SP CROSSING AT 7190 COLORADO BOULEVARD

PUD DEVELOPMENT PERMIT

SUBDIVISION SOUTH PLATTE CROSSING, TOWNSHIP 3 SOUTH, NORTHWEST QUARTER OF SECTION 6, RANGE 67 WEST OF THE 6TH P.M. STATE OF COLORADO, COUNTY OF ADAMS, CITY OF COMMERCE CITY

LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESETS THAT ADAMS TOWER NP CENTER LLC BEING THE (OWNER) OF THAT PART OF THE ENTIRE PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 6. TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT: BEGINNING AT BASIS OF BEARING: THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY. COUNTY OF ADAMS, STATE OF COLORADO, AS NOTED ON THE "COLO CON SUBDIVISION" RECORDED OCTOBER 19, 1971 UNDER RECEPTION NO. 938931 OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE. COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 6; THENCE NORTH 89°55'00' EAST ALONG THE NORTH LINE OF SAID NORTHWEST 1/4, A DISTANCE OF 512.40 FEET TO A POINT THAT IS THE NORTHEAST CORNER OF PLOT 5 OF ADAMS COUNTY POULTRY FARMS, RECORDED MARCH 19, 1923 UNDER RECEPTION NO. 90239 IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE; THENCE SOUTH 00°02'30" EAST ALONG THE EAST LINE OF SAID PLOT 5, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING. SAID POINT IS ALSO THE NORTHEAST CORNER OF COLO CON SUBDIVISION, A RESUBDIVISION OF SAID PLOT 5, RECORDED OCTOBER 19, 1971 UNDER RECEPTION NO. 938931 OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE: THENCE SOUTH 00°02'30" EAST. CONTINUING ALONG SAID EAST LINE A DISTANCE OF 597.78 FEET TO A POINT THAT IS 664 FEET NORTH OF THE SOUTHEAST CORNER OF PLOT 7 AND ON THE EAST LINE OF PLOT 7 OF SAID ADAMS COUNTY POULTRY FARMS PLAT: THENCE SOUTH 89°55'00" WEST, PARALLEL WITH THE SOUTH LINE OF SAID PLOT 7, A DISTANCE OF257.80 FEET, TO A POINT THAT IS ON THE WEST LINE OF SAID PLOT 7 AND 664 FEET NORTH OF THE SOUTHWEST CORNER OF SAID PLOT 7; THENCE NORTH 00°02'30" WEST ALONG THE WEST LINE OF SAID PLOT 7. A DISTANCE OF 176.00 FEET. TO A POINT THAT IS THE NORTHWEST CORNER OF SAID PLOT 7: THENCE SOUTH 89°55'00" WEST, ALONG THE SOUTH LINE OF SAID PLOT 5 OF SAID ADAMS COUNTY POULTRY FARMS PLAT, A DISTANCE OF 214.32 FEET TO A POINT THAT IS ON THE EASTERLY RIGHT OF WAY OF STATE HIGHWAY NO. 2. AS STATED IN THE LEGAL DESCRIPTION OF SAID COLO CON SUBDIVISION: THENCE ALONG THE SAID RIGHT OF WAY AS NOTED ON SAID COLO CON SUBDIVISION THE FOLLOWING THREE COURSES:

- NORTH 25°28'53" EAST, A DISTANCE OF 245.25 FEET;
- NORTH 37°33'00" EAST. A DISTANCE OF 2.70 FEET TO A POINT OF NON-TANGENT CURVE: ALONG THE ARC OF A CURVE TO THE LEFT WHOSE RADIUS POINT BEARS NORTH 53°03'09" WEST, HAVING A DELTA OF 13°01'42", A RADIUS OF 1015.00 FEET, A DISTANCE OF 230.40 FEET TO A POINT THAT IS 30.00 FEET SOUTH, BY PERPENDICULAR MEASUREMENT, OF THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 6: THENCE NORTH 89°55'00" EAST. PARALLEL WITH SAID NORTH LINE, A DISTANCE OF 248.00 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF

COLORADO. CONTAINING 198,701 SQUARE FEET OR 4.562 ACRES OF LAND, MORE OR LESS.

KNOW ALL MEN BY THESE PRESETS THAT ADAMS TOWER NP CENTER LLC BEING THE (OWNER) OF THAT PART OF THE REMAINDER PROPERTY PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 6. TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT: BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD WHENCE THE NORTHWEST CORNER OF SECTION 6 BEARS N26°04'52"W, 296.71 FEET, SAID POINT BEING THE POINT OF BEGINNING: THENCE ALONG THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD FOR THE NEXT THREE (3) COURSES:

- 1) N25°03'03"E, 41.14 FEET;
- N37°07'10"E. 2.70 FEET TO A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1.015.00 FEET. AND A LONG CHORD OF N30°00'10"E. 230.30 FEET
- 2) NORTHEASTERLY, A DISTANCE OF 230.80 FEET ALONG SAID NON-TANGENT CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 13°01'42" TO THE SOUTHERLY RIGHT-OF-WAY LINE OF 72ND **AVENUE:**

THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF 72ND AVENUE, N89°29'10"E, 248.00 FEET TO THE NORTHEAST CORNER OF COLO CON SUBDIVISION, A RESUBDIVISION OF SAID PLOT 5, AS RECORDED OCTOBER 19, 1971 UNDER RECEPTION NO. 938931 OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE: THENCE ALONG SAID EAST LINE OF SAID COLOCON SUBDIVISION, S00°28'20"E 597.78 FEET TO A POINT THAT IS 664 FEET NORTH OF THE SOUTHEAST CORNER OF PLOT 7 AND ON THE EAST LINE OF PLOT 7 OF SAID ADAMS COUNTY POULTRY FARMS PLAT; THENCE S89°29'10"W, 257.80 FEET PARALLEL WITH THE SOUTH LINE OF SAID PLOT 7, A DISTANCE OF257.80 FEET, TO A POINT THAT IS ON THE WEST LINE OF SAID PLOT 7 AND 664 FEET NORTH OF THE SOUTHWEST CORNER OF SAID PLOT 7; THENCE ALONG THE WEST LINE OF SAID PLOT 7, N00°28'20"W, 176.00 FEET; THENCE N89°29'10"E, 28.44 FEET; THENCE N00°30'50"W, 175.02 FEET; THENCE S89°29'10"W, 135.25 FEET; THENCE N65°24'34"W, 21.46 FEET TO THE POINT OF BEGINNING. CONTAINING 163,431 SQUARE FEET OR 3.752 ACRES, MORE OR LESS.

KNOW ALL MEN BY THESE PRESETS THAT ADAMS TOWER NP CENTER LLC BEING THE (OWNER) OF THAT PART OF THE WITHDRAWAL PROPERTY PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT: BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD. WHENCE THE NORTHWEST CORNER OF SECTION 6 BEARS N26°04'52"W. 296.71 FEET SAID POINT BEING THE POINT OF BEGINNING: THENCE S65°24'34"E, 21.46 FEET; THENCE N89°29'10"E, 135.25 FEET; THENCE S00°30'50"E, 175.02 FEET; THENCE S89°29'10"W, 28.44 FEET TO THE NORTHEAST CORNER OF PLOT 6, ADAMS CITY POULTRY FARMS; THENCE S89°29'10"W, 214.32 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF COLORADO BLVD; THENCE ALOGN THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD, N25°03'03"E, 204.11 FEET TO THE POINT OF BEGINNING. CONTAINING 35,270 SQUARE FEET OR 0.810 ACRES, MORE OR LESS.



IN	INDEX OF SHEETS			
DRAWING NO.	DRAWING DESCRIPTION			
01	COVER SHEET			
02	GENERAL NOTES			
03	DEMO PLAN			
04	SITE PLAN			
05	GRADING PLAN			
06	UTILITY PLAN			
07	DRAINAGE PLAN			
A80	FIRST FLOOR PLAN			
09A	LEVEL TWO FLOOR PLAN			
10A	LEVEL THREE & FOUR FLOOR PLAN			
11A	EXTERIOR ELEVATIONS			
12A	EXTERIOR ELEVATIONS			
13A	EXTERIOR ELEVATIONS			
14	LANDSCAPE NOTES & LEGEND			
15	LANDSCAPE PLAN			
16	LANDSCAPE DETAILS			
17	LANDSCAPE DETAILS			
18P	PHOTOMETRIC PLAN			
19P	PHOTOMETRIC DETAILS			

INDEV OF CHEETO

VICINITY MAP

SCALE 1" = 200'

BASIS OF BEARINGS

BEARINGS USED HEREIN ARE BASED ON THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 6, BEING N89°28'39"E, AS MONUMENTED AT THE WEST BY THE NORTHWEST CORNER OF SECTION 6 TOWNSHIP 3 SOUTH, RANGE 67W, OF THE 6TH P.M. FOUND 3.25" ALUMINUM CAP, PLS 24673 IN RANGE BOX. AND MONUMENTED AT THE EAST BY THE NORTH QUARTER CORNER OF SECTION 6 TOWNSHIP 3 SOUTH, RANGE 67W, OF THE 6TH P.M.FOUND 3.25" ALUMINUM CAP. ILLEGIBLE IN RANGE BOX.

BENCHMARK

COUNTY OF ADAMS BENCHMARK 257, BEING A ROD IN MONUMENT BOX. WEST SIDE OF COLORADO BLVD. NORTH OF EAST 64TH AVE... HAVING AN ELEVATION OF 5143.49 FEET (NAVD 88).

PUD

THIS PROJECT IS A PART OF THE SP CROSSING PUD ZONE DOCUMENT, CASE NUMBER Z-966-21, RECEPTION NUMBER 2021000030031.

ASSESSOR'S PIN

0182306205030

PROJECT TEAM

OWNER

ADAMS TOWER NP CENTER LLC 1600 DOWNING STREET. SUITE 300 **DENVER. CO 80218** CONTACT: MARK S. MARSHALL 303.585.0460

ENGINEER

WILSON AND COMPANY 1675 BROADWAY, SUITE 200 **DENVER, CO 80022** CONTACT: KYLE M. GODWIN 303.297.2976

ARCHITECT

CHRISTOPHER CARVELL ARCHITECTS 3461 RINGSBY COURT, SUITE 310 DENVER. CO 80216 CONTACT: CHRISTOPHER CARVELL 720.689.2333

LANDSCAPE ARCHITECT

BRITINA DESIGN GROUP 1615 CALIFORNIA STREET, SUITE 411 DENVER, CO 80202 CONTACT: ROBERT COURI 303.456.2887

SURVEYOR

WILSON AND COMPANY 1675 BROADWAY, SUITE 200 DENVER, CO 80022 CONTACT: DOUGLAS H. ORT III 303.297.2976

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY. THIS DAY OF

01 OF 19

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON &COMPANY

990 S. BROADWAY, SUITE 220 **DENVER, CO 80209** 303.297.2976 KYLE.GODWIN@WILSONCO.COM





90

C

NUMBER	DATE	ISSUE
ARCHITEC	CT	
	CHDIST	

DESIGNER WILSON & COMPANY

11/11/2022 JOB NUMBER

20-600-407-00 DRAWN BY

KMG

CHECKED BY

COVER SHEET

GENERAL NOTES - CONSTRUCTION

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST "STANDARDS AND SPECIFICATIONS FOR DESIGN AND COMPACTED TO 100% PROCTOR AFTER OF PUBLIC IMPROVEMENTS" BY COMMERCE CITY. COPIES OF THE COMMERCE CITY STANDARDS AND SPECIFICATIONS MAY BE OBTAINED FROM THE CITY WEB SITE. CONTRACTOR SHALL HAVE A SET ON SITE AT ALL TIMES
- 2. THE OWNER SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COMMERCE CITY STAFF AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THOSE IN ATTENDANCE SHALL INCLUDE THE OWNER. HIS ENGINEER, THE COMMERCE CITY ENGINEERING STAFF, REPRESENTATIVES OF THE CONTRACTORS AND OTHER AFFECTED AGENCIES. PLANS SIGNED AND ACCEPTED BY COMMERCE CITY WILL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING. CONTRACTOR SHALL HAVE (1) COPY OF THE SIGNED PLANS ON SITE AT ALL TIMES.
- 3. COMMERCE CITY, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. THE OWNER AND DESIGN ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR 10. THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THE DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THE DOCUMENT. REPORT ALL DISCREPANCIES TO THE DESIGN ENGINEER IMMEDIATELY
- 4. PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY/ALL WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS AS NECESSARY. A COPY OF ALL AGREEMENTS SHALL BE PROVIDED TO THE TOWN. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT
- . ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE COMMERCE CITY ENGINEERING STAFF. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO CITY STANDARDS AND SPECIFICATIONS. INSPECTIONS AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE BY THE CITY ENGINEERING STAFF OR THE CONTRACTORS "CONTRACTUAL COMMITMENT. REQUESTS FOR INSPECTION BY COMMERCE CITY SHALL BE MADE BY THE CONTRACTOR A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE.
- CONSTRUCTION WATER IS AVAILABLE TO THE CONTRACTOR AS ESTABLISHED IN THE COMMERCE CITY STANDARDS AND SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT COMMERCE CITY REGARDING

3. UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD

- CURRENT REGULATIONS. FEES. AND REQUIRED AGREEMENTS RELATED TO THE PROVISION OF CONSTRUCTION WATER. 7. THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE AFFECTED UTILITY COMPANIES AND SHALL NOTIFY THE UTILITY NOTIFICATION CENTER, PHONE NUMBER 811, FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE COMMERCE CITY ENGINEERING STAFF AND DESIGN ENGINEER PRIOR TO PROCEEDING.
- 9. THE CONTRACTOR SHALL NOTIFY THE COMMERCE CITY ENGINEERING STAFF OF ANY PROBLEM IMPACTING WATER AND WASTE WATER FACILITIES THAT WOULD POTENTIALLY REQUIRE A VARIANCE FROM THE APPROVED PLANS AND SPECIFICATIONS. ANY VARIANCE FROM THE APPROVED DOCUMENTS SHALL BE AT THE SOLE DISCRETION OF THE
- COMMERCE CITY ENGINEERING STAFF. 10. CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE SPECIFICATIONS AND PERMITS NECESSARY TO
- PERFORM THE PROPOSED WORK. 11. AS-BUILT DRAWINGS AND A CD INCLUDING AUTOCAD AND PDF FILES, AS REQUIRED IN THE SPECIFICATIONS, ARE TO BE SUBMITTED BY THE OWNER/DEVELOPER PRIOR TO SUBSTANTIAL COMPLETION/CONSTRUCTION ACCEPTANCE OF THE
- CONSTRUCTION. 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ANY EXISTING SIGNS, STRUCTURES, FENCES, ETC., ENCOUNTERED ON THE JOB AND RESTORING THEM TO THEIR ORIGINAL CONDITION.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR: 13.1. NOTIFYING THE COMMERCE CITY UTILITY CUSTOMERS OF POTENTIAL SERVICE OUTAGES, AND COORDINATE WITH COMMERCE CITY FOR DETERMINATION OF MINIMUM TIME REQUIREMENT.
- NOTIFYING THE COMMERCE CITY ENGINEERING STAFF IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL
- START-UP. THE CONTRACTOR SHALL NOTIFY THE CITY FORTY-EIGHT (48) HOURS PRIOR TO RESTART. IN THE EVENT OF AN AFTER HOURS EMERGENCY, CALL CCC.
- NOTIFYING THE FIRE PROTECTION DISTRICT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TAKEN OUT OF SERVICE A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- 14. PRIOR TO INSTALLATION OF UTILITY MAINS, ROAD CONSTRUCTION MUST HAVE PROCESSED TO AT LEAST THE "SUB-GRADE"
- STAGE. 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE
- CONSTRUCTION OF ANY PORTION OF THIS PROJECT. A CONSTRUCTION DEWATERING PERMIT MUST BE OBTAINED FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE). GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION OF ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THE PLANS. THE USE OF ANY SANITARY SEWER TO DISPOSE OF TRENCH WATER WILL NOT BE PERMITTED. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AND AGREED UPON BY THE CONTRACTOR, COMMERCE CITY, AND THE DESIGN ENGINEER AT THE TIME OF OCCURRENCE.
- 16. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO RESOLVE CONSTRUCTION PROBLEMS WITH COMMERCE CITY DUE TO CHANGED CONDITIONS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE CITY, PROPOSED ALTERATIONS TO THE SIGNED CONSTRUCTION PLANS INVOLVES SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO COMMERCE CITY FOR REVIEW, PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK
- 17. DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. COMMERCE CITY OR THE DESIGN ENGINEER EXERCISE NO CONTROL OVER THE 31. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS WHICH MAY ENTER WATERS OF THE STATE OF COLORADO WHICH SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGN ENGINEER OR THE CITY. THE COMMERCE CITY ENGINEERING, OR ANY CONTRACTED ENGINEER, ARE NOT RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
- 18. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE
- MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC. 19. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FOR ANY PROJECT DISTURBING OVER ONE ACRE FROM BOTH THE COLORADO DEPARTMENT OF
- PUBLIC HEALTH AND COMMERCE CITY. 20. EACH TYPE OF CONSTRUCTION SHALL BE COMPLETED BY A CONTRACTOR THAT HAS DEMONSTRATED ACCEPTABLE
- QUALIFICATIONS TO THE CITY AND IS A LICENSED CONTRACTOR IN COMMERCE CITY 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION. ALL TRAFFIC CONTROLS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) LATEST EDITION. A PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.
- 22. ALL BACKFILL SHALL CONFORM TO THE TRENCH DETAIL LOCATED IN THE COMMERCE CITY STANDARDS AND SPECIFICATIONS.
- 23. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS, OR MUD TRACKED ONTO EXISTING ROADWAYS.
- 24. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION. 25. THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED DURING HIS OPERATION. RENEWAL OF PAVEMENT STRIPING AND MARKING SHALL BE DONE IN CONFORMANCE WITH THE COMMERCE CITY STANDARD
- SPECIFICATIONS. 26. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY MEASURE NECESSARY TO COMPLY WITH ANY STATE,
- COUNTY OR CITY DUST CONTROL ORDINANCE. 27. CONSTRUCTION VEHICLES SHALL USE TRUCK ROUTES DESIGNATED BY THE CITY.
- 28. THE OWNER/DEVELOPER WILL BE HELP RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE IMPROVEMENTS FOR A MINIMUM OF TWO (2) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION/CONSTRUCTION ACCEPTANCE OF THE IMPROVEMENTS BY COMMERCE CITY. ANY FAILURE DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE OWNER/CONTRACTOR TO THE SATISFACTION OF COMMERCE CITY AT NO EXPENSE TO THE CITY
- 29. THE DESIGN ENGINEER SHALL PERFORM SUFFICIENT INSPECTIONS AND SURVEYS DURING GRADING AND CONSTRUCTION SO THAN AN OPINION CAN BE RENDERED AND VERIFIED IN WRITING AS TO COMPLIANCE WITH THE PLANS AND CODES WITHIN THE DESIGN ENGINEER'S PURVIEW.
- 30. THE SOILS ENGINEER SHALL PERFORM SUFFICIENT INSPECTIONS DURING GRADING AND CONSTRUCTION SO THAT AN OPINION CAN BE RENDERED AND VERIFIED IN WRITING AS TO COMPLIANCE WITH THE PLANS AND CODES WITHIN THE SOILS ENGINEER'S PURVIEW.

