN GPM FOR LINE CHANGES SHALL BE: (3/4"-1 TO 7 GPM), (1"-8 TO 14 GPM), (1-1/2"-15 TO 35 GPM). INSTALL SEVERAL IN-LINE CHECK VALVES IN ZONES W/ LARGE ELEVATION DIFFERENCES. GROUP DRIP CONTROLLER VALVES TOGETHER TO MAXIMIZE WATER WINDOWS.	DETAIL 8 / IR1.3
[PV]	HUNTER	AFV-B	AUTOMATIC FLUSH VALVE WITH BARB CONNECTION.	DETAIL 13 / IR1.3
[D]	DRIP EMITTER SCHEDULE	PLANTS, 1 GALLON AND SMALLER: PLANTS, 5 GALLON: UPRIGHT JUNIPERS, 10-15 GALLON: TREES, 1" TO 2-1/2" CALIPER: TREES, 3" TO 4" CALIPER:	1, XB-10PC - (1 GPH) EMITTER PER PLANT 2, XB-10PC - (2 GPH) EMITTERS PER PLANT 3, XB-10PC - (3 GPH) EMITTERS PER TREE 4, XB-10PC - (4 GPH) EMITTERS PER TREE 7, XB-10PC - (7 GPH) EMITTERS PER TREE	---

**IRRIGATION CONTROLLER 'A'**

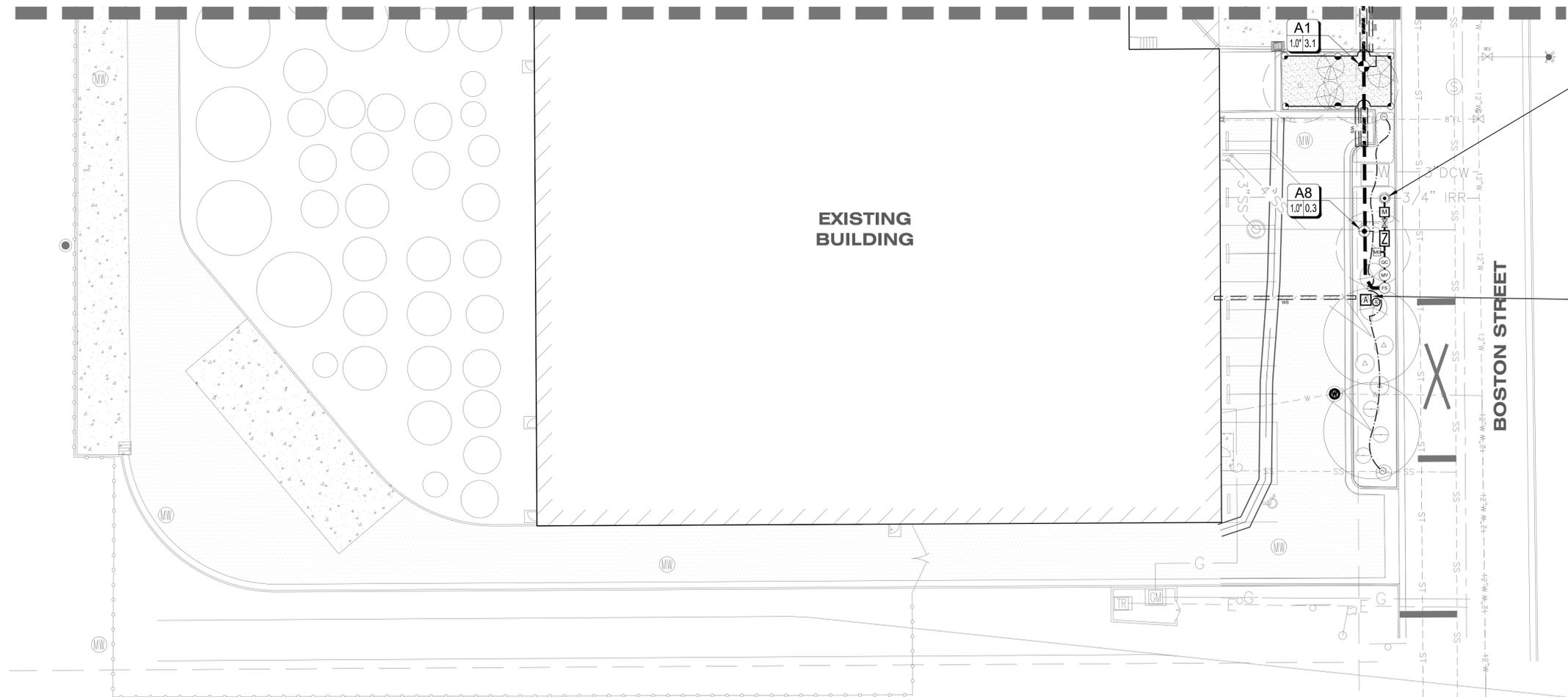
VALVE NUMBER	A1	A2	A3	A4	A5	A6	A7	A8	A9	A10
VALVE SIZE	1.0"	1.0"	1.0"	1.0"	1.0"	1.0"	1.0"	1.0"	1.0"	OPEN
G.P.M.	3.1	4.6	8.2	8.0	7.3	1.9	1.7	0.3	OPEN	OPEN
OPERATION PSI	40	40	40	40	40	40	40	40	OPEN	OPEN
ZONE TYPE	ROTATOR	ROTATOR	ROTATOR	ROTATOR	ROTATOR	DRIP	DRIP	DRIP	OPEN	OPEN

**TYPICAL POINT OF CONNECTION SCHEMATIC DIAGRAM**



**CAUTION**  
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

MATCHLINE: SEE SHEET IR1.1



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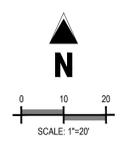
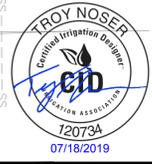
**CRYSTAL PACKAGING**  
**CONDITIONAL USE PERMIT - LANDSCAPE PLANS**  
**SE CORNER OF BOSTON STREET & E. 92ND AVENUE**  
**HENDERSON, COLORADO**

#	Date	Issue / Description	Init.
1.	4/10/19	ADD FENCE IN YARD	TDN

Project No: CP100001  
Drawn By: TDN  
Checked By: TDN  
Date: 03/20/2019

IRRIGATION PLAN

**IR1.2**



I:\Client Packaging\CD\_Henderson\CRSD\_Plan\IR1.2.dwg, Title: New, 7/18/2019

