

SP CROSSING AT 7190 COLORADO BOULEVARD

PUD DEVELOPMENT PERMIT

SUBDIVISION SOUTH PLATTE CROSSING, TOWNSHIP 3 SOUTH, NORTHWEST QUARTER OF SECTION 6, RANGE 67 WEST OF THE 6TH P.M.
STATE OF COLORADO, COUNTY OF ADAMS, CITY OF COMMERCE CITY

LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESETS THAT ADAMS TOWER NP CENTER LLC BEING THE (OWNER) OF THAT PART OF THE ENTIRE PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; TO WIT; BEGINNING AT BASIS OF BEARING: THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, AS NOTED ON THE "COLO CON SUBDIVISION" RECORDED OCTOBER 19, 1971 UNDER RECEPTION NO. 938931 OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE. COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 6; THENCE NORTH 89°55'00" EAST ALONG THE NORTH LINE OF SAID NORTHWEST 1/4, A DISTANCE OF 512.40 FEET TO A POINT THAT IS THE NORTHEAST CORNER OF PLOT 5 OF ADAMS COUNTY POULTRY FARMS, RECORDED MARCH 19, 1923 UNDER RECEPTION NO. 90239 IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE; THENCE SOUTH 00°02'30" EAST ALONG THE EAST LINE OF SAID PLOT 5, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING, SAID POINT IS ALSO THE NORTHEAST CORNER OF COLO CON SUBDIVISION, A RESUBDIVISION OF SAID PLOT 5, RECORDED OCTOBER 19, 1971 UNDER RECEPTION NO. 938931 OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE; THENCE SOUTH 00°02'30" EAST, CONTINUING ALONG SAID EAST LINE A DISTANCE OF 597.78 FEET TO A POINT THAT IS 664 FEET NORTH OF THE SOUTHEAST CORNER OF PLOT 7 AND ON THE EAST LINE OF PLOT 7 OF SAID ADAMS COUNTY POULTRY FARMS PLAT; THENCE SOUTH 89°55'00" WEST, PARALLEL WITH THE SOUTH LINE OF SAID PLOT 7, A DISTANCE OF 257.80 FEET, TO A POINT THAT IS ON THE WEST LINE OF SAID PLOT 7 AND 664 FEET NORTH OF THE SOUTHWEST CORNER OF SAID PLOT 7; THENCE NORTH 00°02'30" WEST ALONG THE WEST LINE OF SAID PLOT 7, A DISTANCE OF 176.00 FEET, TO A POINT THAT IS THE NORTHWEST CORNER OF SAID PLOT 7; THENCE SOUTH 89°55'00" WEST, ALONG THE SOUTH LINE OF SAID PLOT 5 OF SAID ADAMS COUNTY POULTRY FARMS PLAT, A DISTANCE OF 214.32 FEET TO A POINT THAT IS ON THE EASTERLY RIGHT OF WAY OF STATE HIGHWAY NO. 2, AS STATED IN THE LEGAL DESCRIPTION OF SAID COLO CON SUBDIVISION; THENCE ALONG THE SAID RIGHT OF WAY AS NOTED ON SAID COLO CON SUBDIVISION THE FOLLOWING THREE COURSES:

- 1) NORTH 25°28'53" EAST, A DISTANCE OF 245.25 FEET;
- 2) NORTH 37°33'00" EAST, A DISTANCE OF 2.70 FEET TO A POINT OF NON-TANGENT CURVE;
- 3) ALONG THE ARC OF A CURVE TO THE LEFT WHOSE RADIUS POINT BEARS NORTH 53°03'09" WEST, HAVING A DELTA OF 13°01'42", A RADIUS OF 1015.00 FEET, A DISTANCE OF 230.40 FEET TO A POINT THAT IS 30.00 FEET SOUTH, BY PERPENDICULAR MEASUREMENT, OF THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 6; THENCE NORTH 89°55'00" EAST, PARALLEL WITH SAID NORTH LINE, A DISTANCE OF 248.00 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO. CONTAINING 198,701 SQUARE FEET OR 4.562 ACRES OF LAND, MORE OR LESS.

KNOW ALL MEN BY THESE PRESETS THAT ADAMS TOWER NP CENTER LLC BEING THE (OWNER) OF THAT PART OF THE REMAINDER PROPERTY PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; TO WIT; BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD, WHENCE THE NORTHWEST CORNER OF SECTION 6 BEARS N26°04'52"W, 296.71 FEET, SAID POINT BEING THE POINT OF BEGINNING; THENCE ALONG THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD FOR THE NEXT THREE (3) COURSES:

- 1) N25°03'03"E, 41.14 FEET;
- 2) N37°07'10"E, 2.70 FEET TO A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1,015.00 FEET, AND A LONG CHORD OF N30°00'10"E, 230.30 FEET;
- 2) NORTHEASTERLY, A DISTANCE OF 230.80 FEET ALONG SAID NON-TANGENT CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 13°01'42" TO THE SOUTHERLY RIGHT-OF-WAY LINE OF 72ND AVENUE;

THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF 72ND AVENUE, N89°29'10"E, 248.00 FEET TO THE NORTHEAST CORNER OF COLO CON SUBDIVISION, A RESUBDIVISION OF SAID PLOT 5, AS RECORDED OCTOBER 19, 1971 UNDER RECEPTION NO. 938931 OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE; THENCE ALONG SAID EAST LINE OF SAID COLOCON SUBDIVISION, S00°28'20"E, 597.78 FEET TO A POINT THAT IS 664 FEET NORTH OF THE SOUTHEAST CORNER OF PLOT 7 AND ON THE EAST LINE OF PLOT 7 OF SAID ADAMS COUNTY POULTRY FARMS PLAT; THENCE S89°29'10"W, 257.80 FEET PARALLEL WITH THE SOUTH LINE OF SAID PLOT 7, A DISTANCE OF 257.80 FEET, TO A POINT THAT IS ON THE WEST LINE OF SAID PLOT 7 AND 664 FEET NORTH OF THE SOUTHWEST CORNER OF SAID PLOT 7; THENCE ALONG THE WEST LINE OF SAID PLOT 7, N00°28'20"W, 176.00 FEET; THENCE N89°29'10"E, 28.44 FEET; THENCE N00°30'50"W, 175.02 FEET; THENCE S89°29'10"W, 135.25 FEET; THENCE N65°24'34"W, 21.46 FEET TO THE POINT OF BEGINNING. CONTAINING 163,431 SQUARE FEET OR 3.752 ACRES, MORE OR LESS.

KNOW ALL MEN BY THESE PRESETS THAT ADAMS TOWER NP CENTER LLC BEING THE (OWNER) OF THAT PART OF THE WITHDRAWAL PROPERTY PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; TO WIT; BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD, WHENCE THE NORTHWEST CORNER OF SECTION 6 BEARS N26°04'52"W, 296.71 FEET, SAID POINT BEING THE POINT OF BEGINNING; THENCE S65°24'34"E, 21.46 FEET; THENCE N89°29'10"E, 135.25 FEET; THENCE S00°30'50"E, 175.02 FEET; THENCE S89°29'10"W, 28.44 FEET TO THE NORTHEAST CORNER OF PLOT 6, ADAMS CITY POULTRY FARMS; THENCE S89°29'10"W, 214.32 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF COLORADO BLVD; THENCE ALOGN THE EASTERLY RIGHT-OF-WAY LINE OF COLORADO BOULEVARD, N25°03'03"E, 204.11 FEET TO THE POINT OF BEGINNING. CONTAINING 35,270 SQUARE FEET OR 0.810 ACRES, MORE OR LESS.



VICINITY MAP

SCALE 1" = 200'

BASIS OF BEARINGS

BEARINGS USED HEREIN ARE BASED ON THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 6, BEING N89°28'39"E, AS MONUMENTED AT THE WEST BY THE NORTHWEST CORNER OF SECTION 6 TOWNSHIP 3 SOUTH, RANGE 67W, OF THE 6TH P.M. FOUND 3.25" ALUMINUM CAP, PLS 24673 IN RANGE BOX. AND MONUMENTED AT THE EAST BY THE NORTH QUARTER CORNER OF SECTION 6 TOWNSHIP 3 SOUTH, RANGE 67W, OF THE 6TH P.M.FOUND 3.25" ALUMINUM CAP, ILLEGIBLE IN RANGE BOX.

BENCHMARK

COUNTY OF ADAMS BENCHMARK 257, BEING A ROD IN MONUMENT BOX, WEST SIDE OF COLORADO BLVD, NORTH OF EAST 64TH AVE.. HAVING AN ELEVATION OF 5143.49 FEET (NAVD 88).

PUD

THIS PROJECT IS A PART OF THE SP CROSSING PUD ZONE DOCUMENT, CASE NUMBER Z-966-21, RECEPTION NUMBER 2021000030031.

ASSESSOR'S PIN

0182306205030

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CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2022.

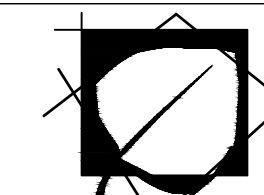
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SP CROSSING AT 7190 COLORADO BOULEVARD PUD DEVELOPMENT PERMIT