GENERAL NOTES - GRADING

- 1. GRADING PLAN IS FOR ROUGH GRADING ONLY. CHANGES MAY BE NECESSARY TO BRING PLANS INTO CONFORMANCE WITH APPROVED DRAINAGE AND SITE PLAN.
- 2. A WATER TRUCK SHALL BE KEPT ON-SITE TO CONTROL WIND EROSION AND DUST.
- 3. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE PREPARED IMMEDIATELY BY THE CONTRACTOR.
- 4. NO GRADING SHALL TAKE PLACE IN ANY DELINEATED FLOOD HAZARD AREA UNTIL THE FINAL DRAINAGE PLAN HAS BEEN APPROVED AND ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.
- 5. ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THIS DEVELOPMENT WILL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. UPON WRITTEN NOTICE BY THE CITY. FAILURE TO REMOVE THE MUD OR DEBRIS BY THE CONTRACTOR WITHIN 24 HOURS SHALL CAUSE TO THE CITY TO STOP ALL WORK UNTIL THE SITUATION IS RESOLVED.

- STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED AND A COPY SHALL BE SUBMITTED TO THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS.
- AREAS DISTURBED BY GRADING SHALL BE MULCHED AND RESEEDED WITH NATIVE VEGETATION OR AS APPROVED ON THE
- 8. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR SAFETY CONDITIONS ON AND ADJACENT TO THE SITE TWENTY FOUR (24) HOURS A DAY, SEVEN DAYS A WEEK
- CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST FORTY EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. (811 OR 1-800-922-1987) THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATED THE CITY OF COMMERCE CITY PUBLIC WORKS
- DEPARTMENT, ENGINEERING DIVISION, HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL COMPLIANCE WITH THE CITY'S STORMWATER QUALITY CONTROL CRITERIA. THE CITY ENGINEER, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY (OTHER THAN AS STATED ABOVE) FOR THE COMPLETENESS AND/OR ACCURACY OF THESE 14. SIDEWALKS AND DRIVEWAYS SHALL HAVE THE NAME OF THE CONTRACTOR AND THE YEAR OF CONSTRUCTION DOCUMENTS.
- 11. THE ADEQUACY OF THIS ESC PLAN LIES WITH THE ORIGINAL DESIGN ENGINEER 12. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. COMMERCE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE APPROVED
- PLANS 13. THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN ACCORDANCE WITH THE CITY APPROVED PLANS.
- 14. ANY VARIATION IN MATERIAL, TYPE OR LOCATION OF EROSION AND SEDIMENT CONTROL BMP'S FROM THE CITY APPROVED PLANS WILL REQUIRE APPROVAL FROM AN ACCOUNTABLE REPRESENTATIVE OF THE CITY OF COMMERCE
- CITY ENGINEERING DIVISION. 15. AFTER THE ESC PLAN HAS BEEN APPROVED, THE CONTRACTOR MAY INSTALL THE INITIAL-STAGE EROSION AND
- SEDIMENT CONTROL BMPS INDICATED ON THE ACCEPTED ESC PLAN. 16. THE FIRST BMP TO BE INSTALLED ON THE SITE SHALL BE CONSTRUCTION FENCE, MARKERS, OR OTHER APPROVED MEANS OF DEFINING THE LIMITS OF CONSTRUCTION, INCLUDING CONSTRUCTION LIMITS ADJACENT TO STREAM CORRIDORS AND OTHER AREAS TO BE PRESERVED.
- 17. AFTER INSTALLATION OF THE INITIAL-STAGE EROSION AND SEDIMENT CONTROL BMPS, THE PERMITTEE SHALL CALL THE PUBLIC WORKS AT 303-290-8150 TO SCHEDULE A PRECONSTRUCTION MEETING AT THE PROJECT SITE, THE REQUEST SHALL BE MADE A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE REQUESTED MEETING TIME. NO CONSTRUCTION ACTIVITIES SHALL BE PLANNED WITHIN 24 HOURS AFTER THE PRECONSTRUCTION MEETING.
- 18. THE ESC MANAGER SHALL BE CERTIFIED IN STORMWATER MANAGEMENT AND EROSION CONTROL AND DOCUMENTATION SHALL BE PROVIDED TO THE CITY.
- 19. THE OWNER OR OWNER'S REPRESENTATIVE, THE ESC MANAGER, THE GENERAL CONTRACTOR, AND THE GRADING SUBCONTRACTOR, IF DIFFERENT FROM THE GENERAL CONTRACTOR, MUST ATTEND THE PRECONSTRUCTION MEETING. IF ANY OF THE REQUIRED PARTICIPANTS FAIL TO ATTEND TO PRECONSTRUCTION MEETING, OR IF THE INSTALLATION OF THE INITIAL BMP'S ARE NOT APPROVED BY THE CITY ESC INSPECTOR, THE APPLICANT WILL HAVE TO PAY A REINSPECTION FEE, ADDRESS ANY PROBLEMS WITH BMP INSTALLATION, AND CALL TO RESCHEDULE THE MEETING WITH A CORRESPONDING DELAY IN THE START OF CONSTRUCTION. THE CITY STRONGLY ENCOURAGES THE APPLICANT TO HAVE THE ENGINEER OF RECORD AT THE PRECONSTRUCTION MEETING.
- 20. CONSTRUCTION SHALL NOT BEGIN UNTIL THE CITY ESC INSPECTOR APPROVES THE INSTALLATION OF THE INITIAL BMP'S AND THE GRADING PERMIT IS OBTAINED FROM PUBLIC WORKS.
- 21. THE ESC MANAGER SHALL STRICTLY ADHERE TO THE APPROVED LIMITS OF CONSTRUCTION AT ALL TIMES. THE CITY OF COMMERCE CITY ENGINEERING DIVISION MUST APPROVE ANY CHANGES TO THE LIMITS OF CONSTRUCTION AND, AT THE DISCRETION OF THE ENGINEERING DIVISION, ADDITIONAL EROSION/SEDIMENT CONTROLS MAY BE REQUIRED IN ANY ADDITIONAL AREAS OF CONSTRUCTION.
- 22. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS.
- 23. A COPY OF THE GRADING PERMIT AND APPROVED PLANS SHALL BE ON SITE AT ALL TIMES. 24. THE ESC MANAGER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE AND SHALL BE THE PERMITTEE'S CONTACT PERSON WITH THE CITY FOR ALL MATTERS PERTAINING TO THE GRADING PERMIT. THE ESC MANAGER SHALL BE PRESENT AT THE SITE THE MAJORITY OF THE TIME AND SHALL BE AVAILABLE THROUGH A 24-HOUR CONTACT NUMBER
- 25. THE ESC MANAGER IS RESPONSIBLE FOR CLEANUP OF SEDIMENT OR CONSTRUCTION DEBRIS TRACKED ONTO ADJACENT PAVED AREAS. PAVED AREAS, INCLUDING STREETS, ARE TO BE KEPT CLEAN THROUGHOUT BUILD-OUT AND SHALL BE CLEANED WITH A STREET SWEEPER OR SIMILAR DEVICE AT FIRST NOTICE OF ACCIDENTAL TRACKING OR AT THE DISCRETION OF THE CITY'S ESC INSPECTOR. STREET WASHING IS NOT ALLOWED. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES TO ENSURE AREA STREETS ARE KEPT FREE OF SEDIMENT AND/OR CONSTRUCTION DEBRIS.
- 26. THE APPROVED PLANS MAY REQUIRE CHANGES OR ALTERATIONS AFTER APPROVAL TO MEET CHANGING SITE OR PROJECT CONDITIONS OR TO ADDRESS INEFFICENCIES IN DESIGN OR INSTALLATION. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE THROUGH THE CITY APPROVED ACCESS POINTS. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL ACCESS POINTS ON THE SITE. ADDITIONAL STABILIZED CONSTRUCTION ENTRANCES MAY BE ADDED WITH AUTHORIZATION FROM THE COMMERCE CITY ENGINEERING DIVISION.
- 27. THE ESC MANAGER SHALL OBTAIN PRIOR APPROVAL FROM THE DESIGN ENGINEER AND COMMERCE CITY ENGINEERING DIVISION FOR ANY PROPOSED CHANGES.
- 28. NO PERMANENT EARTH SLOPED GREATER THAN 3:1 SHALL BE ALLOWED.
- 29. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE ESC MANAGER. THE ESC MANAGER SHALL BE HELD RESPONSIBLE FOR OBTAINING ACCESS RIGHTS TO ADJACENT PROPERTY, IF NEEDED, AND REMEDIATING ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- 30. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION. NO STOCKPILED SHALL BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGE WAY UNLESS APPROVED BY THE COMMERCE CITY ENGINEERING DIVISION.
- INCLUDE BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER AND DRY GULLIES OR STORM SEWER LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE CDPHE PER CRS 25-8-601, AND COMMERCE CITY. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER, SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT AS WELL AS THE CDPHE. SPILLS THAT POSE AN IMMEDIATE RISK TO HUMAN LIFE SHALL BE REPORTED TO 911. FAILURE TO REPORT AND CLEAN UP ANY SPILL SHALL RESULT IN ISSUANCE OF A STOP WORK ORDER. 32. THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED CONCRETE WASH OUT LOCATIONS
- ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED AT AN APPROPRIATE LOCATION. 33. COMMERCE CITY DOES NOT ALLOW HAY BALES AS A FORM OF EROSION AND SEDIMENT CONTROL.
- 34. ONCE THE SITE HAS REACHED FINAL STABILIZATION, A FINAL INSPECTION SHALL BE SCHEDULED WITH THE CITY'S ESC INSPECTOR. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED AND/OR THE GRADING BOND WILL NOT BE RELEASED UNTIL THE CITY'S ESC INSPECTOR APPROVES FINAL STABILIZATION.

GENERAL NOTES - EROSION AND SEDIMENT CONTROL PLAN

GENERAL NOTES AND DETAILS FOR THE EROSION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX C OF CITY OF COMMERCE CITY (DEPARTMENT OF PUBLIC WORKS: ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS. ALSO REFERENCE CHAPTER 8 FOR FURTHER INFORMATION.

GENERAL NOTES - ROADWAY

- 1. A CONSTRUCTION (STREET CUT) PERMIT FROM THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS IS REQUIRED PRIOR TO COMMENCING WORK WITHIN THE CITY RIGHT-OF-WAY.
- 2. ANY WORK WITHIN STATE HIGHWAY RIGHT-OF-WAY WILL REQUIRE A CDOT CONSTRUCTION PERMIT IN ADDITION TO A CITY
- 3. THE CONTRACTOR SHALL NOTIFY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION WITHIN THE RIGHT-OF-WAY AT TELEPHONE NUMBER (303) 289-8150.
- THE CONTRACTOR SHALL PROVIDE ALLSIGNS, BARRICADES, FLAG MEN, LIGHTS OR OTHER DEVICES NECESSARY FOR SAFE TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS MODIFIED BY THE COLORADO SUPPLEMENT TO THE MUTCD. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO THE
- ISSUANCE OF ANY CONSTRUCTION PERMIT FOR WORK WITHIN CITY RIGHT-OF-WAY. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT LEAST 48 HOURS PRIOR TO
- CONSTRUCTION. CALL 1-(800) 922-1987 OR 811. 6. CONSTRUCTION SPECIFICATIONS: CURRENT EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION HEREAFTER REFERRED TO AS STANDARD SPECIFICATIONS. SPECIAL PROVISIONS AND REVISIONS THERETO AND THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- THE SUBGRADE MATERIAL SHALL BE SCARIFIED OR REMOVED TO A DEPTH REQUIRED BY THE CITY OF COMMERCE CITY ACCORDING TO INFORMATION OBTAINED FROM LABORATORY TESTS AND/OR AS REQUIRED IN THE PAVEMENT DESIGN REPORT. ADDITIVES OR APPROVED MATERIAL MAY BE REQUIRED IF THE NATIVE MATERIAL IS UNSATISFACTORY. THE SUBGRADE SHALL BE COMPACTED TO A MINIMUM DENSITY DETERMINED IN ACCORDANCE WITH AASHTO DESIGNATION T180 OR T99 AND IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 203.07 (1991 EDITION OR NEWER).
- SERVICE TRENCHES AND UTILITY MAIN TRENCHES SHALL BE COMPACTED THROUGHOUT THE DEPTH OF TRENCH AS SPECIFIED IN ABOVE NOTE. EXACT EXTENT OF NEW PAVEMENT TO BE INSTALLED FOR A STREET CUT PATCH SHALL BE DETERMINED BY THE CITY CONSTRUCTION INSPECTOR UPON COMPLETION OF ROADWAY EXCAVATION. NEW PAVEMENT SHALL CONFORM TO EXISTING SOUND STRUCTURAL SECTION.

- PLACEMENT OF ASPHALT.
- 10. EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT. CSS-1H TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES, INCLUDING SAW CUTS, POTHOLES, TRENCHES AND ASPHALT OVERLAY.
- 11. STRUCTURAL SECTIONS SHALL BE AS APPROVED BY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS,
- WITH PAVEMENT DESIGN IN ACCORDANCE WITH THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- 12. CONCRETE MAY BE PLACED BY MACHINE METHODS PROVIDED THAT ALL FINISH LINES ARE WITHIN 1/8" TOLERANCE OF THE LINES SHOWN ON THE PLANS. THE FLOWLINE MUST BE FREE DRAINING.
- 13. ONE HALF (1/2) INCH EXPANSION JOINT MATERIAL SHALL BE INSTALLED WHEN ABUTTING ANY EXISTING CONCRETE OR A FIXED STRUCTURE.
- IMPRESSED THEREIN USING BLOCK LETTERS NOT LESS THAN (1) INCH HIGH AND THREE-EIGHTHS (3/8) INCH DEEP IN EACH DRIVEWAY AND EACH END OF CONSTRUCTION, OR A MINIMUM OF EVERY 150 LINEAL FEET OF SIDEWALK.
- 15. THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK BY THE CITY AND SHALL REPAIR OR REPLACE ANY OR ALL SUCH WORK. TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN SO DOING. THAT MAY PROVE DEFECTIVE IN WORKMANSHIP AND/OR MATERIALS WITHIN THE ONE YEAR PERIOD FROM DATE OF ACCEPTANCE WITHOUT EXPENSE WHATSOEVER TO THE CITY, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLECT EXPECTED. PRIOR TO INITIAL ACCEPTANCE OF PUBLIC IMPROVEMENTS, THE CITY MAY REQUIRE THE APPLICANT OR HIS CONTRACTOR TO FILE A MAINTENANCE BOND WITH THE CITY IN THE AMOUNT OF FIFTEEN (15) PERCENT OF THE ESTIMATED COST OF CONSTRUCTION OR AN AMOUNT ADEQUATE TO ENSURE THE SATISFACTORY MAINTENANCE AND CONDITION OF THE REQUIRED PUBLIC IMPROVEMENTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF THEIR FINAL ACCEPTANCE AND DEDICATION TO THE CITY.
- 16. NO PORTION OF ANY STREET SHALL BE PAVED WITH THE FINAL LIFT OF ASPHALT UNTIL ALL UTILITIES HAVE BEEN RELOCATED, INSTALLED OR STUBBED TO THE BACK OF SIDEWALK AND ALL STREET LIGHTS RELOCATED AS NECESSARY. 17. ANGLE POINTS IN THE CURB AND GUTTER AND ALL POINTS OF GRADE CHANGE NOT WITHIN A VERTICAL CURVE SHALL BE ROUNDED IN THE FIELD TO PRODUCE A SMOOTH GRADUAL CURVE FOR PROPER APPEARANCE.
- 18. SURVEY MONUMENTS. THE STANDARD SURVEY MONUMENT AS SHOWN IN DESIGN STANDARD DETAIL NO. 300-24 OR 300-25 WILL BE INSTALLED AT ALL SECTION AND QUARTER SECTION CORNERS. SURVEY MONUMENTS SHALL BE SET IN ACCORDANCE WITH THE COLORADO REVISED STATUES, AND AS REQUIRED BY THE BYLAWS AND RULES OF PROCEDURE OF THE COLORADO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS, ALL MONUMENTS SHALL BE SET WITHIN 60 DAYS OF COMPLETION OF STREETS, IF THE MONUMENTS ARE NOT INSTALLED, THE CITY SHALL HAVE THE WORK PERFORMED BY A REGISTERED LAND SURVEYOR AND MAKE A CLAIM AGAINST THE COLLATERAL FOR ALL COSTS INCLUDING ADMINISTRATION AND LEGAL FEES.
- 19. MYLAR COPIES OF "AS BUILT" PLANS SHALL BE SUBMITTED TO THE ENGINEERING DIVISION PRIOR TO INITIAL ACCEPTANCE OF IMPROVEMENTS.
- 20. NO REVISIONS TO THESE PLANS SHALL BE MADE WITHOUT THE APPROVAL OF BOTH THE CITY ENGINEER AND THE DESIGN ENGINEER. ANY REVISIONS OR CHANGES THERETO SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY REQUESTS FOR INSPECTION.
- 21. BENCHMARK, ALL ELEVATIONS SHOWN ON THESE PLANS FOR IMPROVEMENTS OR NOTED ELSEWHERE ARE REFERENCED TO THE BENCHMARK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENT OR BENCHMARK WHICH IS DESTROYED OR DISTURBED. DAMAGED MONUMENT SHALL BE RE-ESTABLISHED AND REPLACED BY A LICENSED LAND
- SURVEYOR AND A MONUMENT RECORD FILED AS REQUIRED. 22. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, AND THE CITY OF COMMERCE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THYE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE CITY OF COMMERCE CITY.
- 23. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATIONS WITH THE APPROPRIATE UTILITY COMPANY.
- 24. ADJUST RIM OF ALL CLEAN-OUTS, MANHOLES, VALVE CORNERS AND SURVEY MONUMENT COVERS TO FINISH GRADE. 25. THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO THE WORK THROUGHOUT PERIOD OF CONSTRUCTION. STREET NAME SIGN PLATES SHALL BE PROVIDED AND INSTALLED BY THE DEVELOPER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. COORDINATE WITH CITY OF COMMERCE CITY TRAFFIC ENGINEERING AT (303) 289-8150.
- 26. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN ENGINEER OF ANY PROBLEM IN CONFORMING TO THE APPROVED LINE AND GRADE FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- 27. IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE CONSTRUCTION INSPECTOR, PROPOSED ALTERATIONS TO THE APPROVED PLANS INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK OR TO FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE CITY OF COMMERCE CITY FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
- 28. LOCATION OF UNDERGROUND UTILITIES WAS TAKEN FROM THE RECORDS OF THE CONTROLLING AGENCIES. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 29. THE CONTRACTOR IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING IMPROVEMENTS, SIDEWALK, ALLEY OR UTILITY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, OR OTHER DAMAGE THAT MIGHT RESULT FROM THE WORK PRESCRIBED ON THIS PLAN. THE LOCAL AGENCY WILL HOLD THE CONTRACTOR RESPONSIBLE FOR CORRECTION OF DAMAGE TO ADJACENT PROPERTY, PUBLIC OR PRIVATE.