COMMERCE CITY, COLORADO

NUMBER	DATE	ISSUE

ARCHITECT
CHRISTOPHER CARVELL ARCHITECTS

DESIGNER
WILSON & COMPANY

DATE
11/11/2022

JOB NUMBER
20-600-407-00

DRAWN BY
TDP

CHECKED BY
KMG

TITLE
COVER SHEET

SHEET #

01 OF 19

GENERAL NOTES - CONSTRUCTION

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST "STANDARDS AND SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS" BY COMMERCE CITY. COPIES OF THE COMMERCE CITY STANDARDS AND SPECIFICATIONS MAY BE OBTAINED FROM THE CITY WEB SITE. CONTRACTOR SHALL HAVE A SET ON SITE AT ALL TIMES.
- THE OWNER SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COMMERCE CITY STAFF AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THOSE IN ATTENDANCE SHALL INCLUDE THE OWNER, HIS ENGINEER, THE COMMERCE CITY ENGINEERING STAFF, REPRESENTATIVES OF THE CONTRACTORS AND OTHER AFFECTED AGENCIES. PLANS SIGNED AND SIGNED BY THE CITY WILL BE DISTRIBUTED AT THE PRE-CONSTRUCTION MEETING. CONTRACTOR SHALL HAVE (1) COPY OF THE SIGNED PLANS ON SITE AT ALL TIMES.
- COMMERCE CITY, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. THE OWNER AND DESIGN ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THE DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THE DOCUMENT. REPORT ALL DISCREPANCIES TO THE DESIGN ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY/ALL WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS AS NECESSARY. A COPY OF ALL AGREEMENTS SHALL BE PROVIDED TO THE TOWN. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE COMMERCE CITY ENGINEERING STAFF. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO CITY STANDARDS AND SPECIFICATIONS. INSPECTIONS AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE BY THE CITY ENGINEERING STAFF OR THE CONTRACTORS "CONTRACTUAL COMMITMENT. REQUESTS FOR INSPECTION BY COMMERCE CITY SHALL BE MADE BY THE CONTRACTOR A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE.
- CONSTRUCTION WATER IS AVAILABLE TO THE CONTRACTOR AS ESTABLISHED IN THE COMMERCE CITY STANDARDS AND SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT COMMERCE CITY REGARDING CURRENT REGULATIONS, FEES, AND REQUIRED AGREEMENTS RELATED TO THE PROVISION OF CONSTRUCTION WATER.
- THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE AFFECTED UTILITY COMPANIES AND SHALL NOTIFY THE UTILITY NOTIFICATION CENTER, PHONE NUMBER 811, FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE COMMERCE CITY ENGINEERING STAFF AND DESIGN ENGINEER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL NOTIFY THE COMMERCE CITY ENGINEERING STAFF OF ANY PROBLEM IMPACTING WATER AND WASTE WATER FACILITIES THAT WOULD POTENTIALLY REQUIRE A VARIANCE FROM THE APPROVED PLANS AND SPECIFICATIONS. ANY VARIANCE FROM THE APPROVED DOCUMENTS SHALL BE AT THE SOLE DISCRETION OF THE COMMERCE CITY ENGINEERING STAFF.
- CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE SPECIFICATIONS AND PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.
- AS-BUILT DRAWINGS AND A CD INCLUDING AUTOCAD AND PDF FILES, AS REQUIRED IN THE SPECIFICATIONS, ARE TO BE SUBMITTED BY THE OWNER/DEVELOPER PRIOR TO SUBSTANTIAL COMPLETION/CONSTRUCTION ACCEPTANCE OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ANY EXISTING SIGNS, STRUCTURES, FENCES, ETC., ENCOUNTERED ON THE JOB AND RESTORING THEM TO THEIR ORIGINAL CONDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR:
 - NOTIFYING THE COMMERCE CITY UTILITY CUSTOMERS OF POTENTIAL SERVICE OUTAGES, AND COORDINATE WITH COMMERCE CITY FOR DETERMINATION OF MINIMUM TIME REQUIREMENT.
 - NOTIFYING THE COMMERCE CITY ENGINEERING STAFF IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP. THE CONTRACTOR SHALL NOTIFY THE CITY FORTY-EIGHT (48) HOURS PRIOR TO RESTART.
 - IN THE EVENT OF AN AFTER HOURS EMERGENCY, CALL CCC.
 - NOTIFYING THE FIRE PROTECTION DISTRICT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TAKEN OUT OF SERVICE A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO INSTALLATION OF UTILITY MAINS, ROAD CONSTRUCTION MUST HAVE PROCESSED TO AT LEAST THE "SUB-GRADE" STAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. A CONSTRUCTION DEWATERING PERMIT MUST BE OBTAINED FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE). GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION OF ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THE PLANS. THE USE OF ANY SANITARY SEWER TO DISPOSE OF TRENCH WATER WILL NOT BE PERMITTED. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AND AGREED UPON BY THE CONTRACTOR, COMMERCE CITY, AND THE DESIGN ENGINEER AT THE TIME OF OCCURRENCE.
- IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO RESOLVE CONSTRUCTION PROBLEMS WITH COMMERCE CITY DUE TO CHANGED CONDITIONS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE CITY, PROPOSED ALTERATIONS TO THE SIGNED CONSTRUCTION PLANS INVOLVE SIGNICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO COMMERCE CITY FOR REVIEW, PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
- DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. COMMERCE CITY OR THE DESIGN ENGINEER EXERCISE NO CONTROL OVER THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGN ENGINEER OR THE CITY. THE COMMERCE CITY ENGINEERING, OR ANY CONTRACTED ENGINEER, ARE NOT RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
- WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FOR ANY PROJECT DISTURBING OVER ONE ACRE FROM BOTH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND COMMERCE CITY.
- EACH TYPE OF CONSTRUCTION SHALL BE COMPLETED BY A CONTRACTOR THAT HAS DEMONSTRATED ACCEPTABLE QUALIFICATIONS TO THE CITY AND IS A LICENSED CONTRACTOR IN COMMERCE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION. ALL TRAFFIC CONTROLS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) LATEST EDITION. A PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.
- ALL BACKFILL SHALL CONFORM TO THE TRENCH DETAIL LOCATED IN THE COMMERCE CITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS, OR MUD TRACKED ONTO EXISTING ROADWAYS.
- THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION.
- THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED DURING HIS OPERATION. RENEWAL OF PAVEMENT STRIPING AND MARKING SHALL BE DONE IN CONFORMANCE WITH THE COMMERCE CITY STANDARD SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY MEASURE NECESSARY TO COMPLY WITH ANY STATE, COUNTY OR CITY DUST CONTROL ORDINANCE.
- CONSTRUCTION VEHICLES SHALL USE TRUCK ROUTES DESIGNATED BY THE CITY.
- THE OWNER/DEVELOPER WILL BE HELP RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE IMPROVEMENTS FOR A MINIMUM OF TWO (2) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION/CONSTRUCTION ACCEPTANCE OF THE IMPROVEMENTS BY COMMERCE CITY. ANY FAILURE DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE OWNER/CONTRACTOR TO THE SATISFACTION OF COMMERCE CITY AT NO EXPENSE TO THE CITY.
- THE DESIGN ENGINEER SHALL PERFORM SUFFICIENT INSPECTIONS AND SURVEYS DURING GRADING AND CONSTRUCTION SO THAN AN OPINION CAN BE RENDERED AND VERIFIED IN WRITINGS AS TO COMPLIANCE WITH THE PLANS AND CODES WITHIN THE DESIGN ENGINEER'S PURVIEW.
- THE SOILS ENGINEER SHALL PERFORM SUFFICIENT INSPECTIONS DURING GRADING AND CONSTRUCTION SO THAT AN OPINION CAN BE RENDERED AND VERIFIED IN WRITING AS TO COMPLIANCE WITH THE PLANS AND CODES WITHIN THE SOILS ENGINEER'S PURVIEW.

GENERAL NOTES - EROSION AND SEDIMENT CONTROL PLAN

- GENERAL NOTES AND DETAILS FOR THE EROSION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX C OF *CITY OF COMMERCE CITY (DEPARTMENT OF PUBLIC WORKS: ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS)*. ALSO REFERENCE CHAPTER 8 FOR FURTHER INFORMATION.

GENERAL NOTES - ROADWAY

- A CONSTRUCTION (STREET CUT) PERMIT FROM THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS IS REQUIRED PRIOR TO COMMENCING WORK WITHIN THE CITY RIGHT-OF-WAY.
- ANY WORK WITHIN STATE HIGHWAY RIGHT-OF-WAY WILL REQUIRE A CDOT CONSTRUCTION PERMIT IN ADDITION TO A CITY PERMIT.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION WITHIN THE RIGHT-OF-WAY AT TELEPHONE NUMBER (303) 289-8150.
- THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRICADES, FLAG MEN, LIGHTS OR OTHER DEVICES NECESSARY FOR SAFE TRAFFIC CONTROL IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS MODIFIED BY THE COLORADO SUPPLEMENT TO THE MUTCD. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT FOR WORK WITHIN CITY RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. CALL 1-(800) 922-1987 OR 811.
- CONSTRUCTION SPECIFICATIONS: CURRENT EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION HEREAFTER REFERRED TO AS STANDARD SPECIFICATIONS. SPECIAL PROVISIONS AND REVISIONS THERETO AND THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- THE SUBGRADE MATERIAL SHALL BE SCARIFIED OR REMOVED TO A DEPTH REQUIRED BY THE CITY OF COMMERCE CITY ACCORDING TO INFORMATION OBTAINED FROM LABORATORY TESTS AND/OR AS REQUIRED IN THE PAVEMENT DESIGN REPORT. ADDITIVES OR APPROVED MATERIAL MAY BE REQUIRED IF THE NATIVE MATERIAL IS UNSATISFACTORY. THE SUBGRADE SHALL BE COMPACTED TO A MINIMUM DENSITY DETERMINED IN ACCORDANCE WITH AASHTO DESIGNATION T180 OR T99 AND IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS SECTION 203.07 (1991 EDITION OR NEWER).
- SERVICE TRENCHES AND UTILITY MAIN TRENCHES SHALL BE COMPACTED THROUGHOUT THE DEPTH OF TRENCH AS SPECIFIED IN ABOVE NOTE. EXACT EXTENT OF NEW PAVEMENT TO BE INSTALLED FOR A STREET CUT PATCH SHALL BE DETERMINED BY THE CITY CONSTRUCTION INSPECTOR UPON COMPLETION OF ROADWAY EXCAVATION. NEW PAVEMENT SHALL CONFORM TO EXISTING SOUND STRUCTURAL SECTION.

- CLASS 6 AGGREGATE BASE COURSE FOR SHOULDERS SHALL BE PLACED AND COMPACTED TO 100% PROCTOR AFTER PLACEMENT OF ASPHALT.
- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT. CSS-1H TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES, INCLUDING SAW CUTS, POTHOLE, TRENCHES AND ASPHALT OVERLAY.
- STRUCTURAL SECTIONS SHALL BE AS APPROVED BY THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS, WITH PAVEMENT DESIGN IN ACCORDANCE WITH THE CITY OF COMMERCE CITY DEPARTMENT OF PUBLIC WORKS ENGINEERING CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- CONCRETE MAY BE PLACED BY MACHINE METHODS PROVIDED THAT ALL FINISH LINES ARE WITHIN 1/8" TOLERANCE OF THE LINES SHOWN ON THE PLANS. THE FLOWLINE MUST BE FREE DRAINING.
- ONE HALF (1/2) INCH EXPANSION JOINT MATERIAL SHALL BE INSTALLED WHEN ABUTTING ANY EXISTING CONCRETE OR A FIXED STRUCTURE.
- SIDEWALKS AND DRIVEWAYS SHALL HAVE THE NAME OF THE CONTRACTOR AND THE YEAR OF CONSTRUCTION IMPRESSED THEREIN USING BLOCK LETTERS NOT LESS THAN (1) INCH HIGH AND THREE-EIGHTHS (3/8) INCH DEEP IN EACH DRIVEWAY AND EACH END OF CONSTRUCTION, OR A MINIMUM OF EVERY 150 LINEAL FEET OF SIDEWALK.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK BY THE CITY AND SHALL REPAIR OR REPLACE ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK WHICH MAY BE DISPLACED IN SO DOING. THAT MAY PROVE DEFECTIVE IN WORKMANSHIP AND/OR MATERIALS WITHIN THE ONE YEAR PERIOD FROM DATE OF ACCEPTANCE WITHOUT EXPENSE WHATSOEVER TO THE CITY. ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLECT EXPECTED. PRIOR TO INITIAL ACCEPTANCE OF PUBLIC IMPROVEMENTS, THE CITY MAY REQUIRE THE APPLICANT OR HIS CONTRACTOR TO FILE A MAINTENANCE BOND WITH THE CITY IN THE AMOUNT OF FIFTEEN (15) PERCENT OF THE ESTIMATED COST OF CONSTRUCTION OR AN AMOUNT ADEQUATE TO ENSURE THE SATISFACTORY MAINTENANCE AND CONDITION OF THE REQUIRED PUBLIC IMPROVEMENTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF THEIR FINAL ACCEPTANCE AND DEDICATION TO THE CITY.
- NO PORTION OF ANY STREET SHALL BE PAVED WITH THE FINAL LIFT OF ASPHALT UNTIL ALL UTILITIES HAVE BEEN RELOCATED, INSTALLED OR STUBBED TO THE BACK OF SIDEWALK AND ALL STREET LIGHTS RELOCATED AS NECESSARY.
- ANGLE POINTS IN THE CURB AND GUTTER AND ALL POINTS OF GRADE CHANGE NOT WITHIN A VERTICAL CURVE SHALL BE ROUNDED IN THE FIELD TO PRODUCE A SMOOTH GRADUAL CURVE FOR PROPER APPEARANCE.
- SURVEY MONUMENTS. THE STANDARD SURVEY MONUMENT AS SHOWN IN DESIGN STANDARD DETAIL NO. 300-24 OR 300-25 WILL BE INSTALLED AT ALL SECTION AND QUARTER SECTION CORNERS. SURVEY MONUMENTS SHALL BE SET IN ACCORDANCE WITH THE COLORADO REVISED STATUTES, AND AS REQUIRED BY THE BYLAWS AND RULES OF PROCEDURE OF THE COLORADO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS. ALL MONUMENTS SHALL BE SET WITHIN 80 DAYS OF COMPLETION OF STREETS. IF THE MONUMENTS ARE NOT INSTALLED, THE CITY SHALL HAVE THE WORK PERFORMED BY A REGISTERED LAND SURVEYOR AND MAKE A CLAIM AGAINST THE COLLATERAL FOR ALL COSTS INCLUDING ADMINISTRATION AND LEGAL FEES.
- MYLAR COPIES OF "AS BUILT" PLANS SHALL BE SUBMITTED TO THE ENGINEERING DIVISION PRIOR TO INITIAL ACCEPTANCE OF IMPROVEMENTS.
- NO REVISIONS TO THESE PLANS SHALL BE MADE WITHOUT THE APPROVAL OF BOTH THE CITY ENGINEER AND THE DESIGN ENGINEER. ANY REVISIONS OR CHANGES THERETO SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY REQUESTS FOR INSPECTION.
- BENCHMARK. ALL ELEVATIONS SHOWN ON THESE PLANS FOR IMPROVEMENTS OR NOTED ELSEWHERE ARE REFERENCED TO THE BENCHMARK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENT OR BENCHMARK WHICH IS DESTROYED OR DISTURBED. DAMAGED MONUMENT SHALL BE RE-ESTABLISHED AND REPLACED BY A LICENSED LAND SURVEYOR AND A MONUMENT RECORD FILED AS REQUIRED.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, AND THE CITY OF COMMERCE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE ENGINEER, OR THE CITY OF COMMERCE CITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATIONS WITH THE APPROPRIATE UTILITY COMPANY.
- ADJUST RIM OF ALL CLEAN-OUTS, MANHOLES, VALVE CORNERS AND SURVEY MONUMENT COVERS TO FINISH GRADE.
- THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO THE WORK THROUGHOUT PERIOD OF CONSTRUCTION. STREET NAME SIGN PLATES SHALL BE PROVIDED AND INSTALLED BY THE DEVELOPER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. COORDINATE WITH CITY OF COMMERCE CITY TRAFFIC ENGINEERING AT (303) 289-8150.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN ENGINEER OF ANY PROBLEM IN CONFORMING TO THE APPROVED LINE AND GRADE FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE CONSTRUCTION INSPECTOR, PROPOSED ALTERATIONS TO THE APPROVED PLANS INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK OR TO FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE CITY OF COMMERCE CITY FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
- LOCATION OF UNDERGROUND UTILITIES WAS TAKEN FROM THE RECORDS OF THE CONTROLLING AGENCIES. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING IMPROVEMENTS, SIDEWALK, ALLEY OR UTILITY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTling, OR OTHER DAMAGE THAT MIGHT RESULT FROM THE WORK PRESCRIBED ON THIS PLAN. THE LOCAL AGENCY WILL HOLD THE CONTRACTOR RESPONSIBLE FOR CORRECTION OF DAMAGE TO ADJACENT PROPERTY, PUBLIC OR PRIVATE.