GENERAL NOTES -DEVELOPMENT PLAN

- LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT
- WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES. 2. TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- 4. SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS
- 5. FENCING NOTE: APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.
- 6. DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE. AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF
- THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT. 8. CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE
- APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS. 9. UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS DAY OF

DEPARTMENT OF COMMUNITY DEVELOPMENT

02 OF 19

1615 California Street Suite 411, Denver 80202 landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

WILSON

990 S. BROADWAY, SUITE 220

DENVER, CO 80209

303.297.2976

KYLE.GODWIN@WILSONCO.COM

PROFESSIONAL CORPORATION

3461 RINGSBY COURT #310

DENVER, COLORADO 80216 | 720.689.2333

WWW.CARVELLARCHITECTS.COM

NUMBER	DATE	ISSUE
ARCHITEC	T	
	CHRISTO	OPHER CARVELL ARCHITECTS
DESIGNER	1	
		WILSON & COMPANY
DATE		

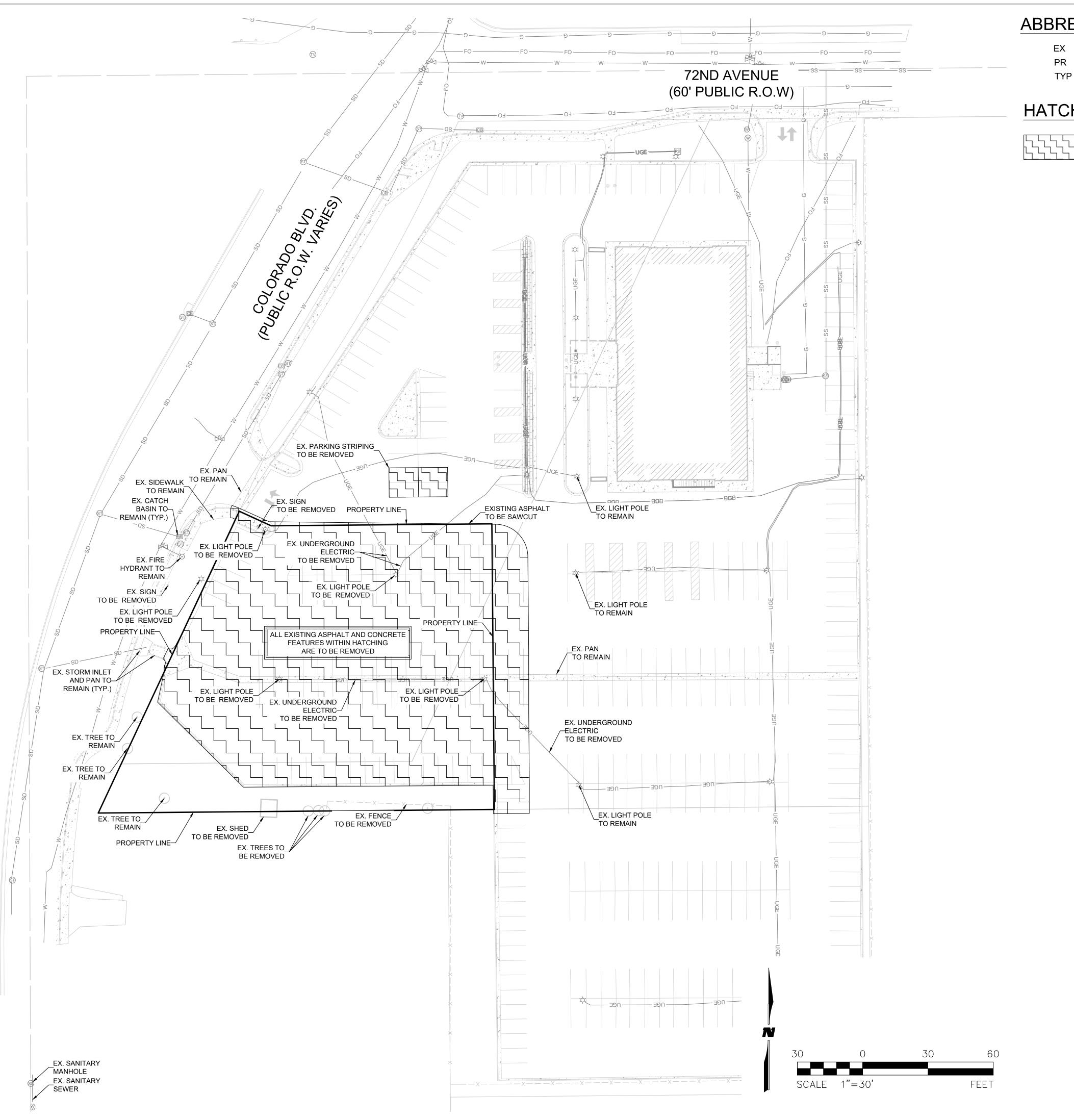
11/11/2022 JOB NUMBER 20-600-407-00

DRAWN BY CHECKED BY

KMG

GENERAL NOTES

SHEET#



ABBREVIATIONS

EX EXISTING
PR PROPOSED
TYP TYPICAL

HATCHING LEGEND

EXISTING FEATURES TO BE REMOVED

WILSON & COMPANY

990 S. BROADWAY, SUITE 220 DENVER, CO 80209 303.297.2976 KYLE.GODWIN@WILSONCO.COM





T 7190 LEVARD T PERMIT

COLORADO BOULEVAFUD DEVELOPMENT PER

NUMBER	DATE	ISSUE
ARCHITEC	\	
ARCHITEC		STOPHER CARVELL ARCHITEC
DESIGNER		TOFFIEL CARVELL ARCHITEC
		WILSON & COMPAN
DATE		
		11/11/20
JOB NUME	BER	
DRAWN B	V	20-600-407-
DIVAVIND	•	TC
CHECKED	BY	11
		KN
TITLE		

DEMO PLAN

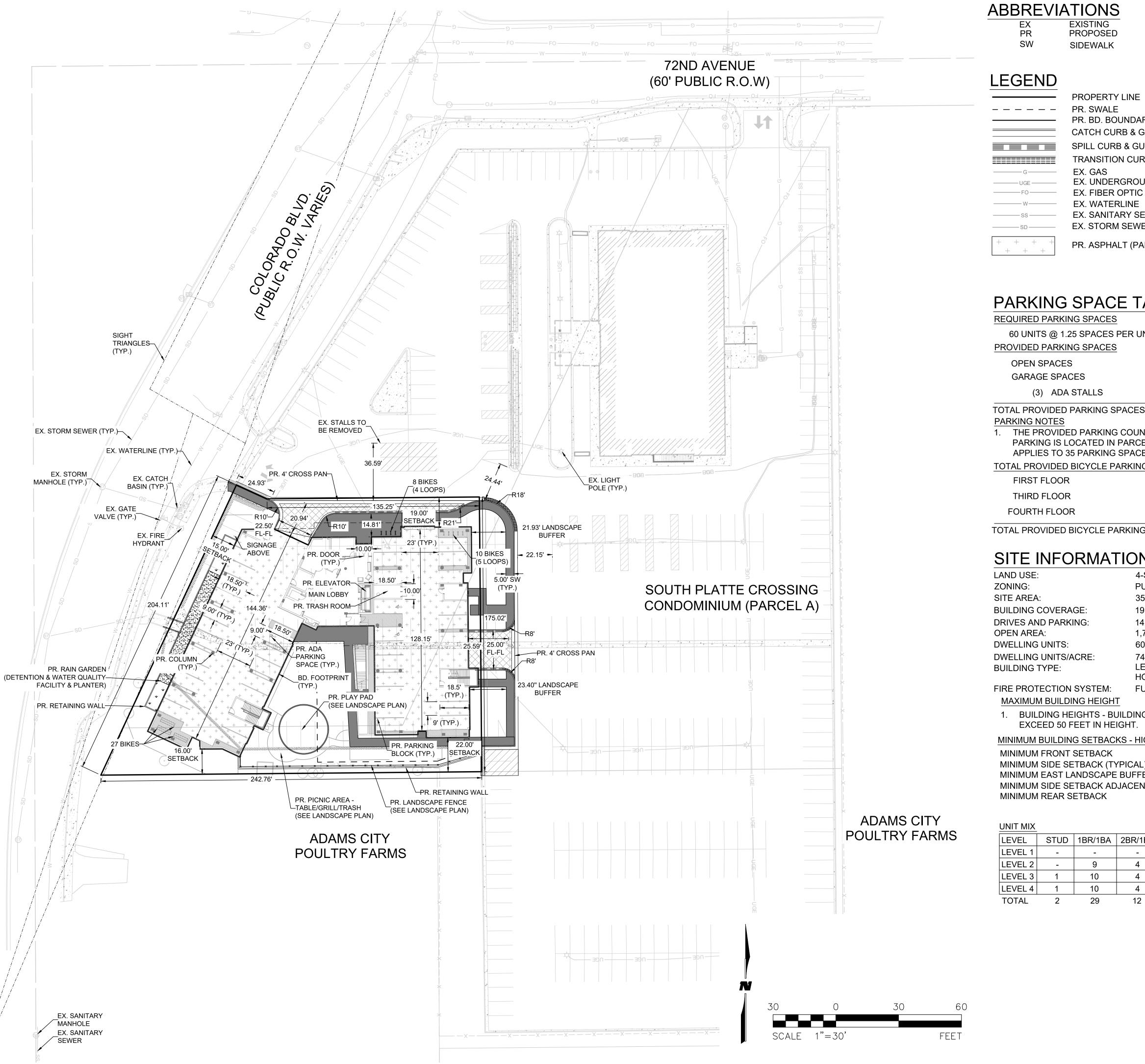
SHEET#

03 OF 19

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,

CITY STAFF CERTIFICATE

THIS _____DAY OF __



ABBREVIATIONS

EXISTING PROPOSED **SIDEWALK**

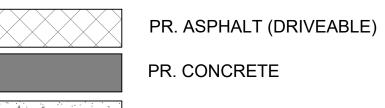
TYP **TYPICAL** BD

BUILDING **MISCELLANEOUS**

LEGEND

	PROPERTY LINE	
	PR. SWALE	
	PR. BD. BOUNDARY	
	CATCH CURB & GUTTER	4 4
	SPILL CURB & GUTTER	4
	TRANSITION CURB & GUTTER	Ψ
— G——	EX. GAS	
—UGE ———	EX. UNDERGROUND ELECTRIC	
—FO——	EX. FIBER OPTIC	
	EX. WATERLINE	
ss	EX. SANITARY SEWER	
— SD ———	EX. STORM SEWER	

PR. ASPHALT (PARKING)



EX. CONCRETE (DRIVEABLE)

PR. RAIN GARDEN

PR. TREE LAWN

EX. MISC. CONCRETE & CONCRETE VALLEY PAN TO BE REMOVED

EX. CURB AND GUTTER

TO BE REMOVED

EX. STALLS TO BE REMOVED

PARKING SPACE TABULATION

REQUIRED PARKING SPACES

60 UNITS @ 1.25 SPACES PER UNIT 75 TOTAL REQUIRED PARKING SPACES PROVIDED PARKING SPACES **OPEN SPACES GARAGE SPACES** (3) ADA STALLS

PARKING NOTES

1. THE PROVIDED PARKING COUNTS INCLUDE ON-SITE AND OFF-SITE PARKING. OFF-SITE PARKING IS LOCATED IN PARCEL A IN THE SOUTHWEST CORNER OF THE PROPERTY AN APPLIES TO 35 PARKING SPACES.

TOTAL PROVIDED BICYCLE PARKING

FIRST FLOOR THIRD FLOOR FOURTH FLOOR TOTAL PROVIDED BICYCLE PARKING

SITE INFORMATION

LAND USE: 4-STORY MULTI-FAMILY RESIDENTIAL

PUD DISTRICT

35,284 SF (0.81 AC) = 100% **BUILDING COVERAGE:** 19,035 SF (0.44 AC) = 54%

DRIVES AND PARKING: 14,472 SF (0.33 AC) 1,777 SF (0.04 AC) OPEN AREA:

DWELLING UNITS: DWELLING UNITS/ACRE: 74.1 LEVEL 1: I-A; **BUILDING TYPE:**

29

HOUSING 2,3,4: V-A FIRE PROTECTION SYSTEM: FULLY SPRINKLERED

MAXIMUM BUILDING HEIGHT

1. BUILDING HEIGHTS - BUILDINGS IN HIGH DENSITY MULTI-FAMILY DISTRICTS SHALL NOT EXCEED 50 FEET IN HEIGHT.

MINIMUM BUILDING SETBACKS - HIGH DENSITY MULTI-FAMILY

MINIMUM FRONT SETBACK 18 FT 15 FT MINIMUM SIDE SETBACK (TYPICAL) 15 FT MINIMUM EAST LANDSCAPE BUFFER SETBACK 15 FT MINIMUM SIDE SETBACK ADJACENT TO LOCAL OR COLLECTOR STREET MINIMUM REAR SETBACK

LEVEL STUD | 1BR/1BA | 2BR/1BA | 2BR/2BA | 3BR/2BA | TOT LEVEL 1 LEVEL 2 18 9 4 21 LEVEL 3 4 10 LEVEL 4 21 4 9

CITY STAFF CERTIFICATE

60

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____DAY OF _

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON &COMPANY

990 S. BROADWAY, SUITE 220 DENVER, CO 80209 303.297.2976 KYLE.GODWIN@WILSONCO.COM





landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

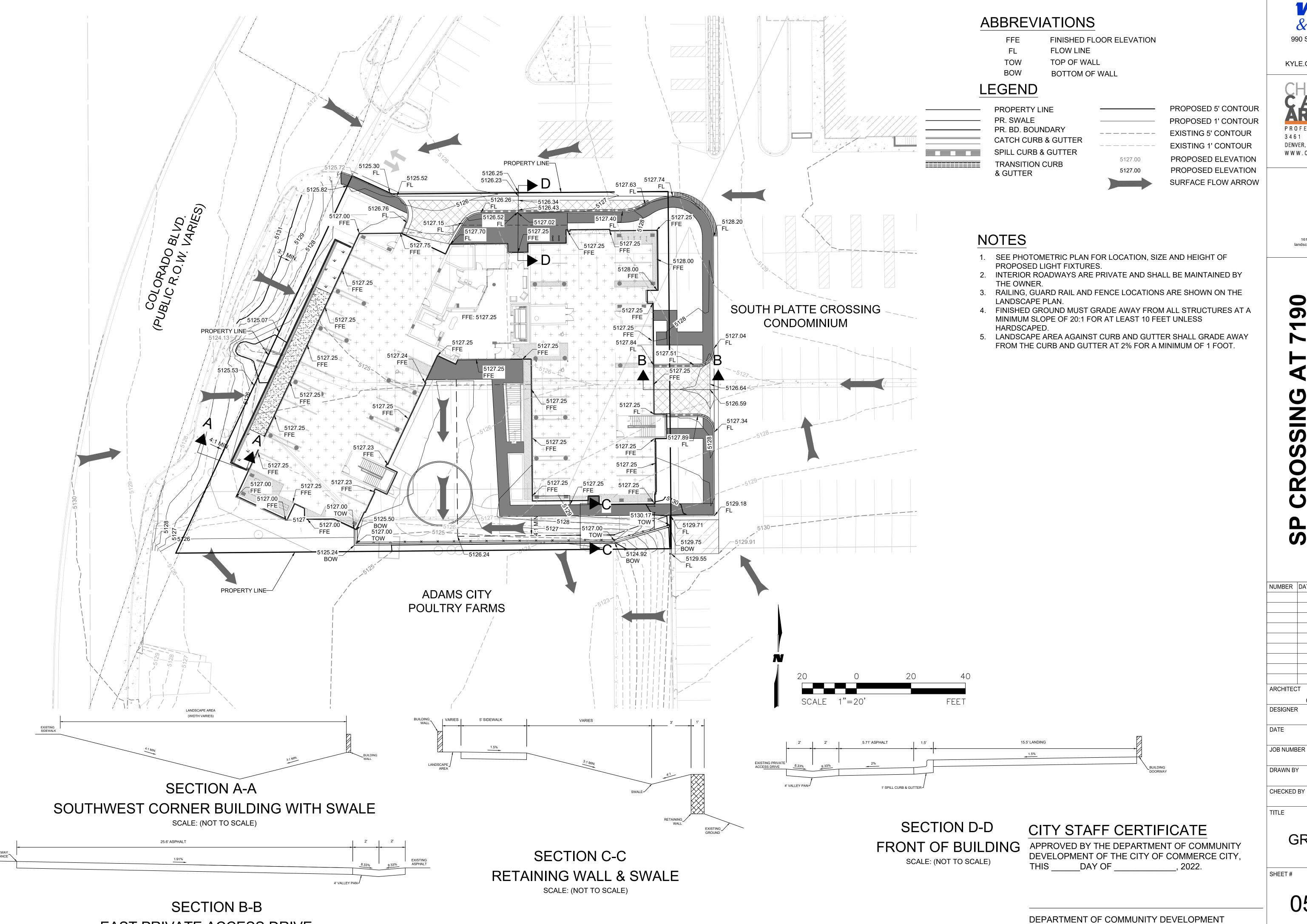
NUMBER DATE ARCHITECT CHRISTOPHER CARVELL ARCHITECTS DESIGNER WILSON & COMPANY 11/11/2022

20-600-407-00

DRAWN BY CHECKED BY

SITE PLAN

JOB NUMBER



EAST PRIVATE ACCESS DRIVE SCALE: (NOT TO SCALE)

WILSON &COMPANY

990 S. BROADWAY, SUITE 220 DENVER, CO 80209 303.297.2976 KYLE.GODWIN@WILSONCO.COM



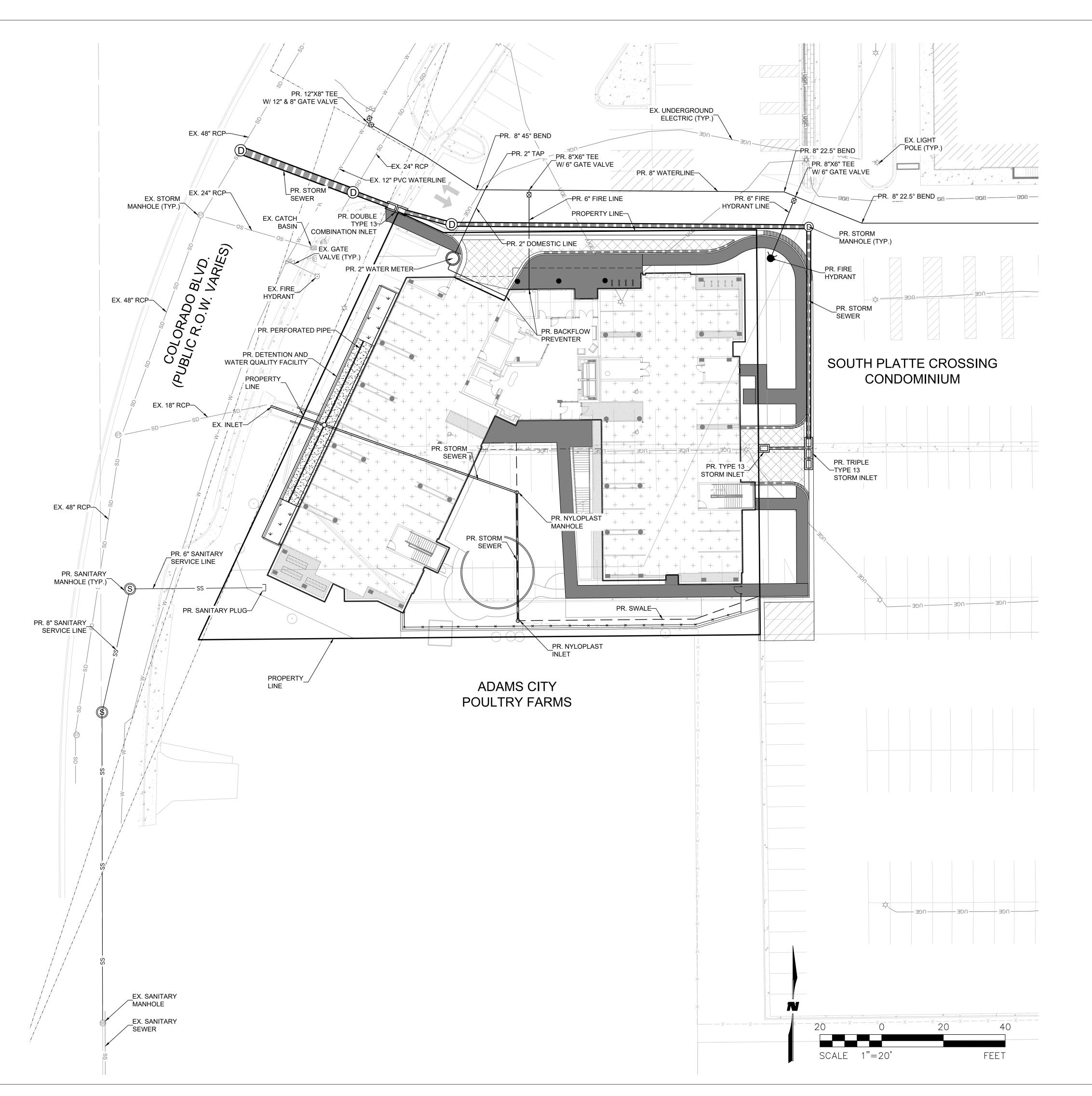


1615 California Street Suite 411, Denver 80202 landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

90

NUMBER	DATE	ISSUE
ARCHITEC	Т	
	CHRISTO	OPHER CARVELL ARCHITECTS
DESIGNER	2	
		WILSON & COMPANY
DATE		
		11/11/2022
JOB NUMB	BER	
		20-600-407-00
DRAWN BY	1	
		TDP

GRADING PLAN



ABBREVIATIONS

EX EXISTING
PL PROPERTY LINE

PR PROPOSED

LEGEND

PR. SWALE
PR. BD. BOUNDARY
CATCH CURB & GUTTER
SPILL CURB & GUTTER
TRANSITION CURB & GUTTER
PR. WATERLINE
PR. SANITARY SEWER

PROPERTY LINE

PR. STORM SEWER

PR. SANITARY MANHOLE

EX. SANITARY SEWER

EX. STORM SEWER

GENERAL NOTES

- THE OVERALL UTILITY PLAN IS SHOWN FOR REFERENCE ONLY. REFER
 TO THE SEPARATE WATER AND SEWER CONSTRUCTION DRAWING
 FOR THE FINAL UTILITY DESIGN.
- 2. CONTRACTOR TO FIELD VERIFY LOCATION, ALIGNMENT, AND ELEVATIONS OF THE EXISTING WATER, SEWER AND STORM CONNECTIONS PRIOR TO CONSTRUCTION. THESE ELEVATIONS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION SUCH THAT ANY NECESSARY CHANGES TO THE PLANS CAN BE MADE AHEAD OF TIME.
- A MINIMUM OF 4.5' COVER SHALL BE MAINTAINED ABOVE THE WATER SERVICE LATERALS. A MINIMUM OF 18" OF CLEARANCE SHALL BE PROVIDED AT ANY UTILITY CROSSING IN ACCORDANCE WITH THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT DETAIL NO. W-8.
- SANITARY SEWER SERVICES SHALL BE SET AT A MINIMUM 2.0% SLOPE FROM THE MAIN LINE UP TO THE POINT OF BUILDING CONNECTION.
- 5. ALL MATERIALS, WORKMANSHIP, CONSTRUCTION DETAILS AND TESTING FOR THE WATER AND SEWER SERVICE LINES SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR WATER DISTRIBUTION LINES AS SET FORTH BY THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT.
- 6. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- 7. RAILING, GUARD RAIL AND FENCE LOCATIONS ARE SHOWN ON THE LANDSCAPE PLAN.
- 8. FIRE SERVICE LINES SHALL BE 4" LINES IN ACCORDANCE WITH SECTION 5.3.2.16 OF SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT DESIGN AND CONSTRUCTION STANDARDS.
- ONTRACTOR SHALL REFER TO APPENDIX E OF THE SOUTH ADAMS
 COUNTY WATER AND SANITATION DISTRICT FOR THE APPROVED
 CONSTRUCTION MATERIALS LIST.

WILSON & COMPANY

990 S. BROADWAY, SUITE 220 DENVER, CO 80209 303.297.2976 KYLE.GODWIN@WILSONCO.COM





1615 California Street Suite 411, Denver 80202 landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

SP CROSSING AT 7190
OLORADO BOULEVARD
D DEVELOPMENT PERMI

NUMBER	DATE	ISSUE
ARCHITEC	т	
		OPHER CARVELL ARCHITECT
DESIGNEF	3	
		WILSON & COMPAN
DATE		
IOD NILIME)	11/11/20
JOB NUME	BEK	
DRAWN B	·/	20-600-407-
DRAWN B	Y	
OUEOVED	D)/	T
CHECKED	ВХ	
		KM
TITLE		

UTILITY PLAN

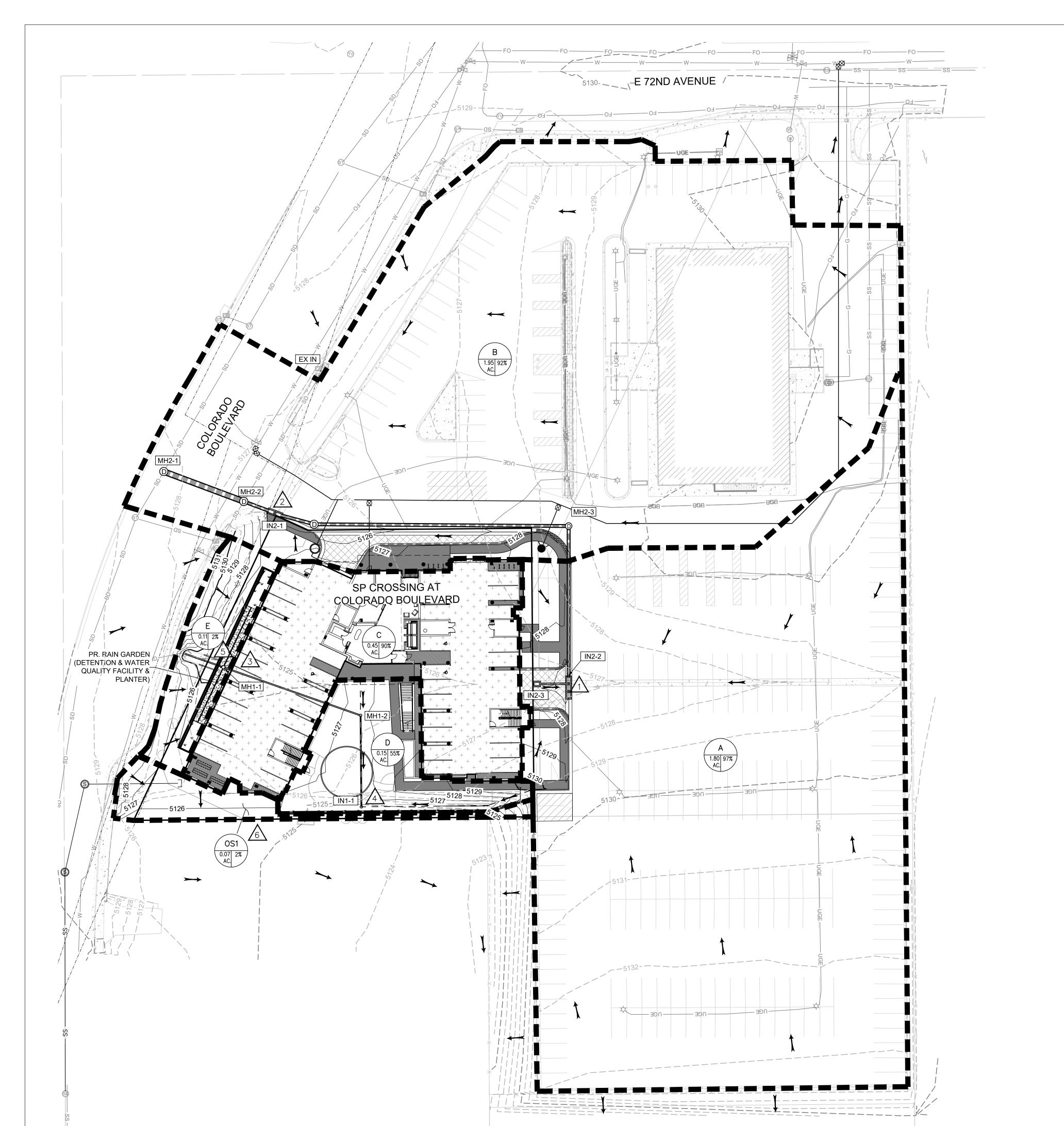
SHEET#

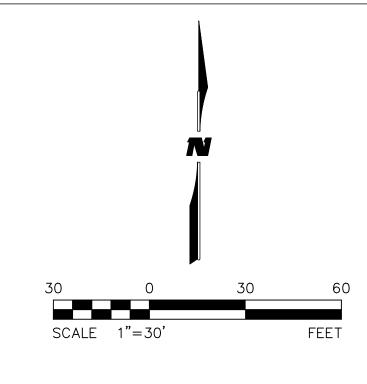
06 OF 19

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,

CITY STAFF CERTIFICATE

THIS DAY OF





LEGEND

EXISTING GROUND CONTOUR	5280
PROPOSED FINISHED CONTOUR	 5280
PROPERTY LINE	
DRAINAGE BASIN BOUNDARY	
DIRECTION OF DRAINAGE	>
EXISTING STORM SEWER	ST
EXISTING STORM INLET	
PROPOSED STORM SEWER	ss
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING CONCRETE	, <u>4</u>
PROPOSED CONCRETE	
PROPOSED ASPHALT PAVEMENT	
INLET/MANHOLE IDENTIFIER	INX-X

	SUB-BASIN ID
BASIN IDENTIFIER	— → XX \
AREA IN ACRES	0.50 75.0% PERCENT IMPERVIOUS
	AC.

SURFACE FLOW DESIGN POINT

	BASIN DATA SUMMARY					
BASIN	AREA (AC)	IMPERVIOUS- NESS (%)	5-YR RUNOFF (CFS)	100-YR RUNOFF (CFS)		
А	1.80	97.00	6.16	12.36		
В	1.95	92.00	5.94	12.28		
С	0.45	90.00	1.61	3.36		
D	0.15	55.00	0.34	0.93		
E	0.11	2.00	0.03	0.47		
OS-1	0.07	2.00	0.02	0.30		

PEAK RUNOFF SUMMARY					
DESIGN POINT	CONTRIBUTING BASIN(S)	CONTRIBUTING AREA (AC)	IMPERVIOUS- NESS (%)	5-YR RUNOFF (CFS)	100-YR RUNOFF (CFS)
1	A	1.80	97.00	6.16	12.36
2	A & B	1.95	94.00	11.69	23.87
3	С	0.45	90.00	1.61	3.36
4	D	0.15	55.00	0.34	0.93
5	C,D & E	0.11	58.00	1.98	4.76
6	OS-1	0.07	2.00	0.02	0.30

RAIN GARDEN SUMMARY				
EVENT	RELEASE RATE (CFS)			
WQVC	479	5127.75	0.01	
EURV	2,091	5129.43	0.08	
100-YR	2,744	5130.22	0.59	

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON &COMPANY

990 S. BROADWAY, SUITE 220 DENVER, CO 80209 303.297.2976 KYLE.GODWIN@WILSONCO.COM





1615 California Street Suite 411, Denver 80202

landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

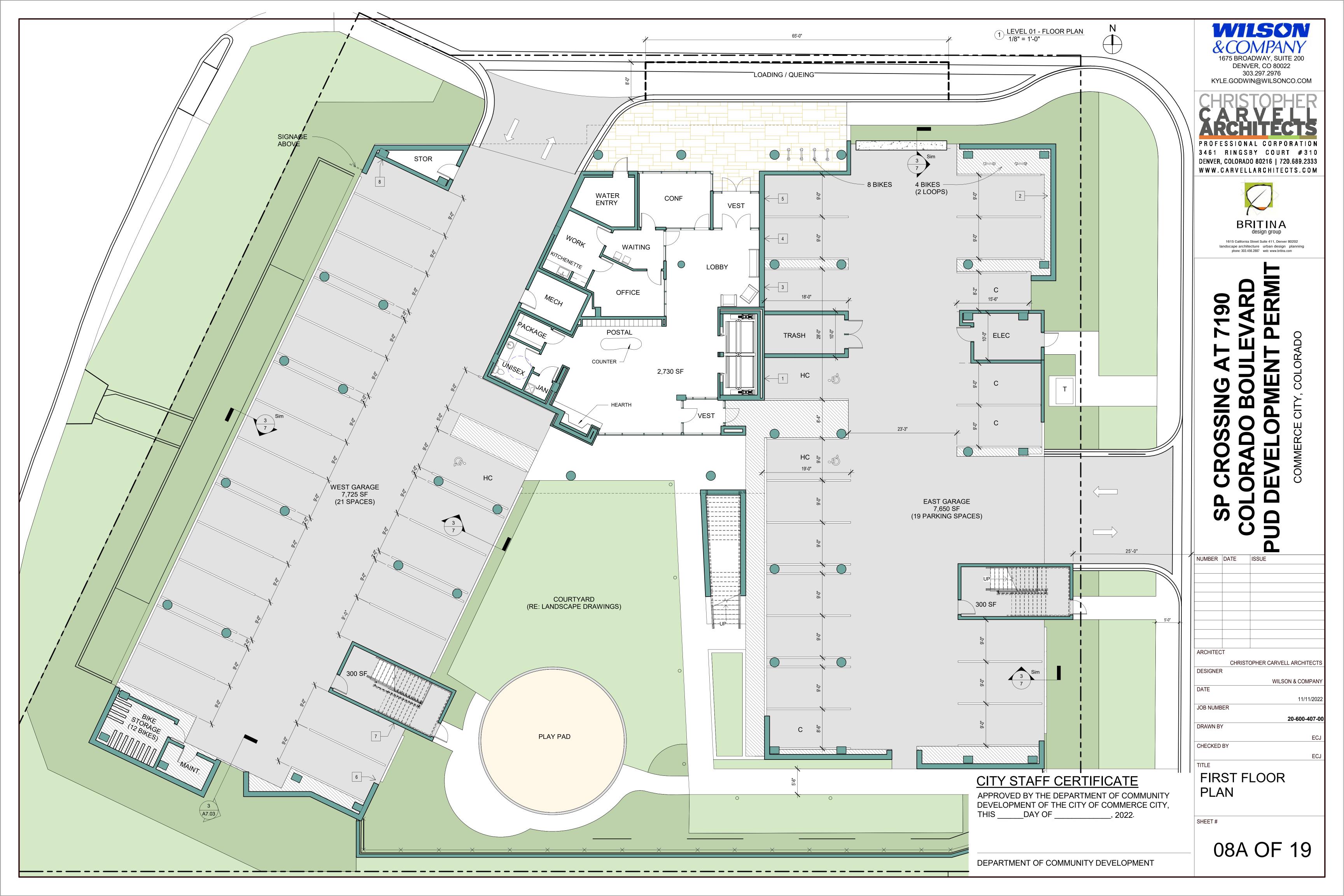
		_
NUMBER	DATE	ISSUE

CHRISTOPHER CARVELL ARCHITECTS DESIGNER WILSON & COMPANY

JOB NUMBER 20-600-407-00

CHECKED BY

DRAINAGE PLAN









WILSON 1675 BROADWAY, SUITE 200 DENVER, CO 80022

KYLE.GODWIN@WILSONCO.COM

PROFESSIONAL CORPORATION 3461 RINGSBY COURT #310



1615 California Street Suite 411, Denver 80202 landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

CHRISTOPHER CARVELL ARCHITECTS WILSON & COMPAN' 11/11/2022

20-600-407-00



WILSON 1675 BROADWAY, SUITE 200 DENVER, CO 80022 303.297.2976

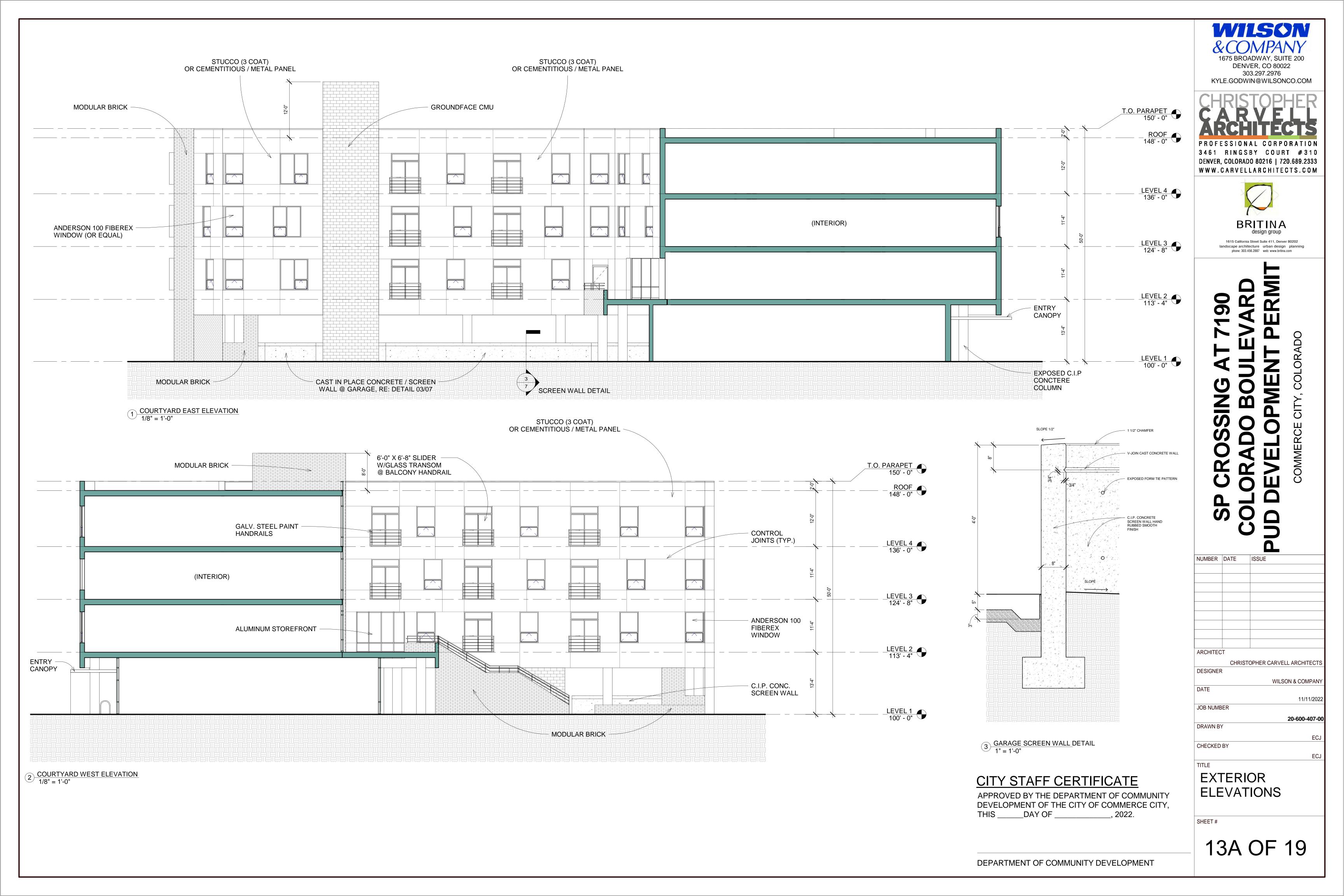
PROFESSIONAL CORPORATION 3461 RINGSBY COURT #310 DENVER, COLORADO 80216 | 720.689.2333



landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

NUMBER	DATE	ISSUE
ARCHITEC	<u></u> ;Т	
	CHRIST	OPHER CARVELL ARCHITECTS
DESIGNER		
		WILSON & COMPANY
DATE		
		11/11/2022
JOB NUMB	ER	
		20-600-407-00
DRAWN BY	(
		ECJ
CHECKED	BY	
		ECJ
TITLE		
FXT	[FRI	ገ R

12A OF 19



REQUIRED COMMERCE CITY LANDSCAPE PLAN NOTES

Minimum Plant Size Requirements and soil preparation. Minimum plant size requirements are 2-inch diameter (caliper) for deciduous trees, 1.5-inch diameter for ornamental

trees and 6-foot height for evergreen trees. Minimum size requirements for shrubs is #5 gallon container, ornamental grasses #1 gallon container; perennials and ground cover 2 ½ pots. Plants should be mixed approximately 50% evergreen and 50% deciduous (tree lawn areas shall be deciduous shade trees). Minimum soil preparation for planting shall be 5 cubic yards of organic soil amendment tilled to a depth of 6-inches for every 1,000sf of landscape

Street Trees

The Planning Division has identified specific deciduous tree species to be planted within tree lawn areas. All trees chosen for tree lawn applications must be selected from the Approved Plant List

Weed Barrier

Porous fabric must be used in planted beds. Plastic weed barriers are prohibited.