GENERAL NOTES - DEVELOPMENT PLAN

- LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- FENCING NOTE: APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.
- DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.
- AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2022.

DEPARTMENT OF COMMUNITY DEVELOPMENT

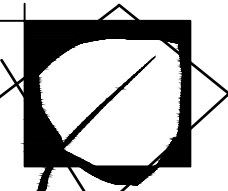
WILSON & COMPANY

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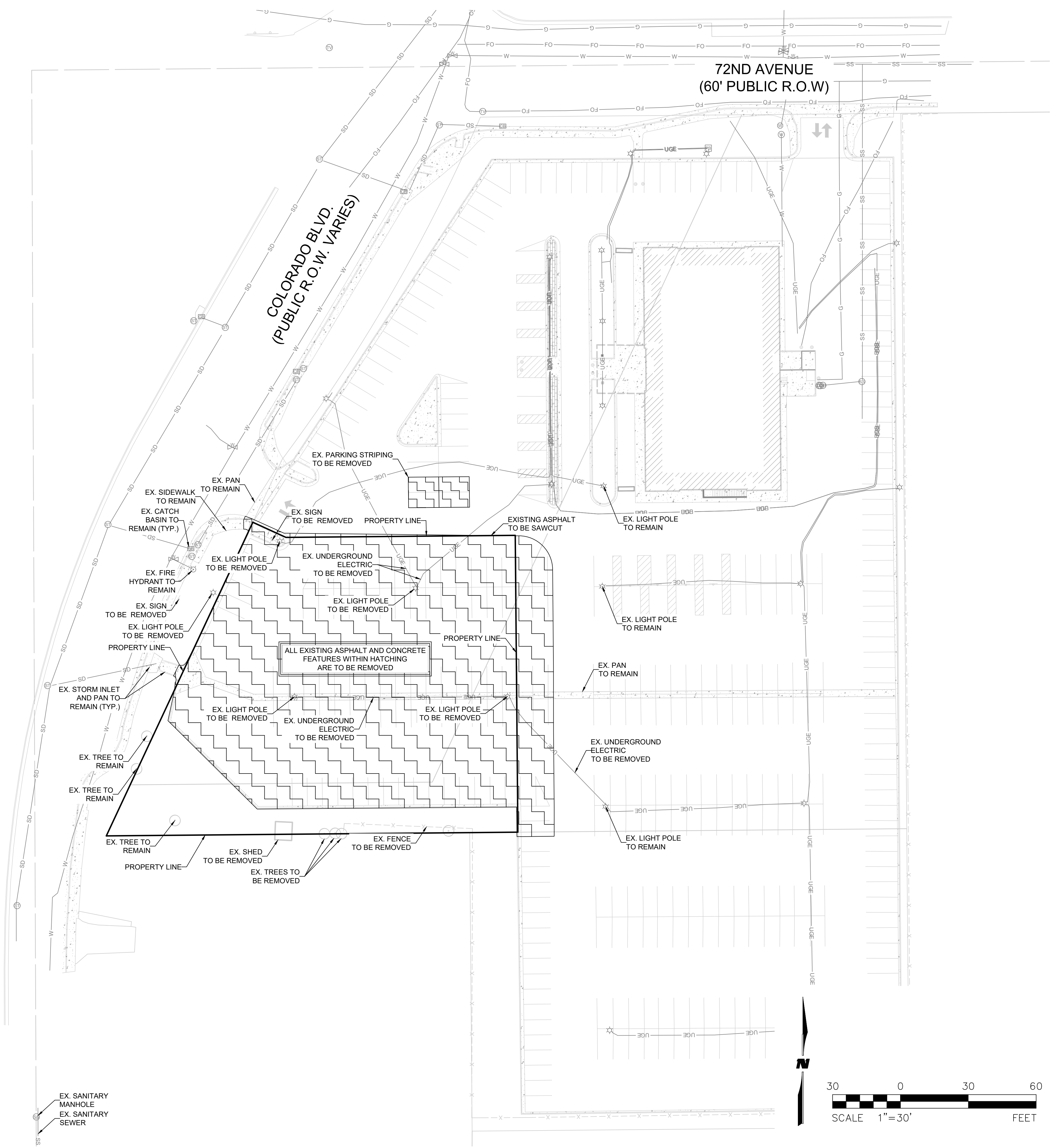


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design group

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**SP CROSSING AT 7190
COLORADO BOULEVARD
PUD DEVELOPMENT PERMIT**
COMMERCE CITY, COLORADO

NUMBER	DATE	ISSUE
ARCHITECT		CHRISTOPHER CARVELL ARCHITECTS
DESIGNER		WILSON & COMPANY
DATE	11/11/2022	
JOB NUMBER	20-600-407-00	
DRAWN BY	TDP	
CHECKED BY	KMG	
TITLE		
GENERAL NOTES		
SHEET #		
	02 OF 19	



ABBREVIATIONS

- EX EXISTING
- PR PROPOSED
- TYP TYPICAL

HATCHING LEGEND



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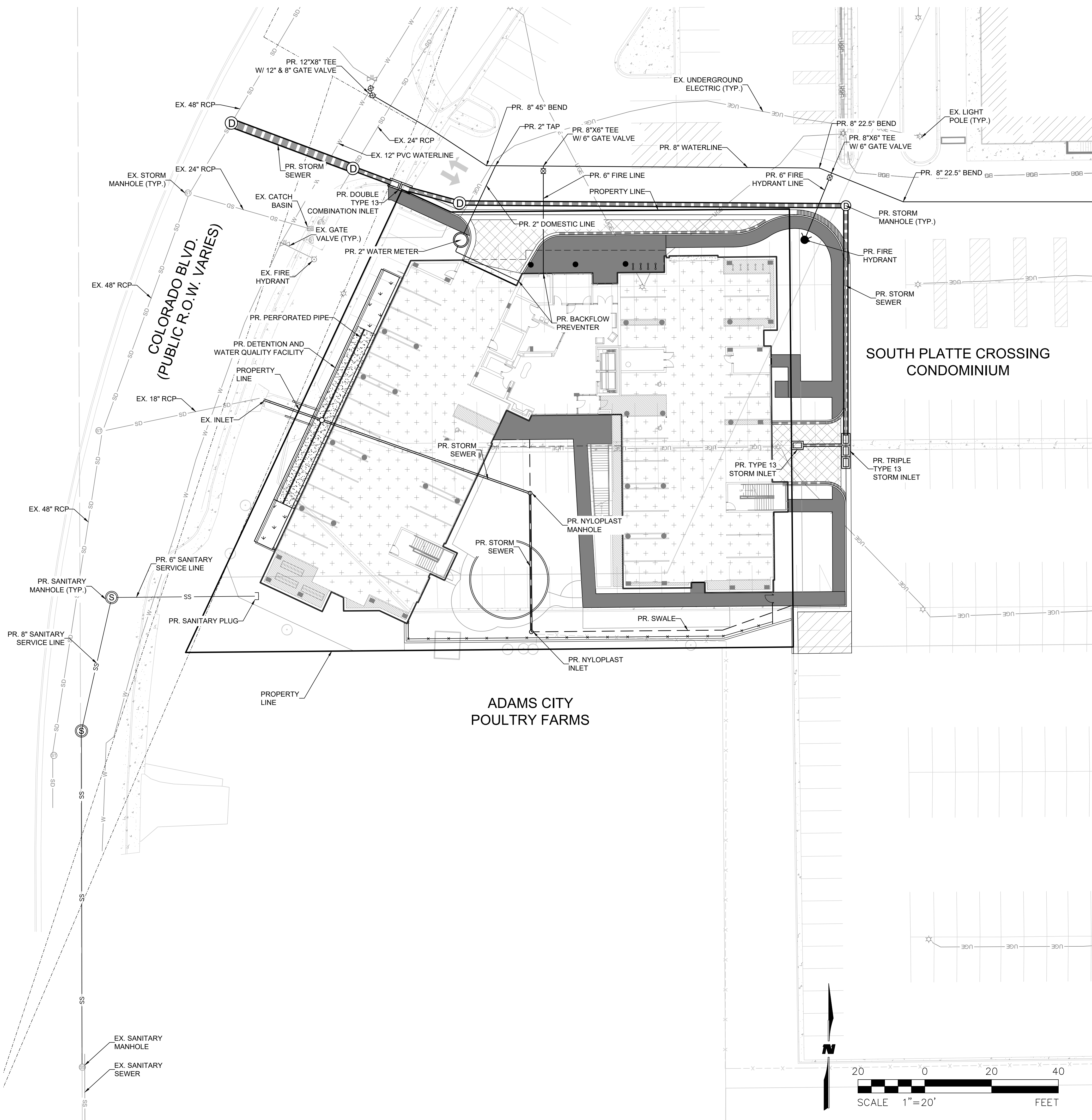
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 COLORADO BOULEVARD
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CITY STAFF CERTIFICATE
 APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2022.



ABBREVIATIONS

EX EXISTING
 PL PROPERTY LINE
 PR PROPOSED

LEGEND

PROPERTY LINE
 PR. SWALE
 PR. BD. BOUNDARY
 CATCH CURB & GUTTER
 SPILL CURB & GUTTER
 TRANSITION CURB & GUTTER
 PR. WATERLINE
 PR. SANITARY SEWER
 PR. STORM SEWER
 PR. SANITARY MANHOLE
 PR. STORM MANHOLE
 EX. UNDERGROUND ELECTRIC
 EX. WATERLINE
 EX. SANITARY SEWER
 EX. STORM SEWER

GENERAL NOTES

1. THE OVERALL UTILITY PLAN IS SHOWN FOR REFERENCE ONLY. REFER TO THE SEPARATE WATER AND SEWER CONSTRUCTION DRAWING FOR THE FINAL UTILITY DESIGN.
2. CONTRACTOR TO FIELD VERIFY LOCATION, ALIGNMENT, AND ELEVATIONS OF THE EXISTING WATER, SEWER AND STORM CONNECTIONS PRIOR TO CONSTRUCTION. THESE ELEVATIONS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION SUCH THAT ANY NECESSARY CHANGES TO THE PLANS CAN BE MADE AHEAD OF TIME.
3. A MINIMUM OF 4.5' COVER SHALL BE MAINTAINED ABOVE THE WATER SERVICE LATERALS. A MINIMUM OF 18" OF CLEARANCE SHALL BE PROVIDED AT ANY UTILITY CROSSING IN ACCORDANCE WITH THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT DETAIL NO. W-8.
4. SANITARY SEWER SERVICES SHALL BE SET AT A MINIMUM 2.0% SLOPE FROM THE MAIN LINE UP TO THE POINT OF BUILDING CONNECTION.
5. ALL MATERIALS, WORKMANSHIP, CONSTRUCTION DETAILS AND TESTING FOR THE WATER AND SEWER SERVICE LINES SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR WATER DISTRIBUTION LINES AS SET FORTH BY THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT.
6. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
7. RAILING, GUARD RAIL AND FENCE LOCATIONS ARE SHOWN ON THE LANDSCAPE PLAN.
8. FIRE SERVICE LINES SHALL BE 4" LINES IN ACCORDANCE WITH SECTION 5.3.2.16 OF SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT DESIGN AND CONSTRUCTION STANDARDS.
9. CONTRACTOR SHALL REFER TO APPENDIX E OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT FOR THE APPROVED CONSTRUCTION MATERIALS LIST.