Plastic or fiberglass edging is favorable to metal. However, metal edging may be used provided it has a rollover top or a protective cap.

Implementation and Coordination of the Landscape Plan.

The developer shall ensure that the landscape plan is closely coordinated with plans prepared by other consultants so that the proposed grading, storm drainage, or other construction does not conflict with or preclude the installation and maintenance of landscape elements as designated on the landscape plan.

Irrigation.

All landscape areas and plant materials must be watered by an automatic underground irrigation system. Irrigation system design, installation, operation, and maintenance shall conform to the requirements of the South Adams County Water and Sanitation District (SACWSD). Approval of this landscape plan does not constitute approval from the SACWSD.

Maintenance.

The developer, his successors, and assigns, shall be responsible for installation, maintenance and replacement of all landscaping materials shown or indicated on the approved landscape plan, including the landscaping within the right-of-way.

Landscaping shall be continuously maintained including necessary watering, weeding, pruning, pest control, and replacement of dead or diseased plant material shall be of the same type of plant material as set forth in the approved site plan (a tree must replace a tree or a shrub must replace a shrub). Any replacement shall occur in the next planting season, but in no case shall replacement exceed 1 year.

This approved landscape plan shall be on file in the Planning Division. All landscaping will be installed as delineated on the plan prior to the issuance of any Certificate of Occupancy.

Vehicle Parking Note.

No vehicle parking is allowed in any landscape treatment area.

Site Line Considerations.

Any area determined by the City Engineer to be within a sight-distance-triangle may contain plant material that, at the time of planting or at maturity, exceeds 36 inches above the gutter flow line except trees, which must be limbed to 8 feet at adequate maturity. Trees shall be planted a minimum of 10 feet from light or utility poles. All other landscape features shall not exceed 36 inches in height within sight - distance-triangles. Information on the sight-distance-triangles may be obtained from The City of Commerce City Engineering Standards.

Native Grass Note.

All areas of the lot not paved or formally landscaped shall be seeded with native grasses

ROW LANDSCAPE REQUIREMENTS

Description	Length	Trees Required (1/50')	Tree Provided	Existing Trees	Total Trees
Colorado Blvd	204 LF	4	3	2	5

ON SITE LANDSCAPE REQUIREMENTS

On Site Landscape Area	Turf (50% Max.)	Tree Equivalent Required (1 Dec/Pine Tree or 2 Ornamental /3,000 SF)		Shrubs Equivalent Required (1 Shrub or 2 Perennial/Grass /600 SF)	Shrubs Provided
6,630 SF	2,296 SF (35%)	2 Dec/Pine	1 Dec/Pine 5 Ornamental	11 Shrubs	38 Shrubs 97 Perennials

LANDSCAPE BUFFER REQUIREMENTS

Total Landscape Area	Total Turf Area Allowed (50%)	Tree Equivalent Required (3 Dec/Pine Tree or 2 Ornamental /100 LF)	Tree Provided	Existing Trees	Total Trees	Shrubs Equivalent Required (5 Shrub or 2 Perennial/Grass /100 LF)	Shrubs Provided
464 LF 4840 SF	2,340 SF (48%)	14 Dec/Pine	6 Dec/Pine 6 Ornamental	5	14	23 Shrubs	97 Shrubs 10 Perennials

* SEE COVER SHEET FOR SITE DATA TABLE

LANDSCAPE NOTES (SEE COMMERCE CITY NOTES THIS SHEET)

- Landscape Contractor shall be responsible for becoming familiar with all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- 2. Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the General Contractor and Owner's Representative. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification
- If conflicts arise between size of areas and plans, Landscape Contractor to contact the Owner's Representative for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate materials.
- 4. The Landscape Contractor shall notify the Owner's Representative 72 hours prior to commencement of work to coordinate project inspection schedules.
- Landscape Contractor shall provide per unit costs for every size of plant material, and by type as called out on Planting Plans. Unit cost to include the plant material itself and installation including all labor, amendments, fertilizers, etc., as detailed and specified for each size.
- It is the Landscape Contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Landscape Contractor and be certified pest and disease free. It is the Landscape Contractor's obligation to warranty all plant material for one year after final acceptance.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish
- Provide matching sizes and forms for all plants used for hedges. Space equally as called for on plans.
- 9. All plant material shall be acclimated to nearest conditions for minimum of 8 months before planting.
- 10. Plant names are abbreviated on drawings. See plant list for key and classification.
- 11. Obtain an agricultural suitability analysis of the site soil from an accredited soils laboratory at the contractors cost. The analysis shall verify the suitability of the existing soils, analyze the existing soil texture and recommend additional soil amendments beyond those specified. A minimum of two (2) samples shall be taken from the site. Location to be determined by the Owner's Representative. The soil amendments currently specified will be the minimum incorporated. Test Agency: Colorado State University Soil Testing Lab, A319-NESB, Fort Collins, CO 80523-1120 or other reputable lab.
- 12. Prepare all sodding areas by ripping and tilling or otherwise scarified to a depth of not less than 12 inches. Apply to all planting and seeded areas at the following rates per 1,000 square feet, incorporating thoroughly with top 6 inches
 - a. As recommended in the soils analysis, five cubic yards organic amendment minimum. b. Five pounds preplant fertilizer and granular Diammonium Phosphate (18-46-0) at 150#/acre is recommended. c. Any chemical additives per soils analysis recommendations.
- 13. Final location of all plant material shall be subject to the approval of the Owner's Representative.
- 14. All tree plantings in lawn areas will receive a minimum of 3" depth mulch. The contractor is responsible for weed control on beds and seeded areas until final project acceptance.
- 15. All planting beds shall receive a minimum of 3" depth of rock mulch. See plan for type.
- 16. Tree plantings and planting beds will be treated with Diehard transplant (Trees) and Diehard bed prep (Planting beds). Micorrhiza Innoculants and at the rate recommended by the manufacturer.
- 17. See details for planting requirements, materials, and execution.
- 18. Stake/Guy all trees as per detail for a period of one year.
- 19. If annuals are specified on plans, the landscape contractor is to submit a list of seasonally available annuals to be used to the Owner's Representative for approval.
- 20. All utility easements and emergency accesses shall remain unobstructed and fully accessible along their entire length for maintenance and emergency equipment and vehicles.
- 21. In the event of a discrepancy between the plan graphic and the landscape legend, the plant material quantity as determined by the plan graphic shall take precedence.

IRRIGATION NOTES (SEE COMMERCE CITY NOTES THIS SHEET)

The irrigation system will be an automatic irrigation system with controller, control valve and all other equipment necessary to irrigate the project. Large sod areas will utilize rotors while medium and smaller sod areas will utilize pop-up sprays with either rotary nozzles or spray nozzles. All shrub beds will utilize drip irrigation and trees/shrubs in native seed will be irrigated on separate drip zones.

PLANT LEGEND

AR Acar rubrum 'Frank Jr.'	Deciduous S Sym.	Shade Trees Botanic Name/Common Name	Qty	Size	Spacing
QR Quercus rubra Northern Red Oak - 2" cal As Shown Northern Red Oak Omamental Trees Amelanchier x 'Autumn Brilliance' autumn Brilliance' autumn Brilliance' serviceberry - 1 1/2" cal As Shown Autumn Brilliance' autumn Brilliance' autumn Brilliance' serviceberry CC Cercis canadensis Eastern Redbud - 1 1/2" cal As Shown Creation autumn Private Creation Select Pear Evergreen Trees AC Ables concolor White Fire PN - 6" ht. As Shown Creation Private P			-	2" cal	As Show
Ommental Trees AA Amelanchier x 'Autumn Brilliance' Autumn Brilliance Serviceberry 1 1/2" cal As Shown Autumn Brilliance Serviceberry CC Cercis canadensis Eastern Retbud - 1 1/2" cal As Shown Eastern Retbud PC Pyrus calleryana 'Cleveland Select' - 1 1/2" cal As Shown Created Steet Pear Evergreen Trees AC Abies concolor White Fir - 6" ht. As Shown Created Steet Pear Evergreen Shrubs AC Abies concolor White Fir - 6" ht. As Shown Colorado Blue Spruce Evergreen Shrubs AS Juniperus sabina 'Calgary Carpet' - 5 gal. 4" o.c. Evergreen Shrubs AG As Graper Juniper - 5 gal. 4" o.c. Bociduous Shrubs AG As Graper Juniper Grapet' Carlegary Carpet' Calgary Carpet Juniper - 5 gal. 4" o.c. Bociduous Shrubs As Glapry Carpet Juniper - 5 gal. 6" o.c. Bociduous Shrubs As Glapry Carpet Juniper - 5 gal. 6" o.c. Blazing Eit** Grapet Juniper - 5 gal. 4" o.c.<	QR	Quercus rubra	-	2" cal	As Show
AA Amelanchier x 'Autumn Brilliance'	Ornamental				
CC		Amelanchier x 'Autumn Brilliance'	_	1 1/2" cal	As Show
PC	СС	•	_	1 1/2" cal	As Show
AC	PC	Pyrus calleryana 'Cleveland Select'	-	1 1/2" cal	As Show
AC Abies concolor White Fir PN Picae Pungens glauca Colorado Blue Spruce Pregreen Shrubs Symbol	Evergreen T				
PN		Abies concolor	-	6' ht.	As Show
Section	PN	Picea Pungens glauca	-	6' ht.	As Show
Deciduous Shrubs	Evergreen S	·			
AG Acer ginnala 'Bron Blazing Elf' 5 gal. 6' o.c. Blazing Elf'™ (Ginnala Maple (Amur) 5 gal. 6' o.c. AS Amelanchier alnifolia 'Regent' 5 gal. 6' o.c. Regent Serviceberry 5 gal. 6' o.c. Regent Serviceberry 5 gal. 6' o.c. Regent Serviceberry 5 gal. 6' o.c. Compus Lavender Butterfly Bush 5 gal. 6' o.c. CP Comus alba 'Prairie Fire' 5 gal. 6' o.c. CP Comus sericea Arctic Fire™ 5 gal. 4' o.c. CA Cotoneaster apiculatus 5 gal. 4' o.c. Arctic Fire™ Dogwood 5 gal. 4' o.c. CA Cotoneaster apiculatus 5 gal. 5' o.c. Dwarf Burning Bush 7 gal. 5 gal. 5' o.c. Dwarf Burning Bush 7 gal. 5 gal. 5' o.c. Dwarf Burning Bush 7 gal. 5 gal. 3' o.c. Dwarf Burning Bush 7 gal. 5 gal. 3' o.c. Dwarf Burning Bush 7 gal. 5 gal. 3' o.c. Dwarf Burning Bush 7 gal. 6 gal. 3' o.c. Dwarf Burning Bush 7 gal. 7 gal. 3' o.c. Dwarf Burning Bush 7 gal. 7 gal. 3' o.c. Dwarf Burning Bush 7 gal. 7 gal. 3' o.c. Dwarf Burning Bush 7 gal. 7 gal. 3' o.c. Dwarf Burning Bush 7 gal. 3' o.c. Dwarf Burning Bush 7 gal. 3' o.c. Dwarf Burning Bush 7 gal. 3' o.c. Arck Out Red® Rose 7 gal. 3' o.c. Arck Out Red® Rose 7 gal. 3' o.c. Anthony Waterer Spirea 7 gal. 3' o.c. Anthony Waterer Spirea 7 gal. 3' o.c. Dwarf Burning Bush 7 gal. 3' o.c. Dwarf Weigela Horida 'Red Prince' 7 gal. 4' o.c. Derennials 7 gal. 4' o.c. Derennials 7 gal. 1 gal. 24' o.c. Derennials 7 gal. 1 gal. 1 gal. 1 gal. Derennials 8 gal. 1 gal. 1 gal. 1 gal. Derennials 1 gal. 1 gal. 1 gal. 1 gal. 1 gal. Derennials 1 gal. 1 gal.	JS		-	5 gal.	4' o.c.
Blazing Eff Ginnala Maple (Amur)	Deciduous S	Shrubs			
AS Amelanchier ahrifolia Regent' Regent Serviceberry BD Buddleja davidin nanhoensis Petite Indigo® - 5 gal. 4' o.c. Compact Lavender Butlerfly Bush CP Cornus alba 'Prairie' Fire' - 5 gal. 6' o.c. CP Cornus sericea Arctic Fire™ - 5 gal. 4' o.c. Arctic Fire™ Dogwood CS Cornus sericea Arctic Fire™ - 5 gal. 4' o.c. Arctic Fire™ Dogwood CA Cotoneaster apiculatus - 5 gal. 4' o.c. Cranberry Cotoneaster EA Euonymus alatus 'Compactus' - 5 gal. 5' o.c. Dwarf Burning Bush HF Hypericum frondosum 'Sunburst' - 5 gal. 3' o.c. Sunburst St. John's Wort Hypericum HM Hydrangea macrophylla 'Bailmer' - 5 gal. 3' o.c. Encless Summer Hydrangea® The Original RK Rosa Knock Out® Red - 5 gal. 3' o.c. Knock Out Red® Rose SJ Spirea japonica 'Anthony Waterer' - 5 gal. 3' o.c. Anthony Waterer Spirea VC Viburnum carlessi Koreanspice Viburnum WF Weigela florida 'Red Prince' - 5 gal. 5' o.c. Red Prince Weigela Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Bred Prince Weigela Ornamental Grasses HAM Hosta 'August Moon' - 1 gal. 30" o.c. HAM Hosta 'August Moon' - 1 gal. 18" o.c. Sunset'™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Super Blue Cinquefoli SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	AG		-	5 gal.	6' o.c.
BD Buddleja davidii nanhoensis Petite Indigo® - 5 gal. 4' o.c.	AS	Amelanchier alnifolia 'Regent'	-	5 gal.	6' o.c.
CP Cornus alba 'Prairie Fire' Yellow Tatarian Dogwood - 5 gal. 6' o.c. CS Cornus serjicea Arctic Fire™ Dogwood - 5 gal. 4' o.c. CA Cotoneaster apiculatus Cranberry Cotoneaster - 5 gal. 4' o.c. EA Euonymus alatus 'Compactus' Dwarf Burning Bush - 5 gal. 5' o.c. HF Hypericum frondosum 'Sunburst' St. John's Wort Hypericum - 5 gal. 3' o.c. HM Hydrangea macrophylla 'Bailmer' Sunburst' St. John's Wort Hypericum - 5 gal. 4' o.c. RK Rosa Knock Out® Red Knock Out® Red Knock Out® Red Rose - 5 gal. 3' o.c. SJ Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea - 5 gal. 3' o.c. VC Viburnum carlessi - 5 gal. 4' o.c. WF Weigela florida' Red Prince' Red Prince' Red Prince' Red Prince Weigela - 5 gal. 4' o.c. Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) - 1 gal. 24" o.c. Perennials	BD	Buddleja davidii nanhoensis Petite Indigo®	-	5 gal.	4' o.c.
CS Cornus serjoea Arctic Fire™ Dogwood CA Cotoneaster apiculatus Cranberry Cotoneaster EA Euonymus alatus 'Compactus' Dwarf Burning Bush HF Hypericum frondosum 'Sunburst' Sunburst St. John's Wort Hypericum HM Hydrangea macrophylla 'Bailmer' Endless Summer Hydrangea® The Original RK Rosa Knock Out® Red Knock Out Red® Rose SJ Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea VC Viburnum carlessi Coreansie Viburnum WF Weigela florida 'Red Prince' Red Prince Weigela Crnamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. HAM Hosta 'August Moon' August Moon Hosta LMS Liriope muscari 'Super Blue' Super Blue Liyturf OBC Osteospermum barberiae compactum PNN Potentilla neumanniana 'Nana' Alpine Cinquefoil SNM Salvia nemorosa 'May Night' May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod Rock Mulch Rock Mulch Rock Mulch Rock Mulch Rock Mulch ## Black Granite -Pioneer Sand ## Occ Sand Rock Mulch ## Black Granite -Pioneer Sand	СР	Cornus alba 'Prairie Fire'	-	5 gal.	6' o.c.
CA Cotoneaster apiculatus Cranberry Cotoneaster - 5 gal. 4' o.c. EA Euonymus alatus 'Compactus' Dwarf Burning Bush - 5 gal. 5' o.c. HF Hypericum frondosum 'Sunburst' Sunburst St. John's Wort Hypericum - 5 gal. 3' o.c. HM Hydrangea macrophylla 'Bailmer' Endless Summer Hydrangea® The Original - 5 gal. 4' o.c. RK Rosa Knock Out® Red Knock Out Red'® Rose - 5 gal. 3' o.c. SJ Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea - 5 gal. 3' o.c. VC Viburnum carlessi - 5 gal. 5' o.c. WF Weigela florida 'Red Prince' Red Prince' Red Prince Weigela - 5 gal. 4' o.c. Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) - 1 gal. 24" o.c. Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. GGS Gaillardia x grandiflora 'Sunset Flash' Sunset Flash' Sunset 'Plash Blanket Flower - 1 gal. 18" o.c.	CS	Cornus sericea Arctic Fire TM	-	5 gal.	4' o.c.
EA Euonymus alatus 'Compactus' - 5 gal. 5' o.c. Dwarf Burning Bush HF Hypericum frondosum 'Sunburst' - 5 gal. 3' o.c. HF Hydrangea macrophylla 'Bailmer' - 5 gal. 4' o.c. Endless Summer Hydrangea® The Original RK Rosa Knock Out® Red Rose SJ Spirea japonica 'Anthony Waterer' - 5 gal. 3' o.c. Anthony Waterer Spirea VC Viburnum carlessi - 5 gal. 5' o.c. Koreanspice Viburnum WF Weigela florida 'Red Prince' - 5 gal. 4' o.c. Red Prince Weigela Omamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. Grasses Turf Sod - ECO-TURF Sod	CA	Cotoneaster apiculatus	-	5 gal.	4' o.c.
HF Hypericum frondosum 'Sunburst' - 5 gal. 3' o.c. Sunburst St. John's Wort Hypericum HM Hydrangea macrophylla 'Bailmer' Endless Summer Hydrangea® The Original RK Rosa Knock Out® Red Knock Out® Red Knock Out Red® Rose SJ Spirea japonica 'Anthony Waterer' - 5 gal. 3' o.c. Anthony Waterer Spirea VC Viburnum carlessi - 5 gal. 5' o.c. Koreanspice Viburnum WF Weigela florida 'Red Prince' - 5 gal. 4' o.c. Red Prince Weigela Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 18" o.c. Sunset "P Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Grasses Turf Sod - ECO-TURF Sod Rock Mulch // " Black Granite -Pioneer Sand	EA	Euonymus alatus 'Compactus'	-	5 gal.	5' o.c.
HMM Hydrangea macrophylla 'Bailmer' Endless Summer Hydrangea® The Original - 5 gal. 4' o.c. RK Rosa Knock Out® Red Knock Out Red® Rose - 5 gal. 3' o.c. SJ Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea - 5 gal. 3' o.c. VC Viburnum carlessi - 5 gal. 5' o.c. WF Weigela florida 'Red Prince' Red Prince' Red Prince Weigela - 5 gal. 4' o.c. Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) - 1 gal. 24" o.c. Perennials CVJ Coreopsis 'Jethro Tull' 'PP # 18,789 - 1 gal. 24" o.c. Perennials CVJ Coreopsis 'Jethro Tull' 'PP # 18,789 - 1 gal. 18" o.c. GGS Gaillardia x grandiflora 'Sunset Flash' August Moon' August Moon' August Moon' August Moon' August Moon Hosta - 1 gal. 18" o.c. LMS Liriope muscari 'Super Blue' Super Blue' August Moon' Augu	HF	Hypericum frondosum 'Sunburst'	-	5 gal.	3' o.c.
RK Rosa Knock Out® Red Knock Out® Rose SJ Spirea japonica 'Anthony Waterer' - 5 gal. 3' o.c. Anthony Waterer Spirea VC Viburnum carlessi - 5 gal. 5' o.c. Koreanspice Viburnum WF Weigela florida 'Red Prince' - 5 gal. 4' o.c. MF Weigela florida 'Red Prince' - 5 gal. 4' o.c. MF Red Prince Weigela Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. Grasses Turf Sod - ECO-TURF Sod Rock Mulch 74" Black Granite -Pioneer Sand	НМ	Hydrangea macrophylla 'Bailmer'	-	5 gal.	4' o.c.
SJ Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea VC Viburnum carlessi - 5 gal. 5' o.c. Koreanspice Viburnum WF Weigela florida 'Red Prince' - 5 gal. 4' o.c. Cornamental Grasses HSE Helictotrichon sempervirens - 1 gal. 24" o.c. Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' August Moon' August Moon Hosta Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. SIMM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. Grasses Turf Sod - ECO-TURF Sod	RK	Rosa Knock Out® Red	-	5 gal.	3' o.c.
VC Viburnum carlessi Koreanspice Viburnum WF Weigela florida 'Red Prince' Red Prince' Red Prince Weigela Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset 'Melash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. Grasses Turf Sod - ECO-TURF Sod	SJ		_	5 gal.	3' o.c.
Koreanspice Viburnum WF Weigela florida 'Red Prince' Red Prince' Red Prince Weigela Ornamental Grasses HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	VC	·	_	5 gal.	5' o.c.
Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 30" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	WE	•	_	_	
HSE Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	VVI			o gai.	+ O.G.
Blue Avena Grass (Blue Oat Grass) Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	<u>Ornamental</u>	Grasses			
Perennials CVJ Coreopsis 'Jethro Tull' PP # 18,789 - 1 gal. 24" o.c. Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	HSE	•	-	1 gal.	24" o.c.
Jethro Tull Coreopsis GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	<u>Perennials</u>	,			
GGS Gaillardia x grandiflora 'Sunset Flash' - 1 gal. 18" o.c. Sunset™ Flash Blanket Flower HAM Hosta 'August Moon' - 1 gal. 30" o.c. August Moon Hosta LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod	CVJ	·	-	1 gal.	24" o.c.
HAM Hosta 'August Moon' August Moon' August Moon Hosta LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod Rock Mulch **Rock Mulch** **June Moon Hosta **Ingal. 18" o.c. 1 gal. 18" o.c. 1 gal. 18" o.c. 1 gal. 18" o.c. **Nana House Moon Hosta **Ingal. 18" o.c. 1 gal. 18" o.c. 1 gal. 18" o.c. 1 gal. 18" o.c.	GGS	Gaillardia x grandiflora 'Sunset Flash'	-	1 gal.	18" o.c.
LMS Liriope muscari 'Super Blue' - 1 gal. 18" o.c. Super Blue Lilyturf OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod Rock Mulch 3/4" Black Granite -Pioneer Sand	HAM	Hosta 'August Moon'	-	1 gal.	30" o.c.
OBC Osteospermum barberiae compactum - 1 gal. 18" o.c. 'Purple Mountain' Purple Mountain Sun Daisy PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod Rock Mulch 3/4" Black Granite -Pioneer Sand	LMS	Liriope muscari 'Super Blue'	-	1 gal.	18" o.c.
PNN Potentilla neumanniana 'Nana' - 1 gal. 18" o.c. Alpine Cinquefoil SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. May Night Purple Salvia Grasses Turf Sod - ECO-TURF Sod Rock Mulch 3/4" Black Granite -Pioneer Sand	OBC	Osteospermum barberiae compactum	-	1 gal.	18" o.c.
SNM Salvia nemorosa 'May Night' - 1 gal. 18" o.c. Grasses Turf Sod - ECO-TURF Sod Rock Mulch 3/4" Black Granite -Pioneer Sand	PNN	Potentilla neumanniana 'Nana'	-	1 gal.	18" o.c.
Grasses Turf Sod - ECO-TURF Sod Rock Mulch 3/4" Black Granite -Pioneer Sand	SNM	Salvia nemorosa 'May Night'	-	1 gal.	18" o.c.
Rock Mulch 3/4" Black Granite -Pioneer Sand	Grasses	iviay Might i dipie Salvia			
3/4" Black Granite -Pioneer Sand		Turf Sod - ECO-TURF Sod			
$V \stackrel{\prime}{\cdot} / / / 1$	Rock Mulch				
CHINA VIICANIA CHI I CHICH		·			

3/4" Pioneer Granite -Pioneer Sand and Gravel or Equal

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY

EVELOPIN	MENT OF THE CI	TY OF COMMERCE
HIS	DAY OF	, 2022.

SHEET#

14 OF 19

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON &COMPANY 990 S. BROADWAY, SUITE 220 **DENVER, CO 80209** 303.297.2976

KYLE.GODWIN@WILSONCO.COM

PROFESSIONAL CORPORATION 3461 RINGSBY COURT #310 DENVER, COLORADO 80216 | 720.689.2333 WWW.CARVELLARCHITECTS.COM



NUMBER DATE

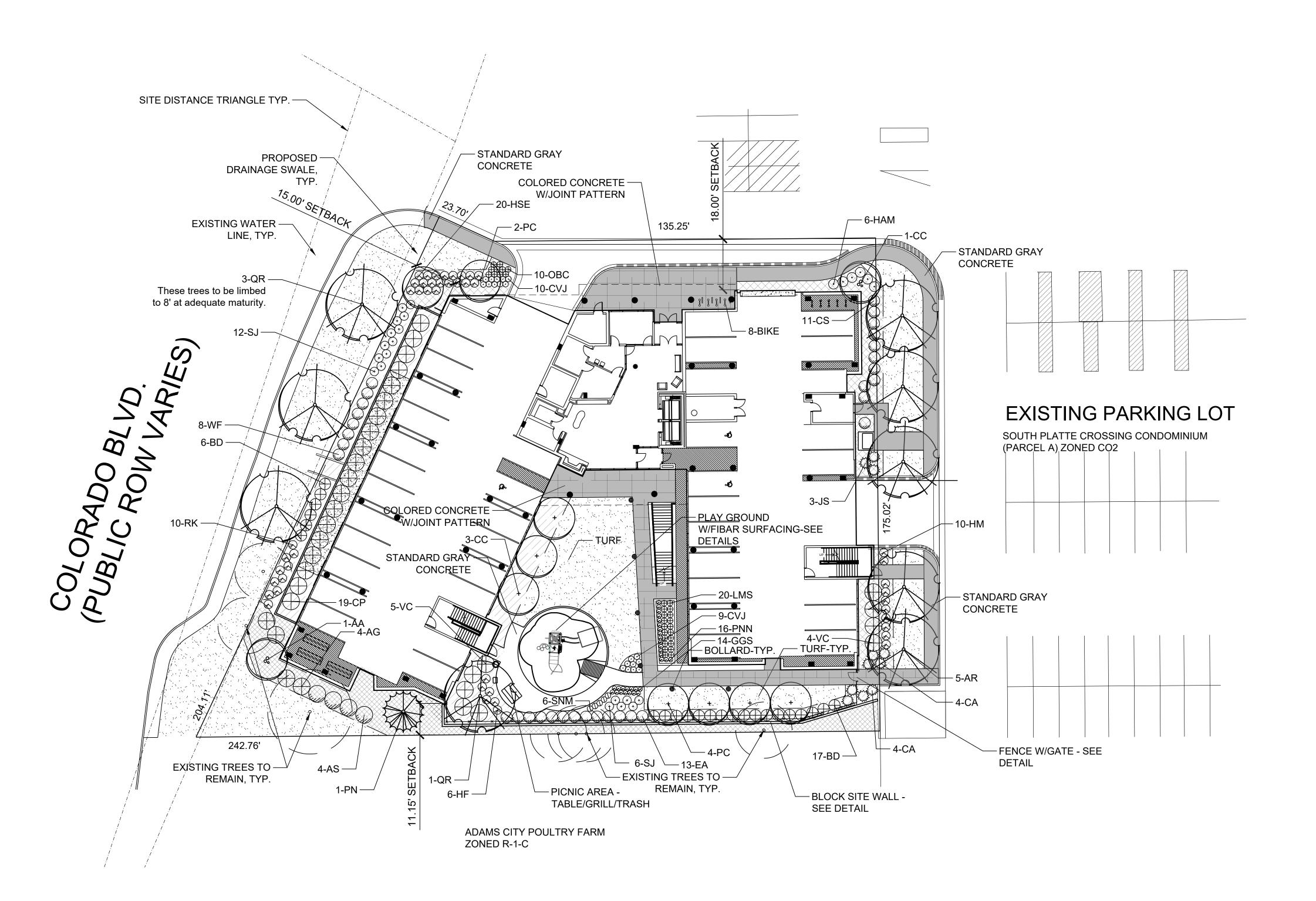
ARCHITECT CHRISTOPHER CARVELL ARCHITECTS DESIGNER

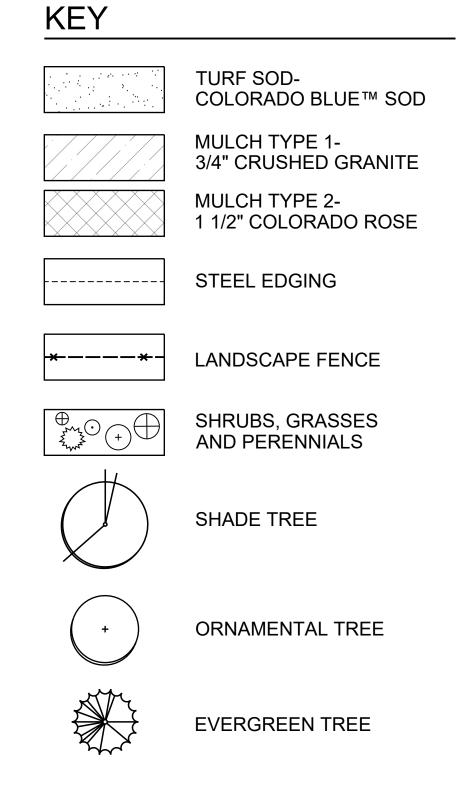
WILSON & COMPANY 11/11/2022

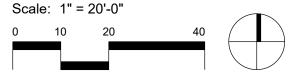
JOB NUMBER 20-600-407-00 DRAWN BY

CHECKED BY

LANDSCAPE **NOTES & LEGEND**







CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON & COMPANY 990 S. BROADWAY, SUITE 220 DENVER, CO 80209 303.297.2976 KYLE.GODWIN@WILSONCO.COM

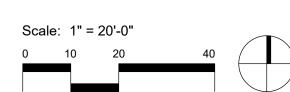




1615 California Street Suite 411, Denver 80202 landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com



BOLLARD



NUMBER DATE ISSUE ARCHITECT CHRISTOPHER CARVELL ARCHITECTS DESIGNER WILSON & COMPANY 11/11/2022 JOB NUMBER 20-600-407-00 CHECKED BY

> LANDSCAPE PLAN

SHEET#

NOTES:

- 1. FINISHED GRADE FOR SOD TO BE 3/4" BELOW TOP OF EDGING.
- 2. TAMPER MULCH AT EDGING SO THAT IT DOES NOT SPILL INTO TURF.

STEEL EDGING

2. TRASH RECEPTACLE TO BE POWDERCOATED BLACK.

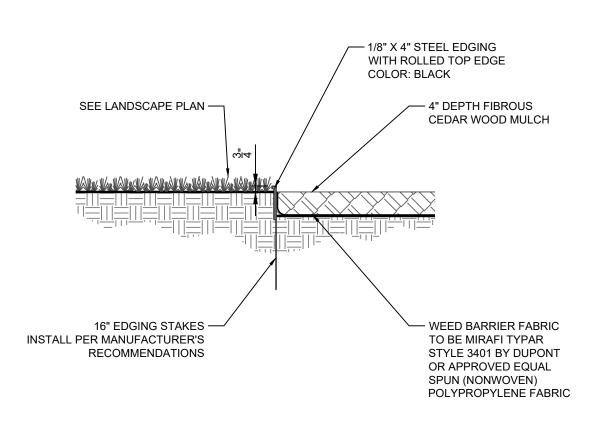
3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

TRASH RECEPTACLE

SCALE: NTS

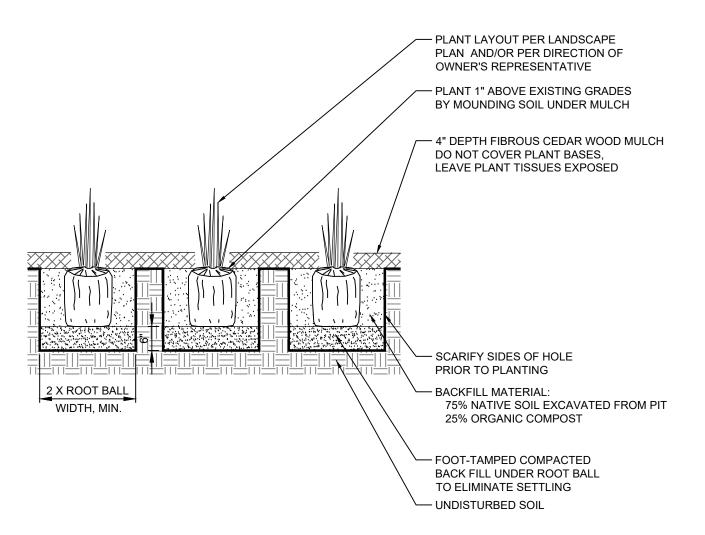
4. SEE PLANS FOR TRASH RECEPTACLE LOCATIONS.

NOTES:

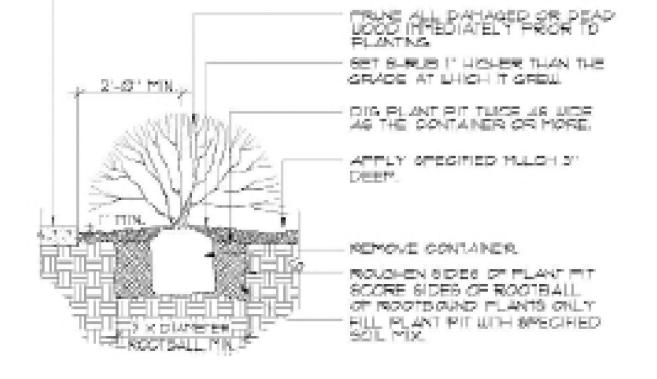


1. TRASH RECEPTACLE TO BE MODEL #MF3202, 25 GALLON CAPACITY WITH SIDE DOOR OPENING,

26"D X 33"H, SURFACE MOUNTED BY WASAU MADE OR APPROVED EQUAL.



PERENNIAL & ORNAMENTAL GRASS PLANTING

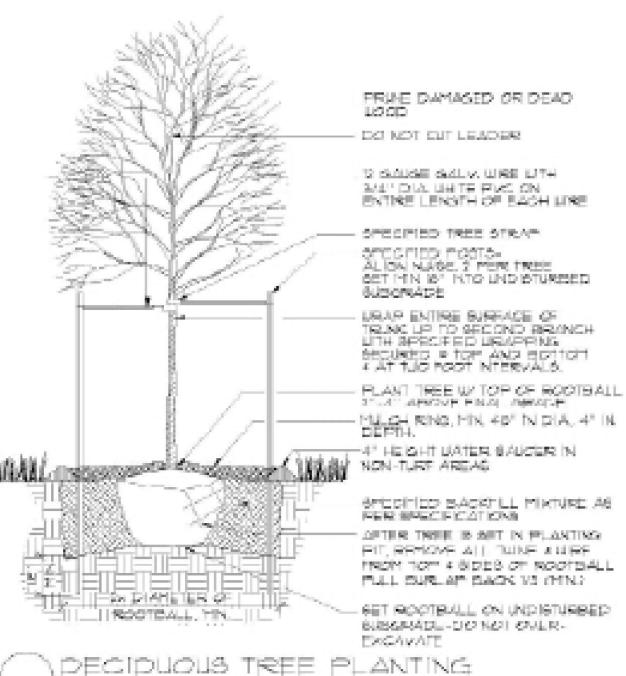


CONCRETE CURS OR SIDEUALS.