CITY STAFF CERTIFICATE

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DEPARTMENT OF COMMUNITY DEVELOPMENT

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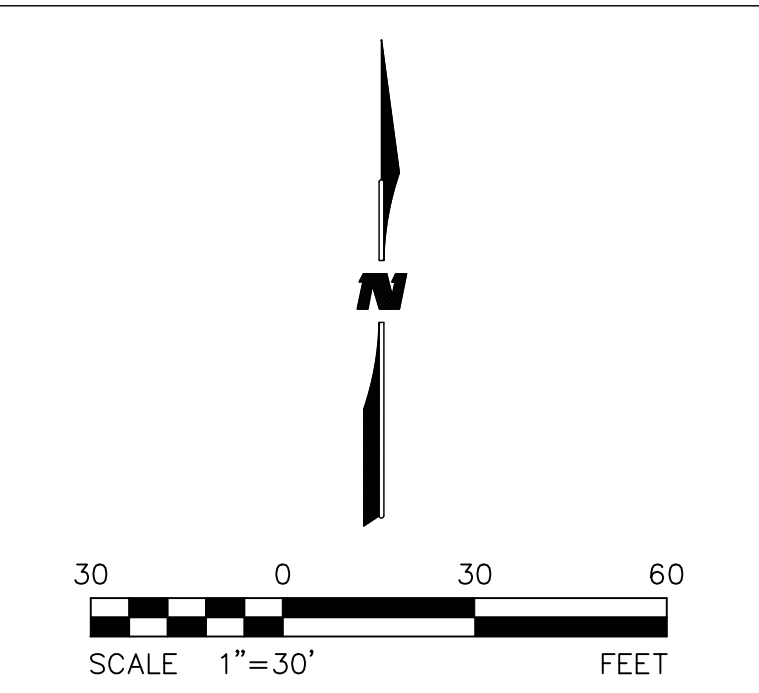
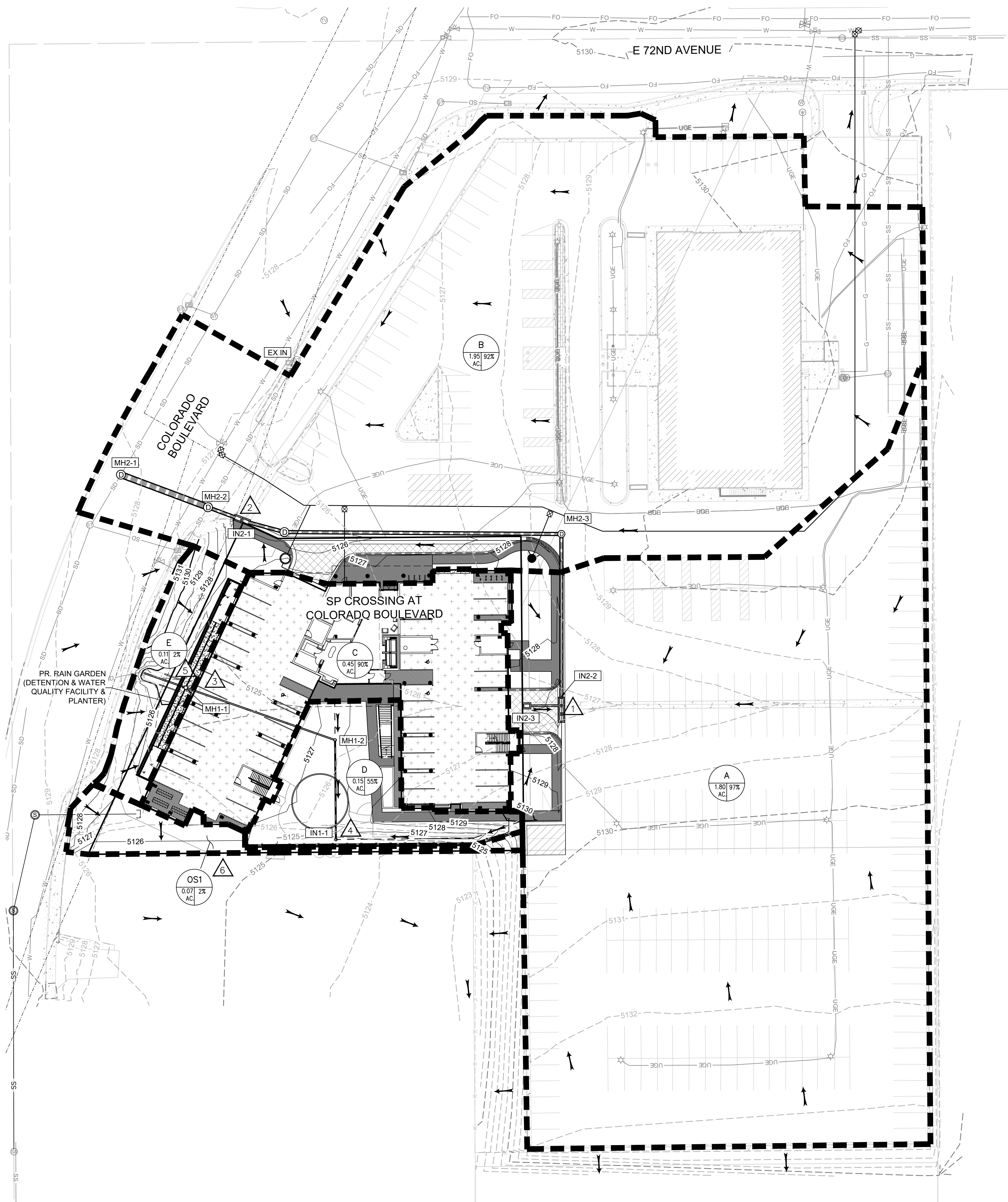
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 COMMERCE CITY, COLORADO

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 KMG
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UTILITY PLAN

SHEET #
06 OF 19



LEGEND

- EXISTING GROUND CONTOUR 5280
 - PROPOSED FINISHED CONTOUR 5280
 - PROPERTY LINE
 - DRAINAGE BASIN BOUNDARY
 - DIRECTION OF DRAINAGE
 - EXISTING STORM SEWER
 - EXISTING STORM INLET
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - INLET/MANHOLE IDENTIFIER
 - SURFACE FLOW DESIGN POINT
- SUB-BASIN ID
 BASIN IDENTIFIER XX
 AREA IN ACRES 0.50 75.0% PERCENT IMPERVIOUS

BASIN DATA SUMMARY

BASIN	AREA (AC)	IMPERVIOUS-NESS (%)	5-YR RUNOFF (CFS)	100-YR RUNOFF (CFS)
A	1.80	97.00	6.16	12.36
B	1.95	92.00	5.94	12.28
C	0.45	90.00	1.61	3.36
D	0.15	55.00	0.34	0.93
E	0.11	2.00	0.03	0.47
OS-1	0.07	2.00	0.02	0.30

PEAK RUNOFF SUMMARY

DESIGN POINT	CONTRIBUTING BASIN(S)	CONTRIBUTING AREA (AC)	IMPERVIOUS-NESS (%)	5-YR RUNOFF (CFS)	100-YR RUNOFF (CFS)
1	A	1.80	97.00	6.16	12.36
2	A & B	1.95	94.00	11.69	23.87
3	C	0.45	90.00	1.61	3.36
4	D	0.15	55.00	0.34	0.93
5	C, D & E	0.11	58.00	1.98	4.76
6	OS-1	0.07	2.00	0.02	0.30

RAIN GARDEN SUMMARY

EVENT	VOLUME PROVIDED (FT ³)	WATER SURFACE ELEVATION	RELEASE RATE (CFS)
WQVC	479	5127.75	0.01
EURV	2,091	5129.43	0.08
100-YR	2,744	5130.22	0.59

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 COMMERCE CITY, COLORADO

NUMBER	DATE	ISSUE

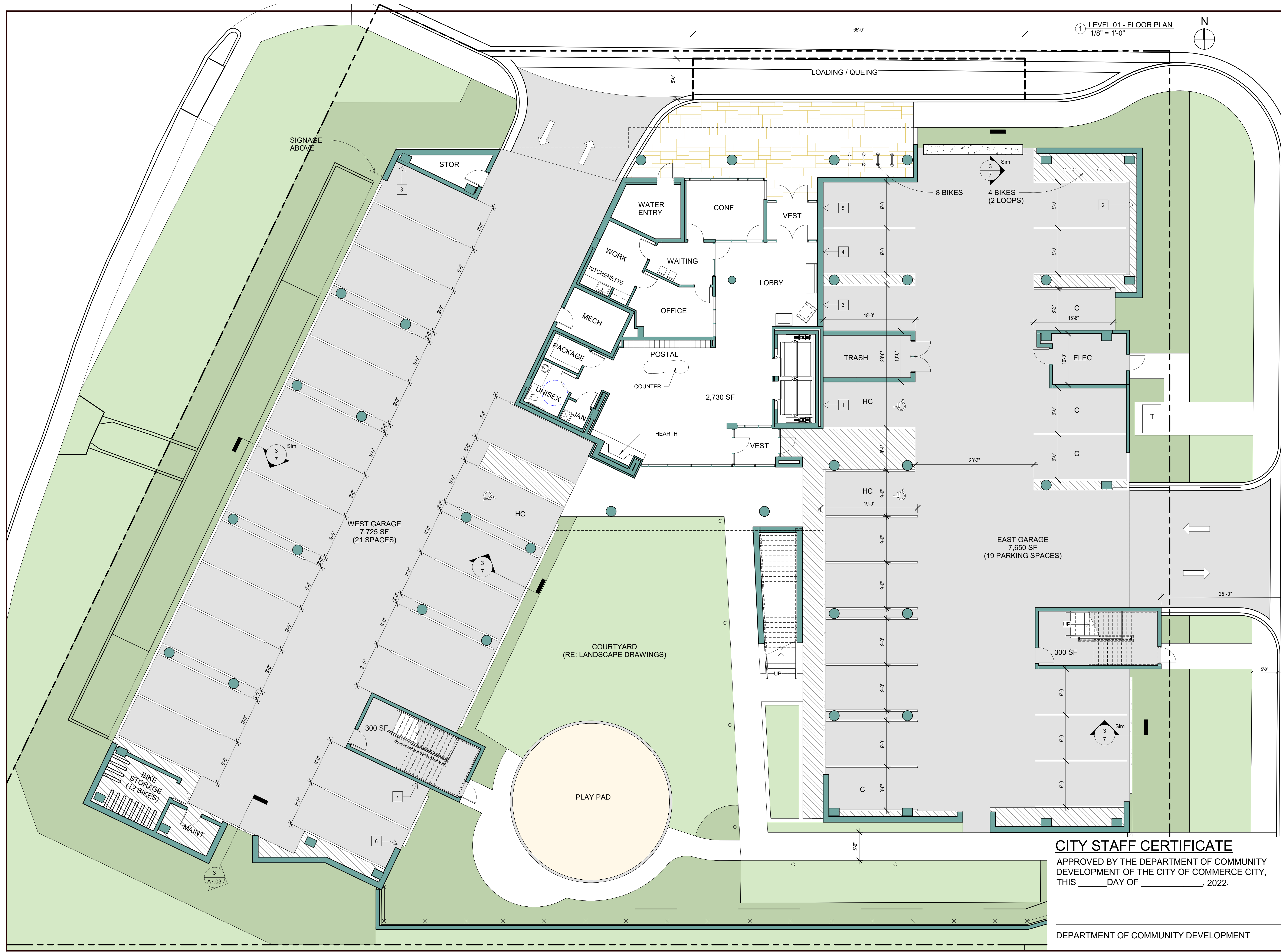
ARCHITECT
 CHRISTOPHER CARVELL ARCHITECTS
 DESIGNER
 WILSON & COMPANY
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 DRAWN BY
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 CHECKED BY
 KMG

TITLE
DRAINAGE PLAN

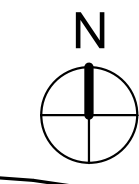
SHEET #
07 OF 19

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COMMERCE CITY, COLORADO



① LEVEL 01 - FLOOR PLAN
 1/8" = 1'-0"



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 DESIGNER: WILSON & COMPANY
 DATE: 11/11/2022
 JOB NUMBER: 20-600-407-00
 DRAWN BY: ECJ
 CHECKED BY: ECJ
 TITLE: FIRST FLOOR PLAN
 SHEET #:



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ARCHITECT

CHRISTOPHER CARVELL ARCHITECTS

DESIGNER

WILSON & COMPANY

DATE

11/11/2022

JOB NUMBER

20-600-407-00

DRAWN BY

ECJ

CHECKED BY

ECJ

TITLE

**LEVEL THREE &
FOUR FLOOR
PLAN**

SHEET #

10A OF 19

UNIT MIX

LEVEL	STUD	1BR/1BA	2BR/1BA	2BR/2BA	3BR/2BA	TOT	BALC
LEVEL 1	-	-	-	-	-	-	-
LEVEL 2	-	9	4	4	1	18	8
LEVEL 3	1	10	4	5	1	21	9
LEVEL 4	1	10	4	5	1	21	9
TOTAL	2	29	12	14	3	60	26



CITY STAFF CERTIFICATE
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2022.

N
① LEVEL 03 & 04 - FLOOR PLAN (TYPICAL)
1/8" = 1'-0"

DEPARTMENT OF COMMUNITY DEVELOPMENT



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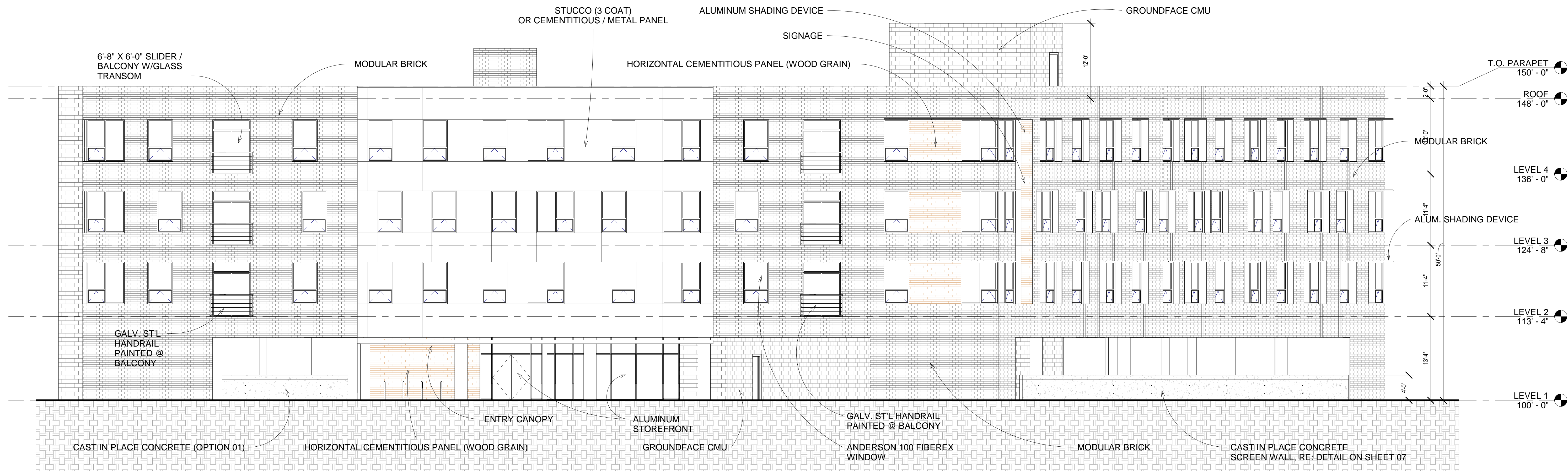
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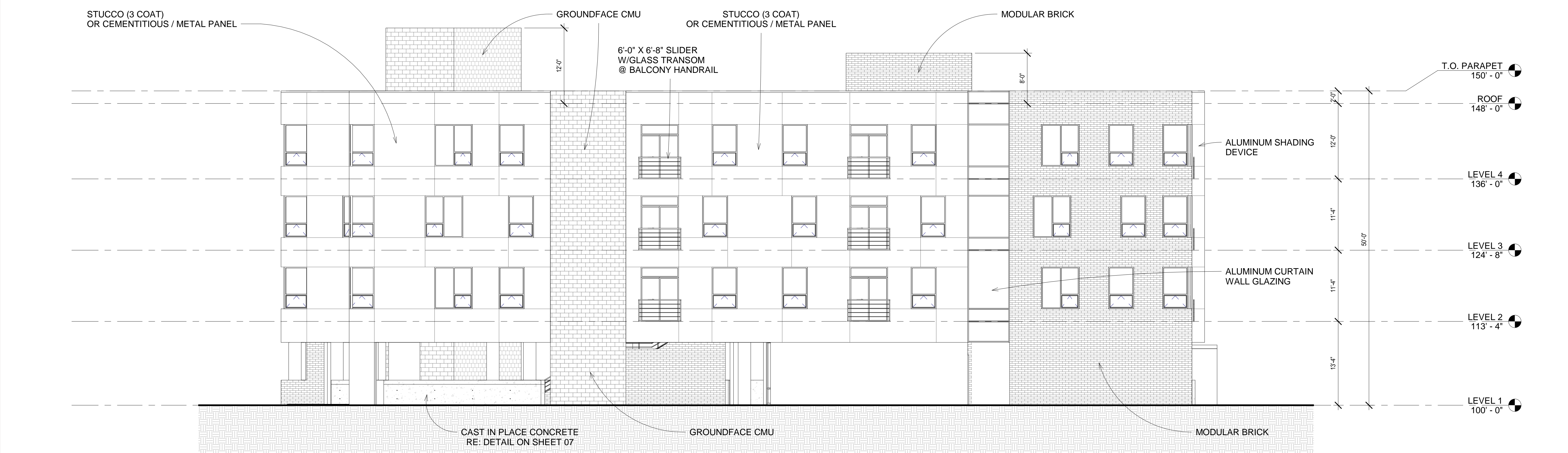
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TITLE
EXTERIOR ELEVATIONS

SHEET #
12A OF 19



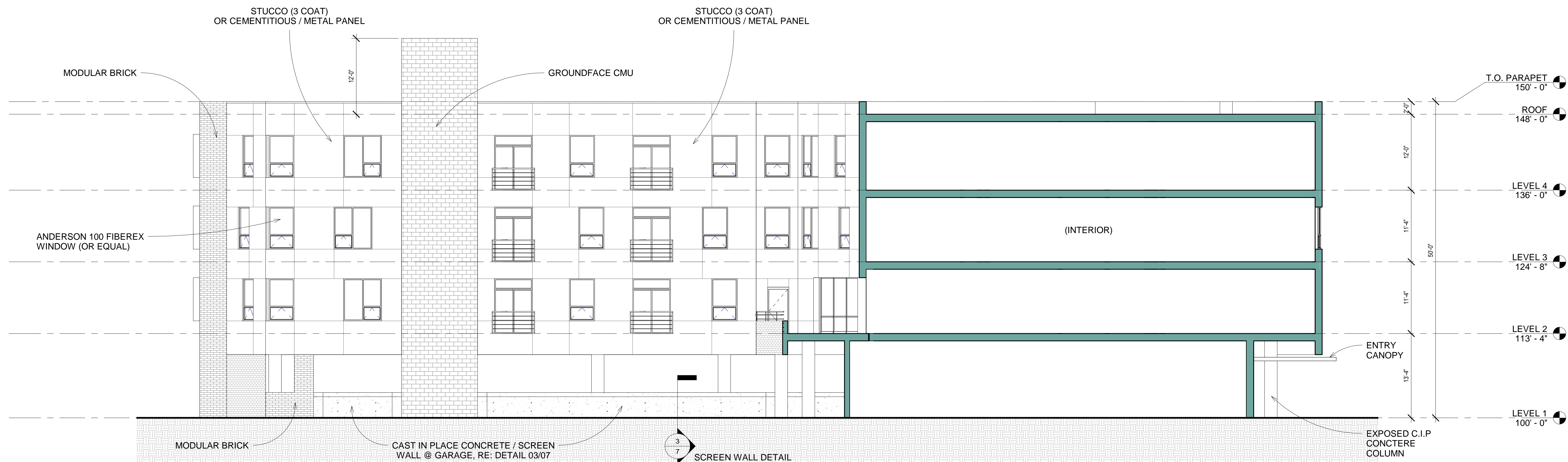
① NORTH ELEVATION
 1/8" = 1'-0"



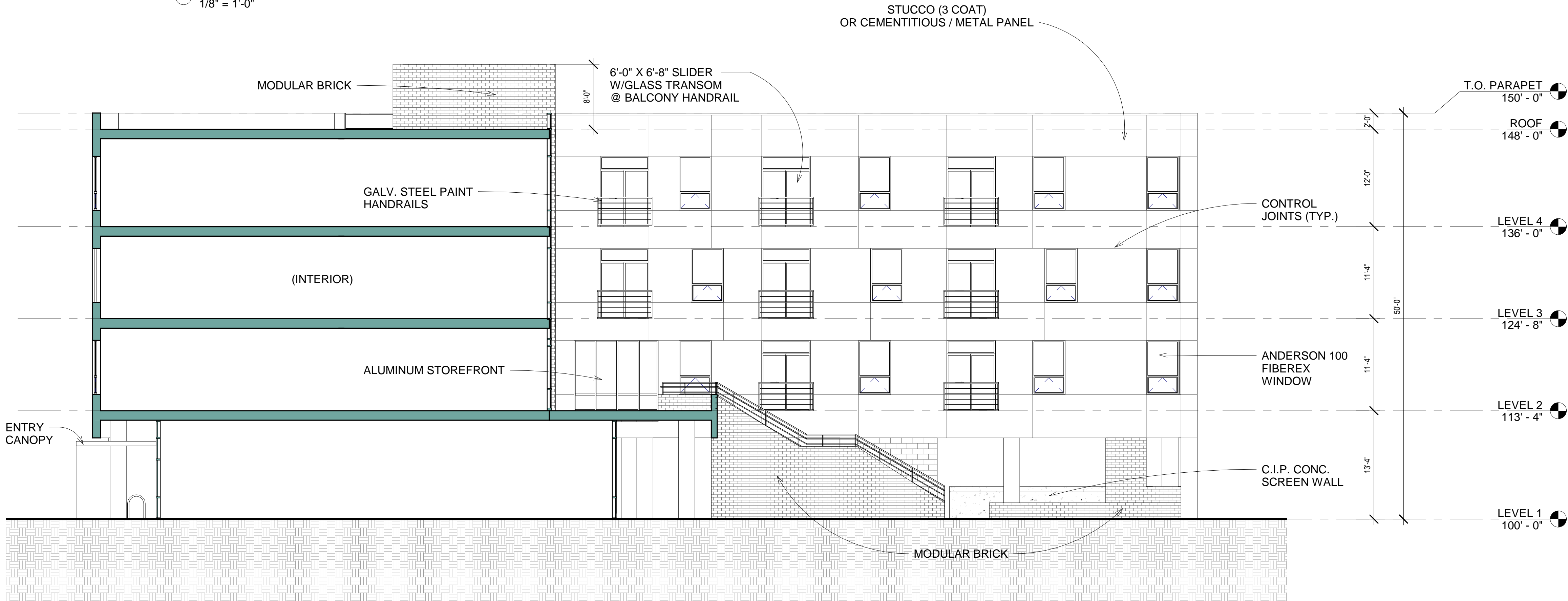
② EAST ELEVATION
 1/8" = 1'-0"

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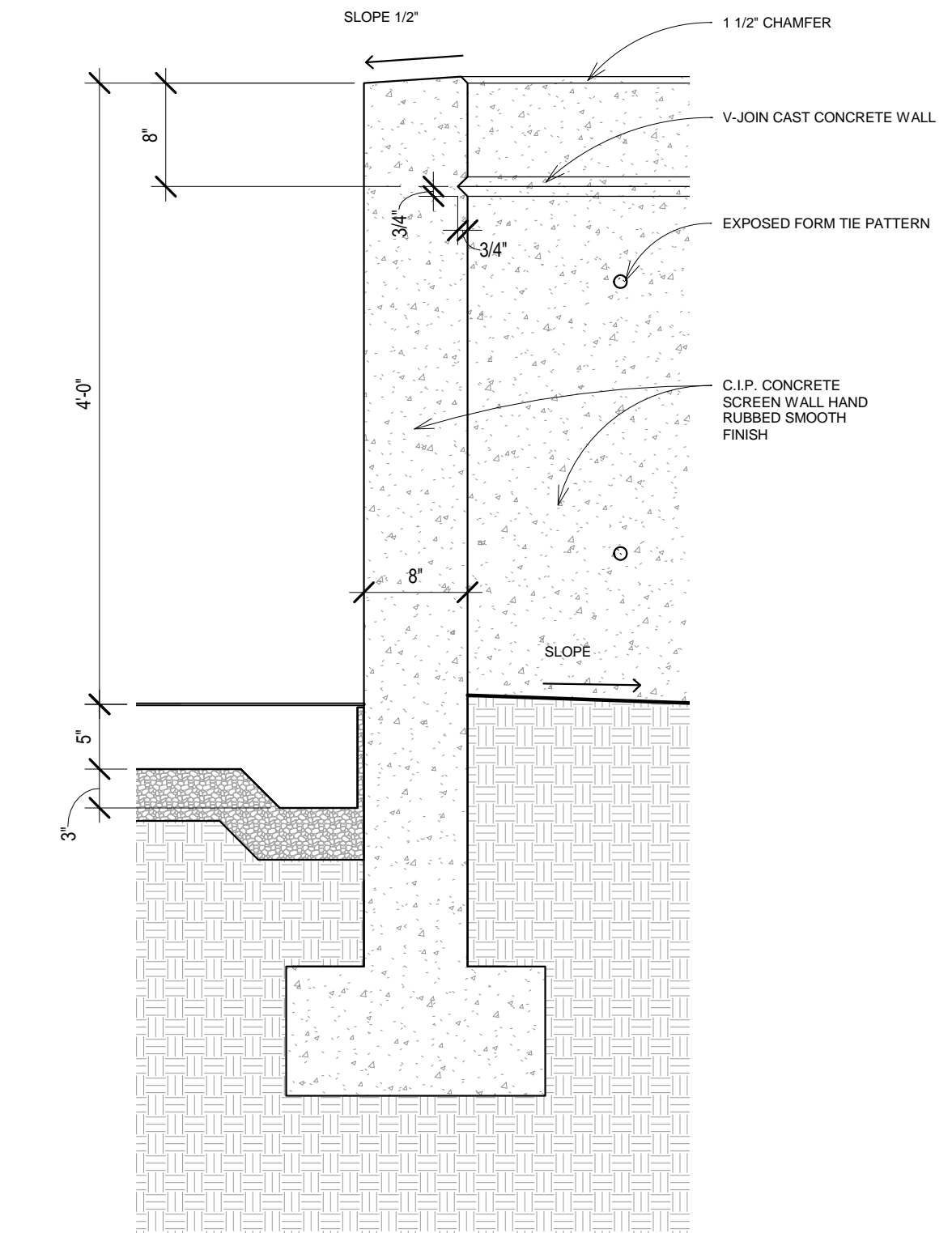
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 PUD DEVELOPMENT PERMIT**
 COMMERCE CITY, COLORADO