NOTE: ANY DROKEN OR CRUMPLING ROOTEGUL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED. ROOTEALLS.

NOTE: HOLD GRADE I' RELOUEDES OF DALK OF CURE





NOT TO SCALE DO NOT OUT LEADER: SPECIFIED TRUNK ATTACHMENT DOUBLE STRAND GALVANIZED NORTH UINE PROVIDE 3 OUT STEETS EGUALLY OFACED AROUND REE, AS PER DIAGRAM \$247.544.194.4H15.FVS PLANT TREE IN TOP OF ROUTBALL 3" ABOVE FINAL SRADE 4" DEPTH FULCH NING TYPICAL IN TURE AREAS 4" HEIGHT WATER BAUCER IN NON-TURE AREAS SPECIFIED STAKES DRIVEN AT AN ANGLE, FLUSH WITH GRADE BACKFILL MIXTURE AS PER SPECIFICATIONS AFTER TREE IS GET IN PLANTING PIT, REMOVE ALL TUNE I LIKE: FROM FOR A SIDES OF ROOTBALL POOTBALL, MN FULL BURLAY BACK IN MINJ - UNDISTURBED BURGRADE INDISTURBED SUBSPLACE - DO NOT OVER-EXCVIVATE

I. NATALL SPECIFIED MUCH TO DRIPLINE OF TREE WHERE PLANTED. 2. DO NOT PROVIDE MATER BASIN IN IRRIGATED LAUN AREAS.

NOT TO SCALE

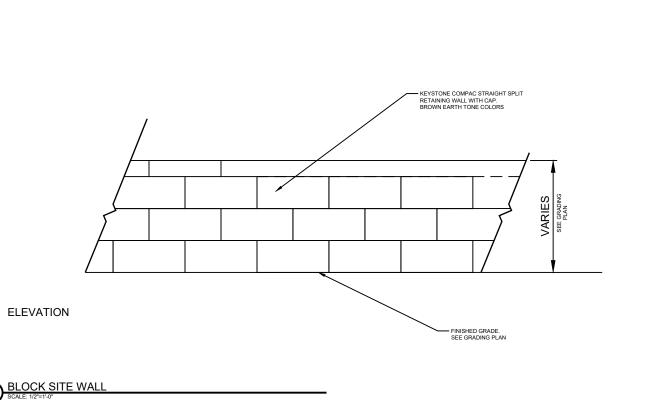
EVERGREEN TREE PLANTING

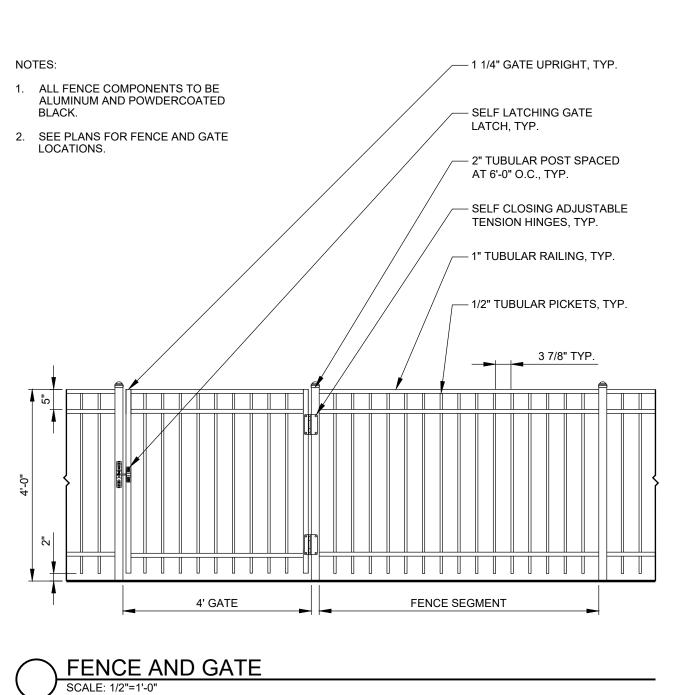
- 1. PICNIC TABLE TO BE MODEL #1142-06, 6' TABLE AND SEATS WITH 2" X 10" PLANKS IN ALUMINUM, SURFACE MOUNTED BY PW ATHLETICS OR APPROVED EQUAL.
- 2. PICNIC TABLE FRAME TO BE POWDERCOATED BLACK.
- 3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 4. SEE PLANS FOR PICNIC TABLE LOCATIONS.











CITY STAFF CERTIFICATE APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____DAY OF __

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON & COMPANY 990 S. BROADWAY, SUITE 220 DENVER, CO 80209

303.297.2976 KYLE.GODWIN@WILSONCO.COM





phone: 303.456.2887 web: www.britina.com

1615 California Street Suite 411, Denver 80202

landscape architecture urban design planning

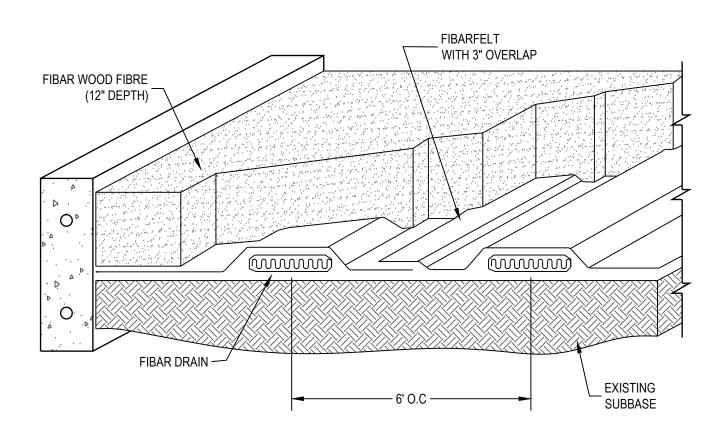
		<u> </u>
NUMBER	DATE	ISSUE
ARCHITEC	CT	
	CHRIS	TOPHER CARVELL ARCHITECT
DESIGNER	₹	
		WILSON & COMPAN
DATE		
100 111111		11/11/20
JOB NUME	BER	
DRAWN B	· · · · · · · · · · · · · · · · · · ·	20-600-407-0
DRAWN D	I	
CHECKED) RV	TD
GIILGNEL	וטי	KM
		r\IV

SHEET#

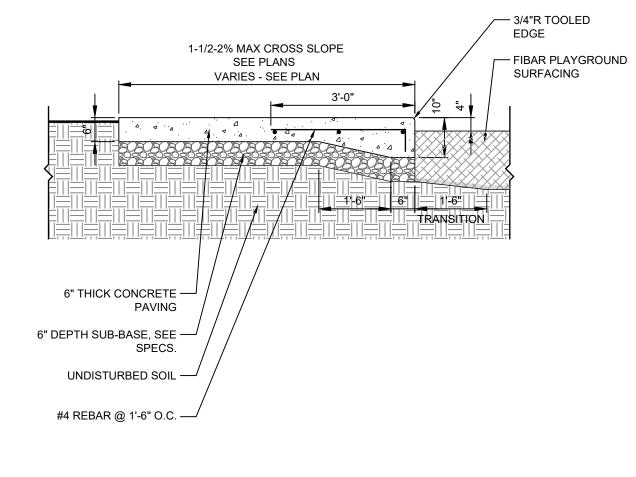
16 OF 19

DETAILS

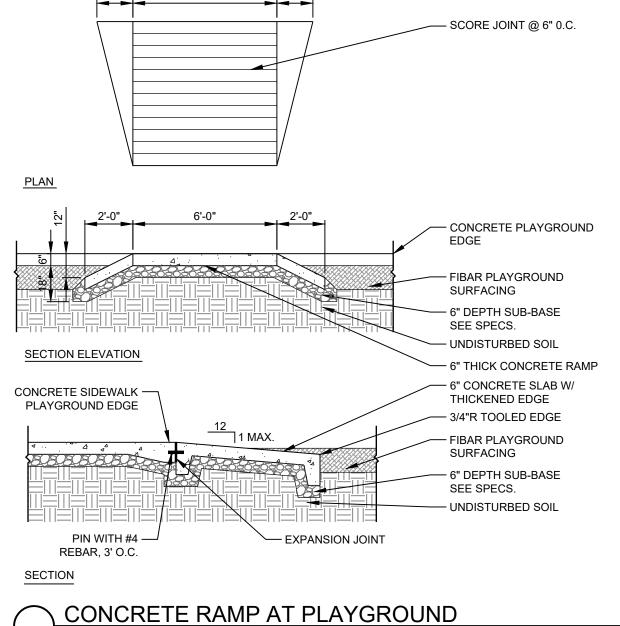
LANDSCAPE

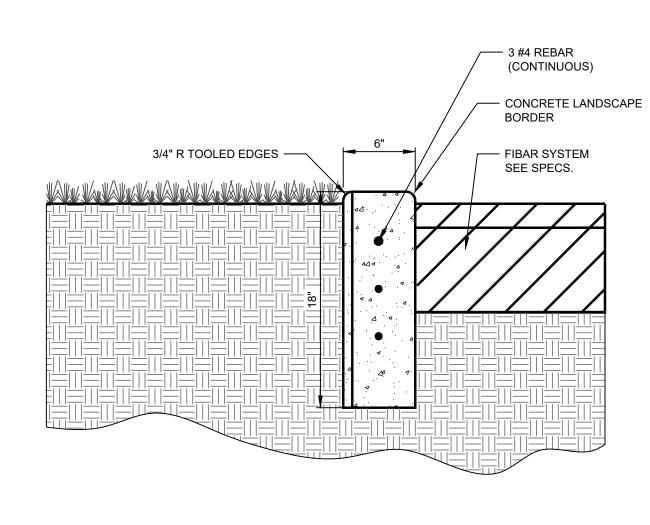


FIBAR SYSTEM 300 - INSTALLATION DETAIL A



CONCRETE SIDEWALK PLAYGROUND EDGE





CONCRETE EDGING

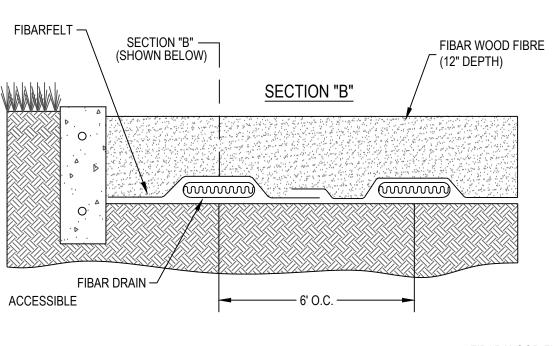


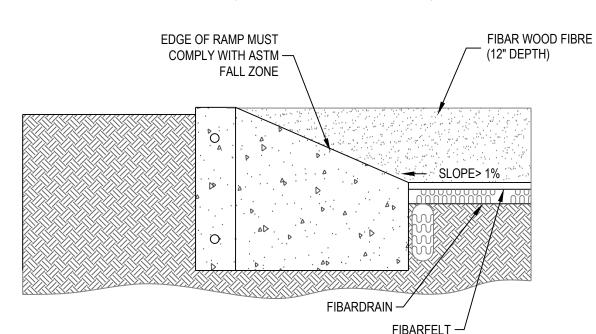
FIBAR SYSTEMS 80 BUSINESS PARK DRIVE, SUITE 300 ARMONK, NY 10504-1705 TOLL FREE: 1-800-342-2721 PHONE: (914) 273-8770 FAX: (914) 273-8659 www.fibar.com

MANUFACTURER'S NOTES:

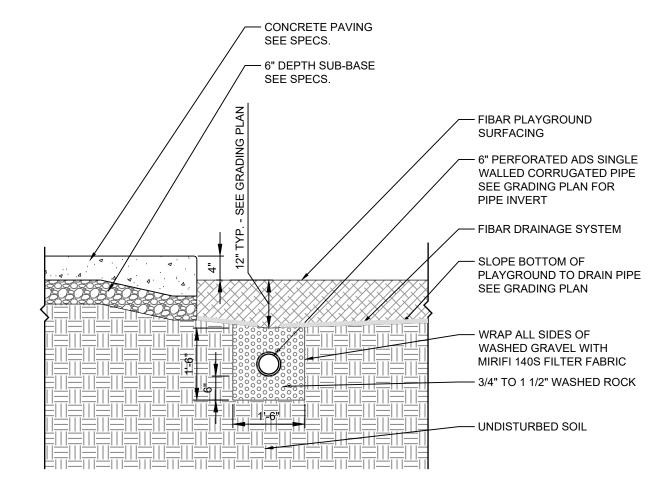
- 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- 2. DO NOT SCALE DRAWINGS. 3. THE FIBAR SYSTEM IS PROTECTED BY US PATENTS 4679963, 5026207, 5076726 AND PATENTS PENDING.
- 4. AWARD CONTRACTORS MUST OBTAIN A LICENSE FROM FIBAR, INC. PRIOR TO CONSTRUCTION. 5. FIBAR MAT WEAR MATS MUST BE INSTALLED UNDER ALL SWINGS, TIRE SWINGS & SLIDE EXITS TO
- PRESERVE WARRANTY. SEE 312-002. 6. CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.CADdetails.com/info
- REFERENCE NUMBER 312-005

FIBAR SYSTEM 300 - NOTES





FIBAR SYSTEM 300 - INSTALLATION DETAIL B



PERFORATED PLAYGROUND DRAINAGE PIPE



PLAYGROUND EQUIPMENT

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,

THIS _____DAY OF _____

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON & COMPANY 990 S. BROADWAY, SUITE 220 DENVER, CO 80209 303.297.2976 KYLE.GODWIN@WILSONCO.COM





	DATE	ISSUE
ARCHITEC	\	
ARCHITEC		TORUED CARVELL ABOUTECT
DESIGNER		TOPHER CARVELL ARCHITECTS
DEGIGINEI	`	WILSON & COMPAN
DATE		WILSON & CONFAIN
		11/11/202
JOB NUME	BER	
		20-600-407-0
DRAWN B	Y	
DRAWN B	Y	TDI
DRAWN B		TDI

17 OF 19

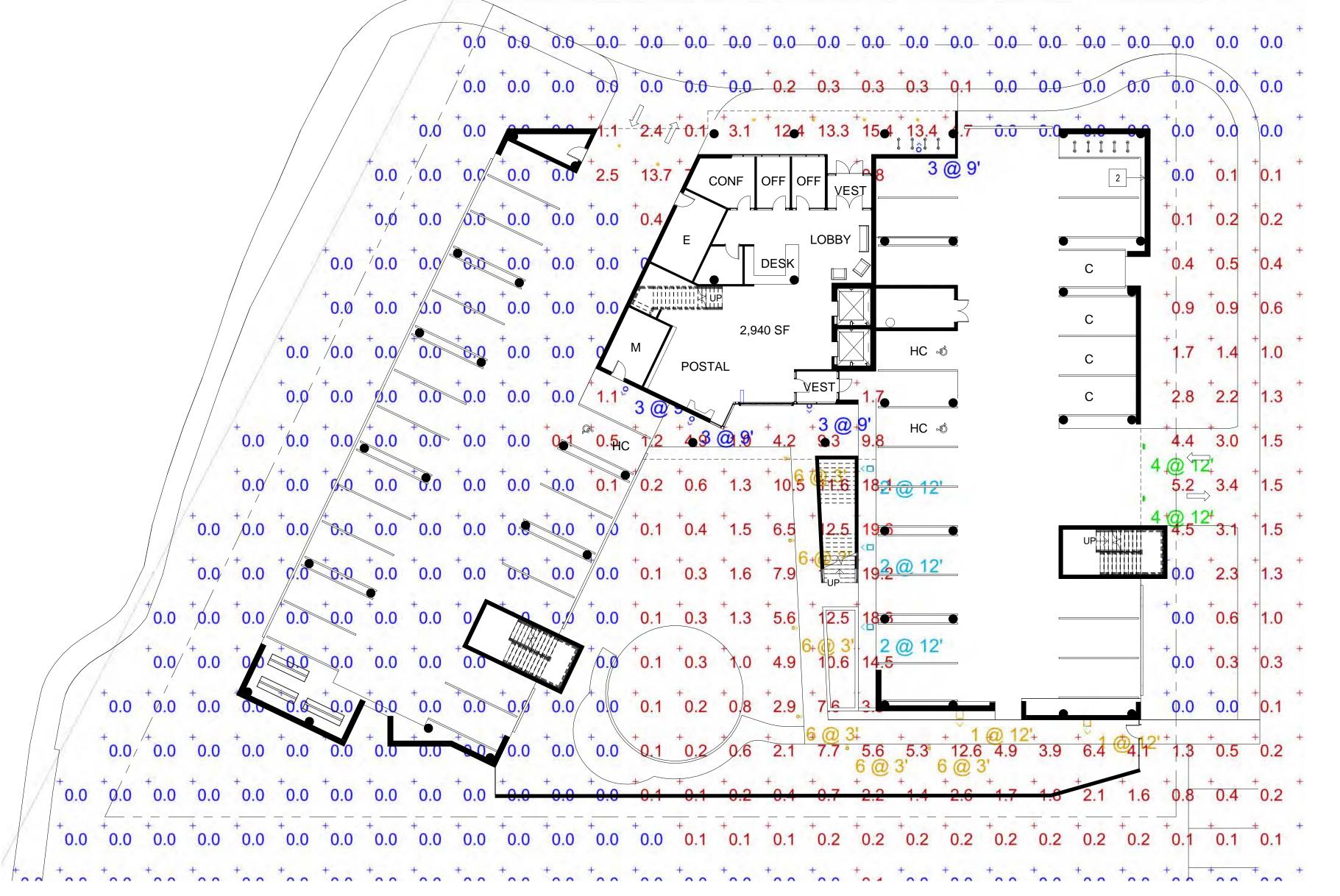
SHEET#

chedule Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplie r	LLF	Wattage	Efficiency	Distribut ion	Polar Plot	Notes
0	5		6	Lithonia Lighting	LDN6 35/15 LO6AR LSS	6IN LDN, 3500K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80		1	LDN6_35_15_L O6AR_LSS.ies	1494	1	1	17.52	100%	DIRECT, SC- 0=1.02, SC- 90=1.03	Max: 1550cd	
	4		2	Lithonia Lighting	DSXW1 LED 20C 530 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 530mA.	LED	1	DSXW1_LED_2 0C_530_40K_T 3M_MVOLT.ies	4287	1	1	34.9	100%	TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G2		
^	1		2	Rebelle	6003-32L-4K-T3	6003LED (also 6003U, 6003Z)	Luxeon M	4	6003-32L-4K- T3.IES	789	1	1	32	79%		Max: 1281cd	
	2		3	Rebelle	6004-101L-12-4K	6004LED (Also 6004U, 6004Z, 6018 and 6020*)	Luxeon M	12	6004-101L- T4.IES	773	1	1	101	85%		Max: 3665cd	
0	3		4	WAC Lighting	WS-W65607 A121715	WALL MOUNTED	BXRE-30G1000-B-23	1	I_WS- W65607.IES	849	1	1	17	100%		Max: 5555cd	
0	6		6	WE-EF USA	638-6322	ZFY230 LED-FT, Bollards and Pathway Luminaires ZFY230 [C60] IP66:LED-FT- 17W/4K;ZFY230 LED-FT, Bollards and Pathway Luminaires	LED, Fortimo, Neutral White LEDLUMENS=3010.0 Im, LEDS No=1, TOTALLUMENS= 3010.0 Im, Tc=25° LEDLUMENS=1113.9 Im, LEDS No=1, TOTALLUMENS= 1113.9 Im, Ta=25°C		638-6322.ies	1114	1	1	20	100%		Max: 488cd	