① COURTYARD EAST ELEVATION
 1/8" = 1'-0"



② COURTYARD WEST ELEVATION
 1/8" = 1'-0"



③ GARAGE SCREEN WALL DETAIL
 1" = 1'-0"

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 CHECKED BY: ECJ

TITLE: EXTERIOR ELEVATIONS
 SHEET #: 13A OF 19

REQUIRED COMMERCE CITY LANDSCAPE PLAN NOTES

- Minimum Plant Size Requirements and soil preparation.**
Minimum plant size requirements are 2-inch diameter (caliper) for deciduous trees, 1.5-inch diameter for ornamental trees and 6-foot height for evergreen trees. Minimum size requirements for shrubs is #5 gallon container, ornamental grasses #1 gallon container; perennials and ground cover 2 1/4" pots. Plants should be mixed approximately 50% evergreen and 50% deciduous (tree lawn areas shall be deciduous shade trees). Minimum soil preparation for planting shall be 5 cubic yards of organic soil amendment tilled to a depth of 6-inches for every 1,000sf of landscape area.
- Street Trees**
The Planning Division has identified specific deciduous tree species to be planted within tree lawn areas. All trees chosen for tree lawn applications must be selected from the Approved Plant List
- Weed Barrier**
Porous fabric must be used in planted beds. Plastic weed barriers are prohibited.
- Edging**
Plastic or fiberglass edging is favorable to metal. However, metal edging may be used provided it has a rollover top or a protective cap.
- Implementation and Coordination of the Landscape Plan.**
The developer shall ensure that the landscape plan is closely coordinated with plans prepared by other consultants so that the proposed grading, storm drainage, or other construction does not conflict with or preclude the installation and maintenance of landscape elements as designated on the landscape plan.
- Irrigation.**
All landscape areas and plant materials must be watered by an automatic underground irrigation system. Irrigation system design, installation, operation, and maintenance shall conform to the requirements of the South Adams County Water and Sanitation District (SACWSD). Approval of this landscape plan does not constitute approval from the SACWSD.
- Maintenance.**
The developer, his successors, and assigns, shall be responsible for installation, maintenance and replacement of all landscaping materials shown or indicated on the approved landscape plan, including the landscaping within the right-of-way.
Landscaping shall be continuously maintained including necessary watering, weeding, pruning, pest control, and replacement of dead or diseased plant material shall be of the same type of plant material as set forth in the approved site plan (a tree must replace a tree or a shrub must replace a shrub). Any replacement shall occur in the next planting season, but in no case shall replacement exceed 1 year.
This approved landscape plan shall be on file in the Planning Division. All landscaping will be installed as delineated on the plan prior to the issuance of any Certificate of Occupancy.
- Vehicle Parking Note.**
No vehicle parking is allowed in any landscape treatment area.
- Site Line Considerations.**
Any area determined by the City Engineer to be within a sight-distance-triangle may contain plant material that, at the time of planting or at maturity, exceeds 36 inches above the gutter flow line except trees, which must be limbed to 8 feet at adequate maturity. Trees shall be planted a minimum of 10 feet from light or utility poles. All other landscape features shall not exceed 36 inches in height within sight - distance-triangles. Information on the sight-distance-triangles may be obtained from The City of Commerce City Engineering Standards.
- Native Grass Note.**
All areas of the lot not paved or formally landscaped shall be seeded with native grasses.

ROW LANDSCAPE REQUIREMENTS

Description	Length	Trees Required (1/50')	Tree Provided	Existing Trees	Total Trees
Colorado Blvd	204 LF	4	3	2	5

ON SITE LANDSCAPE REQUIREMENTS

On Site Landscape Area	Turf (50% Max.)	Tree Equivalent Required (1 Dec/Pine Tree or 2 Ornamental /3,000 SF)	Tree Provided	Shrubs Equivalent Required (1 Shrub or 2 Perennial/Grass /600 SF)	Shrubs Provided
6,630 SF	2,296 SF (35%)	2 Dec/Pine	1 Dec/Pine 5 Ornamental	11 Shrubs	38 Shrubs 97 Perennials

LANDSCAPE BUFFER REQUIREMENTS

Total Landscape Area	Total Turf Area Allowed (50%)	Tree Equivalent Required (3 Dec/Pine Tree or 2 Ornamental /100 LF)	Tree Provided	Existing Trees	Total Trees	Shrubs Equivalent Required (5 Shrub or 2 Perennial/Grass /100 LF)	Shrubs Provided
464 LF 4840 SF	2,340 SF (48%)	14 Dec/Pine	6 Dec/Pine 6 Ornamental	5	14	23 Shrubs	97 Shrubs 10 Perennials

* SEE COVER SHEET FOR SITE DATA TABLE

LANDSCAPE NOTES (SEE COMMERCE CITY NOTES THIS SHEET)

- Landscape Contractor shall be responsible for becoming familiar with all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the General Contractor and Owner's Representative. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification
- If conflicts arise between size of areas and plans, Landscape Contractor to contact the Owner's Representative for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate materials.
- The Landscape Contractor shall notify the Owner's Representative 72 hours prior to commencement of work to coordinate project inspection schedules.
- Landscape Contractor shall provide per unit costs for every size of plant material, and by type as called out on Planting Plans. Unit cost to include the plant material itself and installation including all labor, amendments, fertilizers, etc., as detailed and specified for each size.
- It is the Landscape Contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Landscape Contractor and be certified pest and disease free. It is the Landscape Contractor's obligation to warranty all plant material for one year after final acceptance.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Provide matching sizes and forms for all plants used for hedges. Space equally as called for on plans.
- All plant material shall be acclimated to nearest conditions for minimum of 8 months before planting.
- Plant names are abbreviated on drawings. See plant list for key and classification.
- Obtain an agricultural suitability analysis of the site soil from an accredited soils laboratory at the contractors cost. The analysis shall verify the suitability of the existing soils, analyze the existing soil texture and recommend additional soil amendments beyond those specified. A minimum of two (2) samples shall be taken from the site. Location to be determined by the Owner's Representative. The soil amendments currently specified will be the minimum incorporated. Test Agency: Colorado State University Soil Testing Lab, A319-NESB, Fort Collins, CO 80523-1120 or other reputable lab.
- Prepare all sodding areas by ripping and tilling or otherwise scarified to a depth of not less than 12 inches. Apply to all planting and seeded areas at the following rates per 1,000 square feet, incorporating thoroughly with top 6 inches of soil layer:
 - As recommended in the soils analysis, five cubic yards organic amendment minimum.
 - Five pounds preplant fertilizer and granular Diammonium Phosphate (18-46-0) at 150#/acre is recommended.
 - Any chemical additives per soils analysis recommendations.
- Final location of all plant material shall be subject to the approval of the Owner's Representative.
- All tree plantings in lawn areas will receive a minimum of 3" depth mulch. The contractor is responsible for weed control on beds and seeded areas until final project acceptance.
- All planting beds shall receive a minimum of 3" depth of rock mulch. See plan for type.
- Tree plantings and planting beds will be treated with Diehard transplant (Trees) and Diehard bed prep (Planting beds). Micorrhiza Inoculants and at the rate recommended by the manufacturer.
- See details for planting requirements, materials, and execution.
- Stake/Guy all trees as per detail for a period of one year.
- If annuals are specified on plans, the landscape contractor is to submit a list of seasonally available annuals to be used to the Owner's Representative for approval.
- All utility easements and emergency accesses shall remain unobstructed and fully accessible along their entire length for maintenance and emergency equipment and vehicles.
- In the event of a discrepancy between the plan graphic and the landscape legend, the plant material quantity as determined by the plan graphic shall take precedence.

IRRIGATION NOTES (SEE COMMERCE CITY NOTES THIS SHEET)

- The irrigation system will be an automatic irrigation system with controller, control valve and all other equipment necessary to irrigate the project. Large sod areas will utilize rotors while medium and smaller sod areas will utilize pop-up sprays with either rotary nozzles or spray nozzles. All shrub beds will utilize drip irrigation and trees/shrubs in native seed will be irrigated on separate drip zones.

PLANT LEGEND

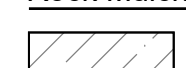
Sym.	Botanic Name/Common Name	Qty	Size	Spacing
Deciduous Shade Trees				
AR	Acer rubrum 'Frank Jr.' Redpointe® Maple	-	2" cal	As Shown
QR	Quercus rubra Northern Red Oak	-	2" cal	As Shown
Ornamental Trees				
AA	Amelanchier x 'Autumn Brilliance' Autumn Brilliance Serviceberry	-	1 1/2" cal	As Shown
CC	Cercis canadensis Eastern Redbud	-	1 1/2" cal	As Shown
PC	Pyrus calleryana 'Cleveland Select' Cleveland Select Pear	-	1 1/2" cal	As Shown
Evergreen Trees				
AC	Abies concolor White Fir	-	6' ht.	As Shown
PN	Picea Pungens glauca Colorado Blue Spruce	-	6' ht.	As Shown
Evergreen Shrubs				
JS	Juniperus sabinia 'Calgary Carpet' Calgary Carpet Juniper	-	5 gal.	4' o.c.
Deciduous Shrubs				
AG	Acer ginnala 'Bron Blazing Elf' Blazing Elf™ Ginnala Maple (Amur)	-	5 gal.	6' o.c.
AS	Amelanchier alnifolia 'Regent' Regent Serviceberry	-	5 gal.	6' o.c.
BD	Buddleja davidii nanhoensis Petite Indigo® Compact Lavender Butterfly Bush	-	5 gal.	4' o.c.
CP	Cornus alba 'Prairie Fire' Yellow Tatarian Dogwood	-	5 gal.	6' o.c.
CS	Cornus sericea Arctic Fire™ Arctic Fire™ Dogwood	-	5 gal.	4' o.c.
CA	Cotoneaster apiculatus Cranberry Cotoneaster	-	5 gal.	4' o.c.
EA	Euonymus alatus 'Compactus' Dwarf Burning Bush	-	5 gal.	5' o.c.
HF	Hypericum frondosum 'Sunburst' Sunburst St. John's Wort Hypericum	-	5 gal.	3' o.c.
HM	Hydrangea macrophylla 'Bailmer' Endless Summer Hydrangea® The Original	-	5 gal.	4' o.c.
RK	Rosa Knock Out® Red Knock Out Red® Rose	-	5 gal.	3' o.c.
SJ	Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea	-	5 gal.	3' o.c.
VC	Viburnum carlesii Koreanspice Viburnum	-	5 gal.	5' o.c.
WF	Weigela florida 'Red Prince' Red Prince Weigela	-	5 gal.	4' o.c.
Ornamental Grasses				
HSE	Helictotrichon sempervirens Blue Avena Grass (Blue Oat Grass)	-	1 gal.	24" o.c.
Perennials				
CVJ	Coreopsis 'Jethro Tull' PP # 18,789 Jethro Tull Coreopsis	-	1 gal.	24" o.c.
GGs	Gaillardia x grandiflora 'Sunset Flash' Sunset™ Flash Blanket Flower	-	1 gal.	18" o.c.
HAM	Hosta 'August Moon' August Moon Hosta	-	1 gal.	30" o.c.
LMS	Liriope muscari 'Super Blue' Super Blue Lilyturf	-	1 gal.	18" o.c.
OBC	Osteospermum barberiae compactum 'Purple Mountain' Purple Mountain Sun Daisy	-	1 gal.	18" o.c.
PNN	Potentilla neumanniana 'Nana' Alpine Cinquefoil	-	1 gal.	18" o.c.
SNM	Salvia nemorosa 'May Night' May Night Purple Salvia	-	1 gal.	18" o.c.

Grasses



Turf Sod - ECO-TURF Sod

Rock Mulch



3/4" Black Granite -Pioneer Sand and Gravel or Equal



3/4" Pioneer Granite -Pioneer Sand and Gravel or Equal

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF _____, 2022.



990 S. BROADWAY, SUITE 220
DENVER, CO 80209
303.297.2976
KYLE.GODWIN@WILSONCO.COM

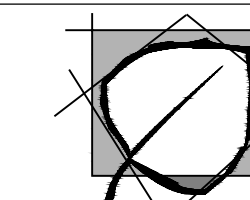


SP CROSSING AT 7190 COLORADO BOULEVARD PUD DEVELOPMENT PERMIT

COMMERCE CITY, COLORADO

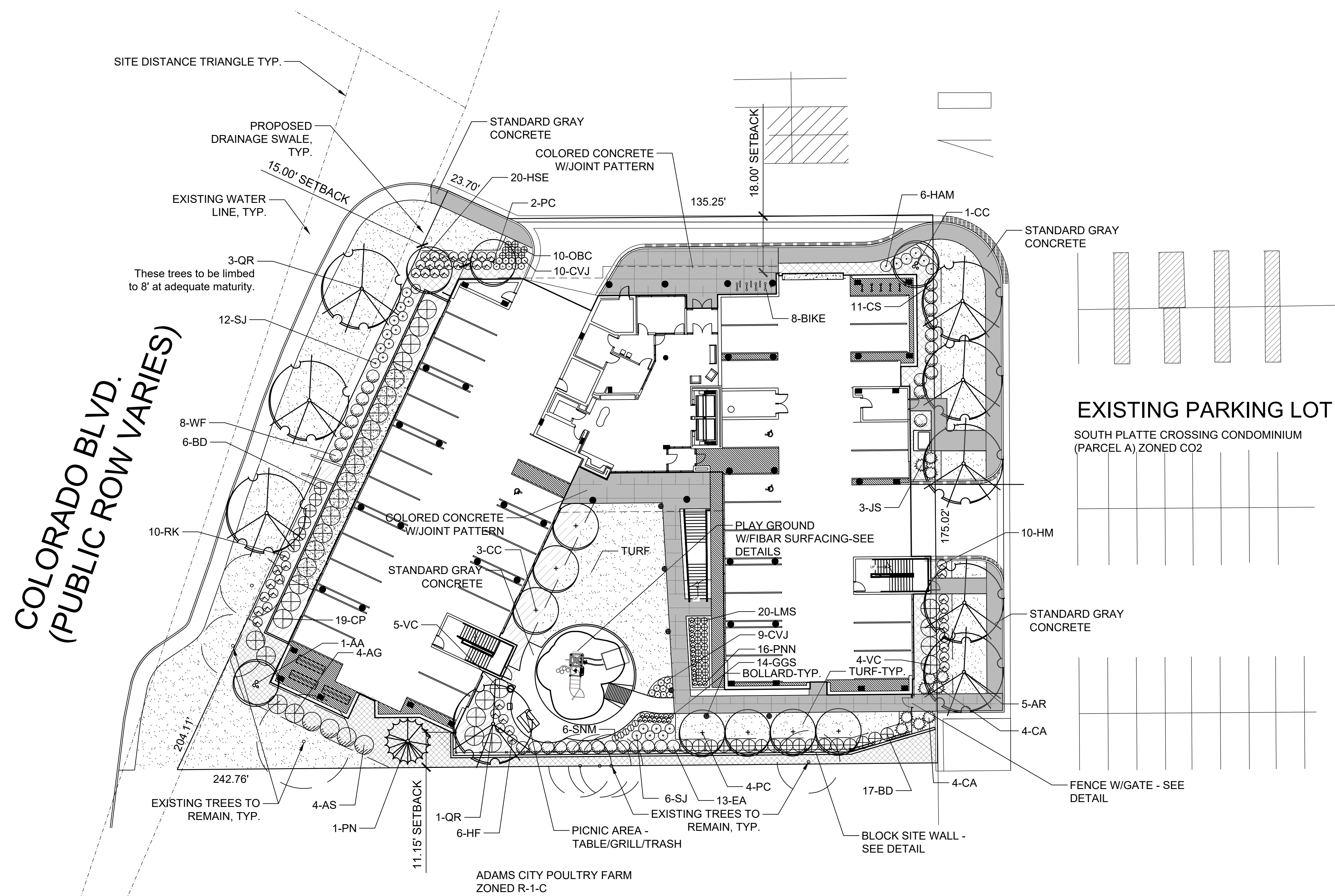
NUMBER	DATE	ISSUE

ARCHITECT	CHRISTOPHER CARVELL ARCHITECTS
DESIGNER	WILSON & COMPANY
DATE	11/11/2022
JOB NUMBER	20-600-407-00
DRAWN BY	TDP
CHECKED BY	KMG
TITLE	LANDSCAPE NOTES & LEGEND
SHEET #	14 OF 19



BRITINA
Design group

1615 California Street Suite 411, Denver 80202
landscape architecture urban design planning
phone: 303.456.2857 web: www.britina.com

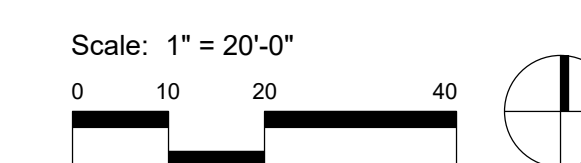


**COLORADO BLVD.
(PUBLIC ROW VARIES)**

KEY

- TURF SOD- COLORADO BLUE™ SOD
- MULCH TYPE 1- 3/4" CRUSHED GRANITE
- MULCH TYPE 2- 1 1/2" COLORADO ROSE
- STEEL EDGING
- LANDSCAPE FENCE
- SHRUBS, GRASSES AND PERENNIALS
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- BOLLARD

EXISTING PARKING LOT
SOUTH PLATTE CROSSING CONDOMINIUM
(PARCEL A) ZONED CO2



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TITLE

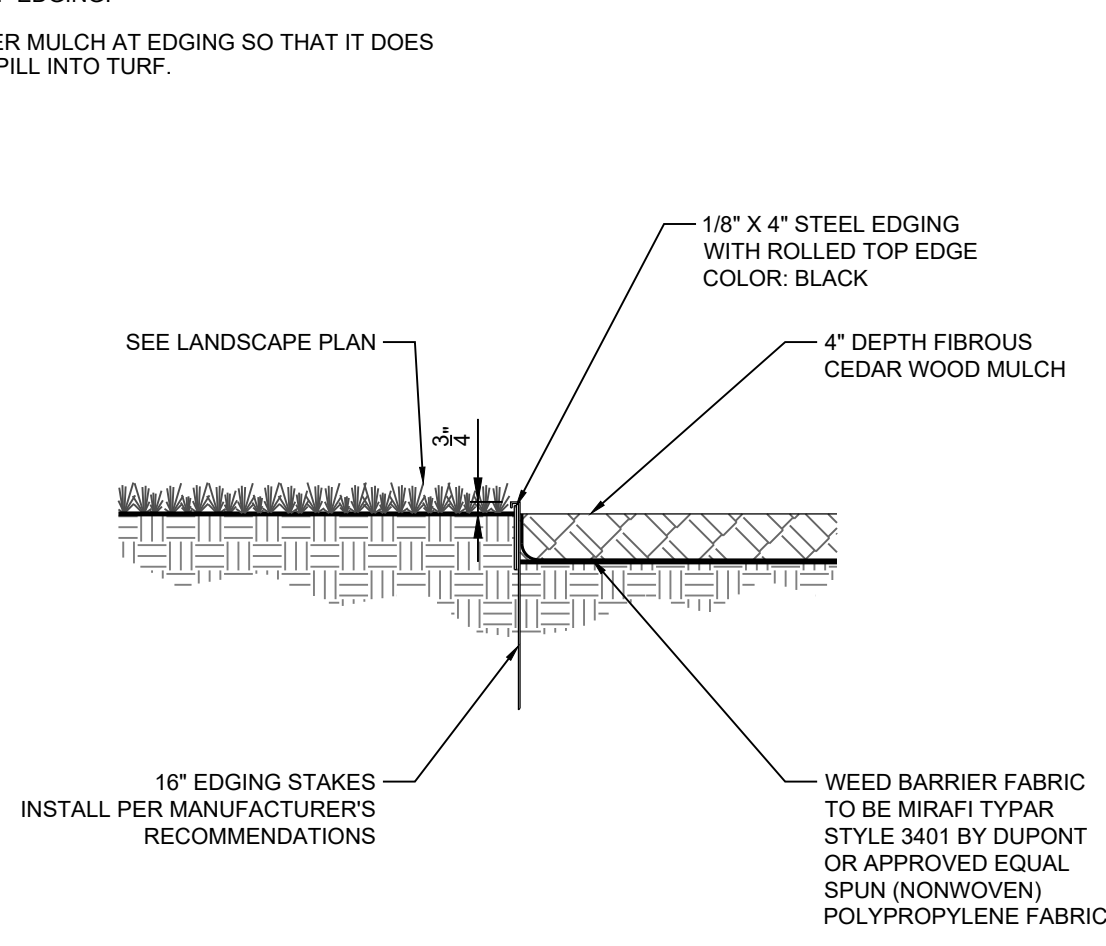
LANDSCAPE PLAN

SHEET #

CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 2022.

- NOTES:
1. FINISHED GRADE FOR SOD TO BE 3/4" BELOW TOP OF EDGING.
 2. TAMPER MULCH AT EDGING SO THAT IT DOES NOT SPILL INTO TURF.

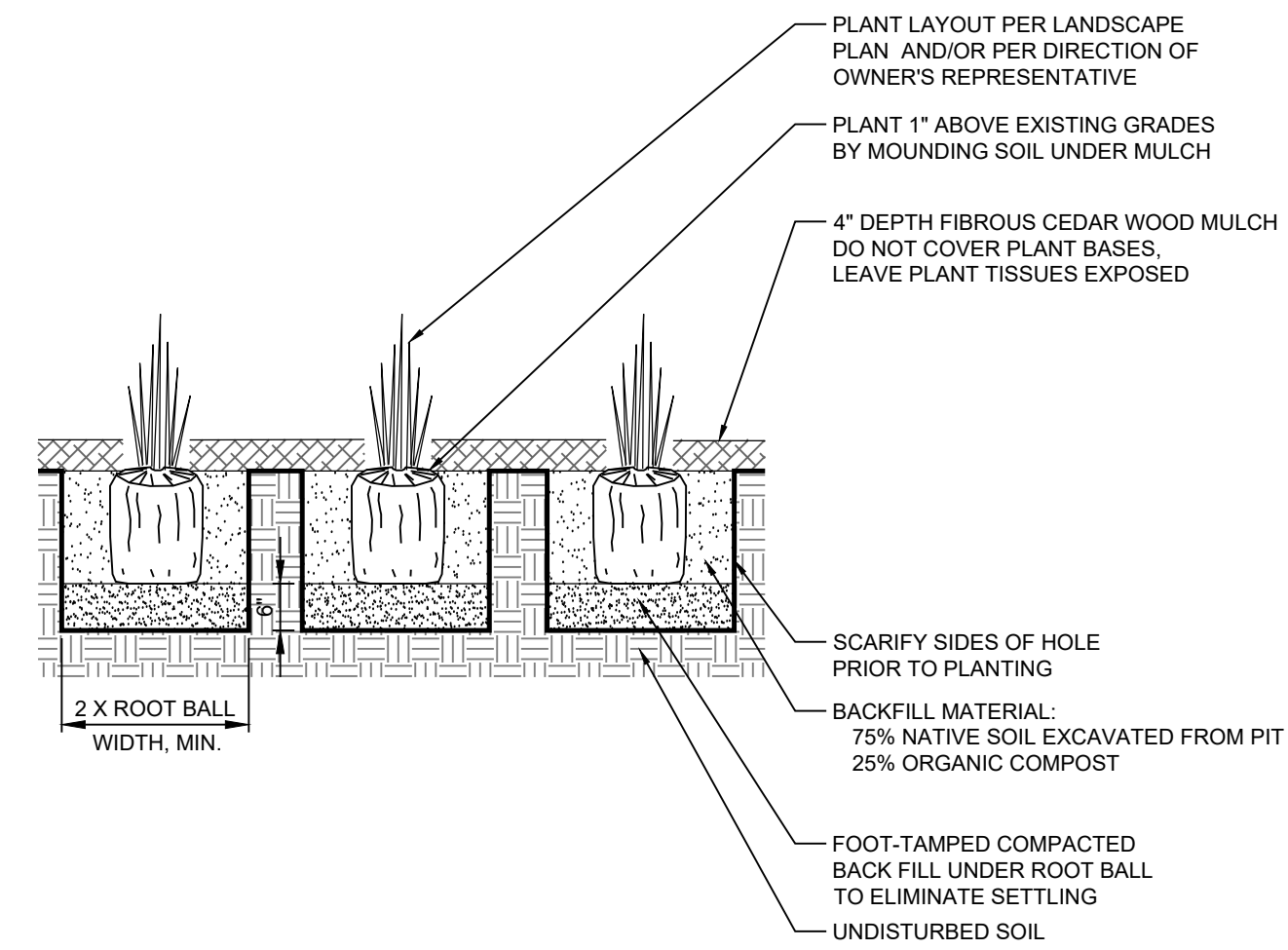


STEEL EDGING
SCALE: 1"=1'-0"

- NOTES:
1. TRASH RECEPTACLE TO BE MODEL IMF3202, 25 GALLON CAPACITY WITH SIDE DOOR OPENING, 28"D X 33"H, SURFACE MOUNTED BY WASAU MADE OR APPROVED EQUAL.
 2. TRASH RECEPTACLE TO BE POWDERCOATED BLACK.
 3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 4. SEE PLANS FOR TRASH RECEPTACLE LOCATIONS.