		L		Alm						
lo.	Label	X	Y	z	мн	Orientation	Till	×	Y	z
1	1 -	70.75 -5	4.25 1	2.00 12	.00 1	8.41	0.00	-70.75	-54.25	0.00
2	1 -	99.50 -5	2.50 1	2.00 12	.00 18	0.00	0.00	-99.50	-52.50	0.00
1	2	-119.75	3.00	12.00	12.00	270.00	0.00	119.75	3.00	0.00
2	2 -	19.75 -	4.75 1	2.00 1	2.00 2	70.00	0.00	-119.75	-14.75	0.00
3	2 -	19.75 -	32.75 1	2.00 1	2.00 2	70.00	0.00	-119.75	-32.75	0.00
1	3	-108.78	75.03	9.00	9.00	5.04	0.00	108.78	75.03	0.00
2	3	-133.48	17.17	9.00	9.00	180.59	0.00	-133.48	17.17	0.00
3	3	-160.00	14.25	9.00	9.00	207.47	0.00	160.00	14.25	0.00
1	4	-58.00	-3.75	12.00	12.00	90.00	0.00	-58.00	-3.75	0.00
2	4	-58.00	8.00	12.00	12.00	90.00	0.00	-58.00	8.00	0.00
1	5	-176.45	75.88	10.00	10.00	0.00	0.00	-176.45	75.88	0.00
2	5	-167.74	71.71	10.00	10.00	0.00	0.00	167.74	71.71	0.00
3	5	-146.02	81.79	10.00	10.00	0.00	0.00	146.02	81.79	0.00
4	5	-132.52	81.79	10.00	10.00	0.00	0.00	-132.52	81.79	0.00
5	5	-121.02	81.79	10.00	10.00	0.00	0.00	-121.02	81.79	0.00
6	5	-109.02	81.79	10.00	10.00	0.00	0.00	109.02	81.79	0.00
1	6 -	106.41 -	0.16 3	00 3.0	0	0.00	0.00	-106.41	-60.16	0.00
2	6 -	24.91 -	0.16 3	00 3.0	0	0.00	0.00	-124.91	-60.16	0.00
3	6 -	36.05 -	2.97 3	00 3.0	0	90.00	0.00	-136.05	-52.97	0.00
4	6 -	37.05 -	32.97 3	00 3.0	0	90.00	0.00	-137.05	-32.97	0.00
5	6 -	37.80 -:	3.22 3	00 3.0	0	90.00	0.00	-137.80	-13.22	0.00
6	6	-138.80	5.28	3.00	3.00	90.00	0.00	-138.80	5.28	0.00
11	3	-175.00	21.00	9.00	9.00	207.47	0.00	175.00	21.00	0.00

Statistics										
Description S	ymbol	Avg	Max	Min	Max/ Min	Avg/ Min				
Calc Zone #1	+	1.1 fc	19.6 fc	0.0 fc	N/A	N/A				





1 SITE PHOTOMETRIC PLAN - LEVEL 01 1/16" = 1'-0"

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

WILSON &COMPANY 990 S. BROADWAY, SUITE 220 **DENVER, CO 80209** 303.297.2976

PROFESSIONAL CORPORATION 3461 RINGSBY COURT #310 DENVER, COLORADO 80216 | 720.689.2333 WWW.CARVELLARCHITECTS.COM

KYLE.GODWIN@WILSONCO.COM



1615 California Street Suite 411, Denver 80202 landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

		4
NUMBER	DATE	ISSUE
4 D Q UTE (
ARCHITEC		TOPHER CARVELL ARCHITECTS
DESIGNER	₹	
		WILSON & COMPANY
DATE		
		11/11/2022
JOB NUME	BER	
		20-600-407-00
DRAWN B	Y	
		ECJ
CHECKED	BY BY	

PHOTOMETRIC PLAN

18P OF 19

Streamline 6003LED Mini Direct Wall Mount Downlight INTERIOR/EXTERIOR

MODEL	WALLS	COLOR TEMPERATURE	VOLT	DISTRIBUTION	OFTIONS	COLO	OR.
6003	321 ×	3K (000)	1201	T2 (p) // romposition	DIM CONTRACTOR	WT	- 1 mp
		36K 0	208	T3 on All reconnections		BT	B BONO
		4K- // //	240	T4 (p. 12.00000000)		ME	1/2
		6K	277			AN	angolmoreo
			347+			BZ	CHANGE OF THE PARTY OF THE PART
						GM	(mpmuta)
						Ws	owwer vitte
						BM	Charles (Albania

*Standard.crof/guretron orness otherwise specified ** Delivered homens (4000KL) ** Consult factory

SAMPLE CATALOG NUMBER: 6003 - 32L - 4K - 120 - T2 - WT Lising this catalog number would order 1 model 6003 mini direct wall mount downlight with a 32 watt, 4000K light engine wired to 120 volts, with type 2 distribution. pointed white texture polyester powder cost

CONSTRUCTION MOUNTING OPTICAL PROTECTION The 6003LED series is designed for The 6003LED opecal system is The 6003LED is CSA/UL listed for Adjustation to prousing Cast wall mounting over a recessed F3 aptimized to provide an reymmetric use in well ocations. alliminum Driver enclosure: Cast punction box which is located persitted. area light distribution with full outoff. to the luminaire back on the center classification LEDs are report for 50,000 hour did aluminum with top cover plate. Lens: Solite, tempered glass in captive with lumen maintenance > 70% line. The luminaire mounting plate is: secured to the mounting surface. outside of the FS box location and Electrical Components
Light engine: Aluminum core PCB the furnishers is hooked on the plate and secured with set screws on the each with 4 Luxeon 'M' emitters and bottom. Silicone sealant is required in-

Winderleigning row
 0 2017 REBELLE - Altrights reserved. - Rt7 - Spocifications submit to share an enhancement.

Specifications

Luminaire

A LITHONIA

COMMERCIAL EUTDOOP

Ledil Strata - SQ optics: Driver, High

efficiency, <20% THD, >90% PF

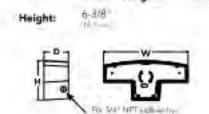
D-Series Size 1 LED Wall Luminaire

wet locations along back and down

Maximum fixture weight 11 ltts.

sides to keep moisture out of wiring

Back Box (BBW, ELCW)



Introduction The D-Series Wall luminaire is a stylish, fully

exceptionally illuminated.

integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are

Sec. 2/15/2

RAL

OSXW1 LED							
ir-	LEE	Direction	Directosperson	Ottober	1.0 -	Mental C	Enjoya a
DSXW(LED	10¢ to ten 	350 750 mA 530 550 mA 780 700 mA 1900 1000 mA (1 A)	JBK EDOOR 40K ADOOK 50K SDOOK AWBPC Ambrig phosphor converted	Nedara	MWOLT ² 120 / 208 ¹ 240 / 277 ² 347 ²¹ 686 ²²	Shipped included (1) 2 (A) Section (1) Sec	Shipped installed PE Procedure Led Personage DNG D-by occurations public emidentation (F) Isoland an esterna control obtained establish PR ISOland an installed legal array, (1) might PRINTES William for the first control of 10 million of the first control
BF Date	alled efine (120, 27) et 64 efine (25), 240 os 60 erioestield ate tuge pretenniñ (ODL DHA	erately 004 exercisples 081 guird 067 eddropless 049	O Stat.	DSSAD DOBTND DELEND DWATAD	feature blass	DWHGAD Textured services DSSTND Textured services
ELEVERA 4	essories 1	2 MVGLT de- 3 Single fuer! 4 Only available 5 Back tiex shi 6 Microsonin 7 Malanassa A 8 Cold evails	in specimen on any line of SFI requires 120, 277 or la seth 20C, 100mA or 1 pp installed on facture. Co of (PE) requires 120, 20E, latice Sensor lable on po in (20C) relead. Not compose a with SPO.		DRI requires PRIH. be orbited to National Not on	or scenney. with motion demicratility stable with BBW mounts.	th sersion (FB) or INRH) To option: Not available with faving, Not evaluate even 347 or

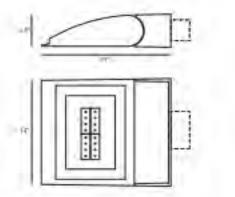
11 Alex motable as a separate accessory, seq-Accessores information.

© 2013 (2001) Anally Brands Lighting, Inc. All rights reserved.

One Ultronis Way . Curyen, Georgia X012 . Phone, 1-805-705-SERV (7378) .

12 Not projekts with SLCW.





EXTERIOR

LDN6

6" OPEN and WALLWASH LED

New Construction Downlight

BM TIME RAL

Streamline	6004L	ED Mic	di Direct	Wall	Moun
Streamline	6004L	LED Mic	di Direct	Wall	Moun

WWITE:	COLOR TEMPERATURE	VOLT	DISTRIBUTION	DETIONS	COLOR
- 134L + 1 1 (10000000)	3K 00	120*	T2 - ///// (U/////////////////////////////	DM O DOW	WCT
deal I com	35K - 010	208	T3 - year Waldermanners		BT' TE HOUSE
101L = (0.0 mm)	4K (000)	240	T4 yard/managem		SM W
	5K	277			AN augulmuraamar
		947+			BZ' //////
					GM manual
					Wis who you

*Slandard.configuration owness otherwise specified: *Consult factory: Detvered noneris (4000K)

SAMPLE CATALOG NUMBER: 6004LED = 134L - 4K - 120 - T2 - WT Using this catalog number would order 1 model 6004LED midlidrect wall mount luminaire with a 134 watt, 4000K light angine with type (i distribution, wired to 120

volts, painled white termine polyester or	owder coal		
CONSTRUCTION	MOUNTING	DPTICAL	PROTECTION
Materials Adjustable temp housing Casil altiminum. Driver enclosure: Cast altiminum with top cover piate. Light engine enclosure: Cast altiminum sualed to lens frame. Lens: Clear, bimpered glass in cast altiminum gasketed frame. Electrical Components Light engine: Altiminum core PCB- each with 4 Luxeon "M" amilters and	The 6004LED series is designed for wall incunting over a 4" octagonal j-box. A heavy gauge mounting plate attaches to the wall surface. Head hooks on to the mounting plate and locks in place with two stainless steel set screws. Stippone seal is required along the hop of the drivel compartment and down sides to exclude moisture from artering driver compartment. Maximum fixture weight is 32 the	The 6004LED optical system is type it. Ith or IV with a full cutoff classification.	The 6004LED is listed for use in willocations to UL and CSA standard LEDs are rated for 50,000 hour (it with lumen maintenance is 70% (L70).

0.3017 REBELLE Altrights reserved. Rt7. Specifications subsect to characteristics and protection of the contract of the contra



efficiency, <20% THD, >90% PF

FEATURES & SPECIFICATIONS INTENDED USE - Typical applications include corrinors, tolities, conference rooms and private offices. CONSTRUCTION - Salvanined steel mounting/plaster frame, galvanized steel junction box with Bottom-Binged access covers and spring latches. Reflectors are retained by foreign springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" will adjustment. Two confiliration 1/2-3/4" and four 1/2" knockputs for straight-through conduit runs. Capacity: 8/4 in, 4 matt. No. 12 AWG conductors, rated for 90°C. . Accommodates 17"-24" just sparing. Passive crolling thermal management for 25°C standard: high arabient (40°C) option available. Light

engine and drivers are accessible from above or below teiling. Wax ceiling thickness 1-1/2" OPTICS - LEDs are his med to a 3-step SDCM; 80 CBI minimum. LED light source concealed with diffusing optical lens General illumination lighting with 1.0 S/MH and 55" outoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse fronties. Also available in white and black pointed reflectors.

ELECTRICAL - Multi-way (120-277V, 50/60Hz) 0-10V dimming drivers measured to junition box, 10% or 1% minimum dimming level assistable. 0-10% diversion fightire requires two (2) additional law-vollage wires to be pulled. 70% lamen maintenance at 50,000 hours. LISTINGS - Certified to US and Caruchan safety standards. Damp location standard livet inention.

-covered coding optional). ENERGY STAR* contified product. WARRANTY - 5-year Errited warranty. Mate: Actual performance may differ as a result of end-user environment and application. All kalues are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



LISING					
Series	Color temperature	lanes'	Aperture/Trim Color	Finish.	Veltage
COME Witsend	27/ 2700K 30/ 2600N 35/ 1500K 40/ 4600K 50/ 5000K	05 500 liamens 25 2500 liamens 12 1000 liamens 10 3000 liamens 15 1500 liamens 40 4000 liamens 20 2000 liamens 50 5000 liamens	LWG Walinath WR' Write BR' Black	LSS Semi-specular LD Mailte-diffuse LS Specular	##FOLT Musti-volt 120 1204 271 277V 347 347V

Driver	Options.		
6210 0-10V driver dans to 10% 621 0-10V driver dans to 1% E270 0-10V elected driver with smooth and flicker fine deep darmatic performance down to 10% E21 1-10V elected driver with smooth and flicker free deep darming performance down to 1%	1804 Single lase 1806 White painted flange 1801 Black painted flange 1801 Emergency battery pack with integral test sw 1801 Emergency battery pack with self-diagnostic 1805 Emergency battery pack with self-diagnostic 1806 Emergency battery pack with self-diagnostic 1806 Emergency battery pack with self-diagnostic 1806 Emergency battery pack, 1806 Constant Powe with integral test switch 1806 Emergency battery pack, 1806 Constant Powe with remote test switch 1806 PR Interpency battery pack, 1806 Constant Powe with remote test switch 1806 PR Interpency battery pack with 0-10 drivers (6210, 621). Bit controls finitures on en	itch s, integral test switch c, reserve test switch er, CA Title 20 compliant er, CA Title 20 compliant W dimming for non-exhalf W dimming for non-exhalf W dimming for non-exhalf	ntight" Lumen Compensation relight" dimming pack controls 0-10V endotEU threes, (E210, E21). relight" dimming pack controls 0-10V endotEU threes, (E210, E21). relight armined pack controls 0-10V endotEU threes, (E210, E21). High ambient aption Charage Pienum West Location, specify for extenior use applications. RELOC* ready turninaire connectors enable animple and consistent factory installed aption across all AEL turninal brands. Refer to RRL for complete momencianus. Available only in RRLA, RRLE, RRLAE, and RRLC(E2). relight "Air enabled in light" Air enabled relight "Air Dimming Pack Wireless Controls. Controls foctures on emergency drout US point of manufacture.

lccessories:	Order or separate catalog parador.	Hotes 1 Decrait tempte varies become turner diremanual charter page 1 3 Not available with this best
	375 Compact interruptible emergency AC planer system 125 Compact interruptible envergency AC power system Oversized trins ring with &" outside diameter." Stoped ceiling adapter,	Not resident unit consequent option Not resident unit consequent option Not specify witings 120% in 277% Not suit of section of Mill reflections Add "55" in real-diagnostic option Specify witings, 60 for consequent Unit regular an exemple is you read

■QWINIDHTING

AFSBOEZ or MPSBAEZ ER. Drity available with ELTO and ELT 9. Wet avoid bit lewith CP, WESSOEZ, MPS BUEZER, MPP NGD, APPTODER or RECoptions.

ID. ALEXNE's and RELINATERS and recommended for metal coding.

marketon.

Fitareheight is 65° for of himen packages with HAD. III JALVANWI MI

WAC LIGHTING

Mod				
5" Outdoor W	all Sconce 3000	K		
Medel & Size > WS-W65607	Color Temp & CRI 3000K	Watt 15.5W	Valvage 120-277 VAC	

Example: WS-W65607-BK DESCRIPTION Expertly crafted from die-cast aluminum. The Mod family features a smooth curved modern shape. ADA Compliant and Dark Sky friendly. Ideal for exterior residential, hospitality and commercial applications.

FEATURES · Weather resistant powder coat finish . Low profile with effective path illumination · Light engine is factory sealed for maximum protection from the elements · Griver contealed within the lixture 5 year warranty

SPECIFICATIONS Input: 120-277 VAC 50/00Hz

CRI:

ELV: 100:10% Rated Life: 70000 Hours Can be mounted on wall in all orientations ETL, cETL, IP65, Title 24 JA8-2016 Compliant Wet Location Listed



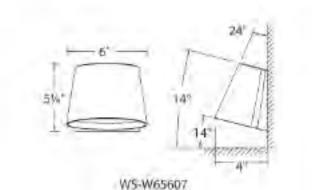
Foxture Type:

Project:

Location:

Delivered Lumens

Aluminum hardware with glass diffuser



waclighting.com | Phone (800) 526 2588 | Fax (800) 526,2585 | Headiquarters/Eastern Distribution Center 44 Harbor Park Drive Port, Washington, NY 11050 THE STATE OF THE PROPERTY OF T

ZFY230 LED-FT

Bollards and Pathway Luminaires



LED -60,000 h Ta 25"(L70/B1b) Control guar >56,000 in Ta 25"

Material Specification	
Body:	Minne-grade at aluminium construction
tens	Fulycarbosate lens
Colours	RALS004 Black BALS007 Grey Metallic RALS016 White RALS019 Dark Brenze
3 specsheet (DuickShipUS	Duickship features a one week ship time for Steplights and two week ship time for the rest of our Core products. All applicable information must be included for order to be processed and colors must be in one of our 4 standard finishes. A maximum order quantity of 30 pieces applies.
Gasket	Silicone DEG® Controlled Compression Gasket
astenera.	PCS Pulyme: Dosted Stainless Steel Handware
ingrass protection:	IPG8
ropact protection	IK10
Corresion protection:	5CE
Listings.	ETL Listed. Scitable for wet locations.
Electrical Specification	
Power supply:	Integral IECG) electronic driver (207-277Y, 0-10Y dimmable, to be specified with order,
Diver/Bailest	linegral EC discoveric converter

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, ____DAY OF _

DEPARTMENT OF COMMUNITY DEVELOPMENT

410-D Repstora Bring (Water - #48 EA (5000 1.0 5.4) (Tall 1) 7/4 (44 (0.0)) Focc (774 7/4) (E.F.) Information - #70000 - #70000 - #70000 (77.65/50/07) (2.55)

WILSON &COMPANY 990 S. BROADWAY, SUITE 220 **DENVER, CO 80209** 303.297.2976





1615 California Street Suite 411, Denver 80202 landscape architecture urban design planning phone: 303.456.2887 web: www.britina.com

NUMBER DATE ISSUE CHRISTOPHER CARVELL ARCHITECTS DESIGNER WILSON & COMPANY 11/11/2022 JOB NUMBER 20-600-407-00

DRAWN BY

CHECKED BY

PHOTOMETRIC **DETAILS**

19P OF 19