TRASH RECEPTACLE
SCALE: NTS



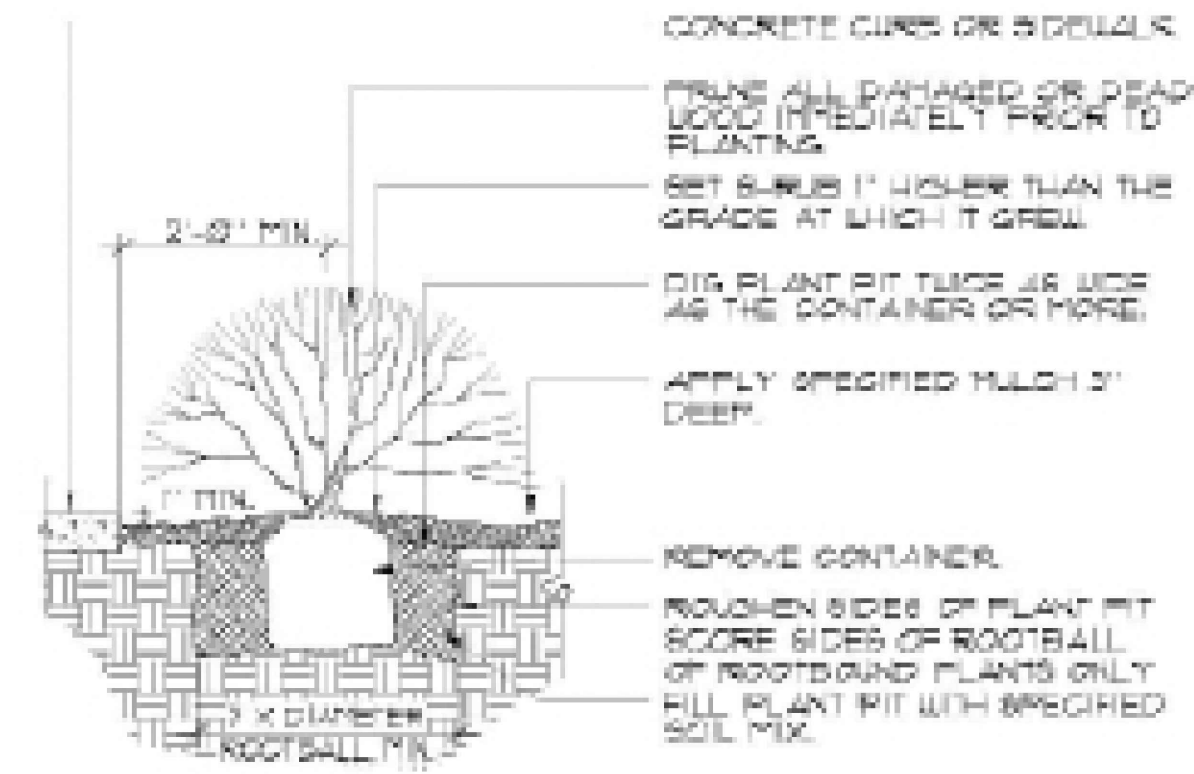
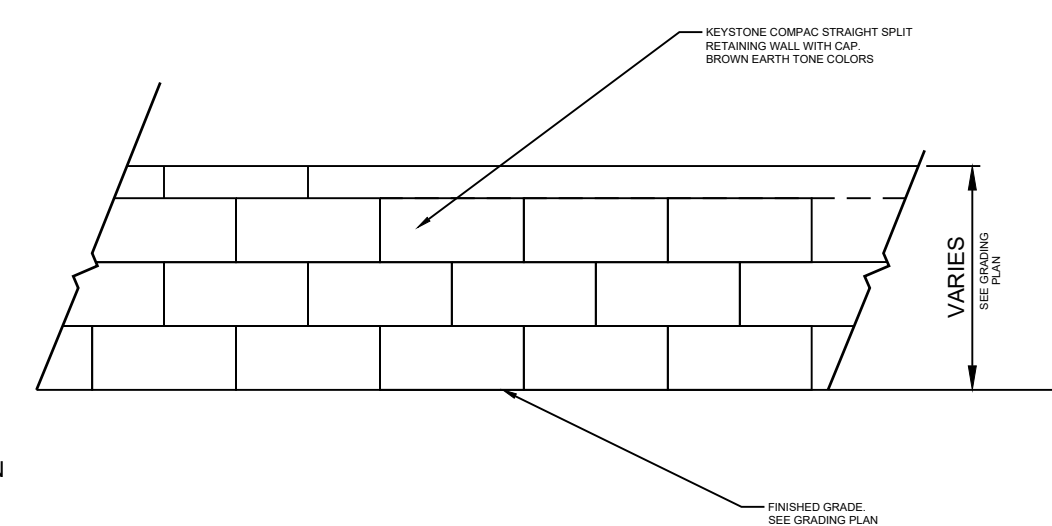
PERENNIAL & ORNAMENTAL GRASS PLANTING
SCALE: 1/2"=1'-0"

- NOTES:
1. PICNIC TABLE TO BE MODEL #1142-06, 6' TABLE AND SEATS WITH 2" X 10" PLANKS IN ALUMINUM, SURFACE MOUNTED BY PW ATHLETICS OR APPROVED EQUAL.
 2. PICNIC TABLE FRAME TO BE POWDERCOATED BLACK.
 3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 4. SEE PLANS FOR PICNIC TABLE LOCATIONS.



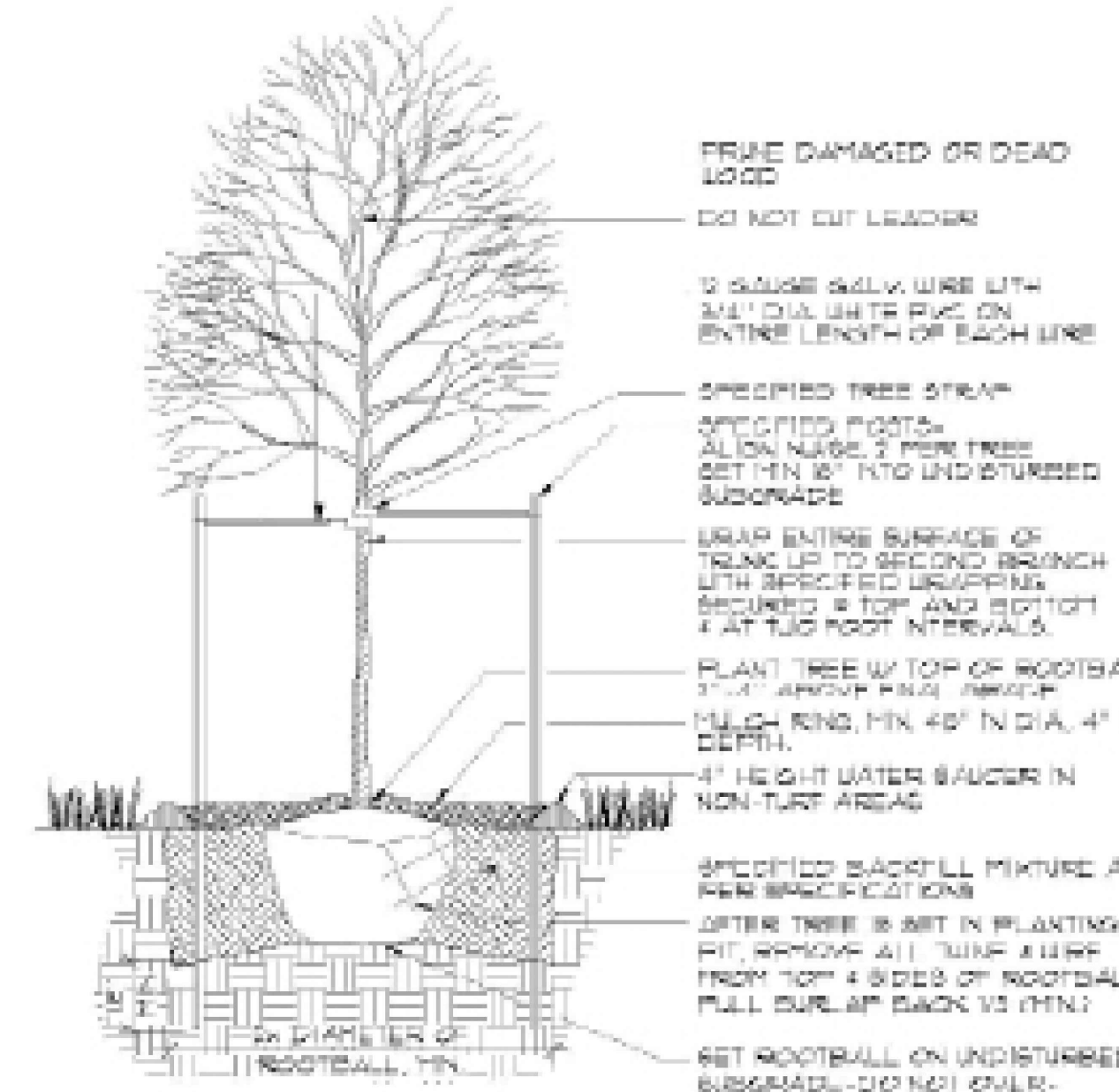
PICNIC TABLE
SCALE: NTS

BLOCK SITE WALL
SCALE: 1/2"=1'-0"

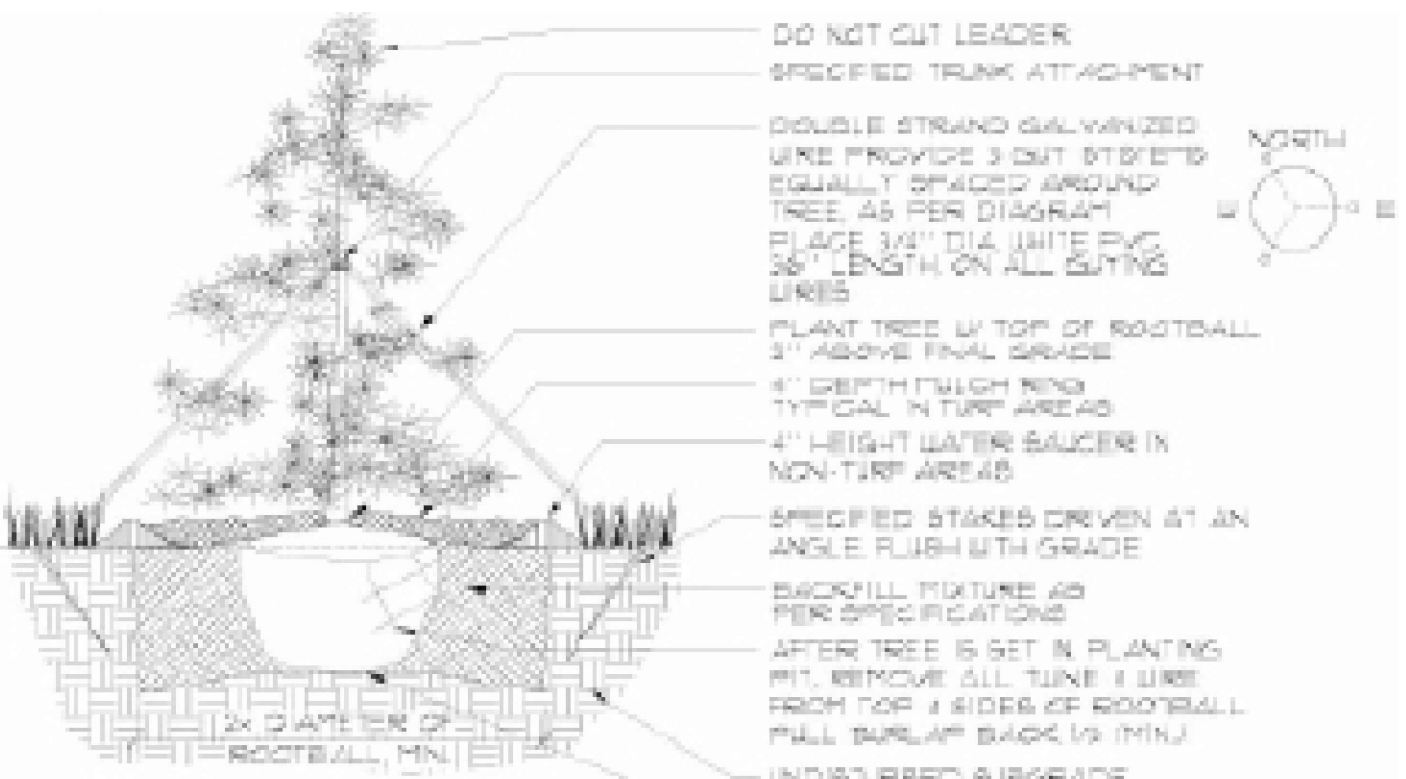


- NOTES:
1. ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 2. HOLD GRADE 1" BELOW EDGE OF WALK OR CURB.

SHRUB PLANTING
NOT TO SCALE



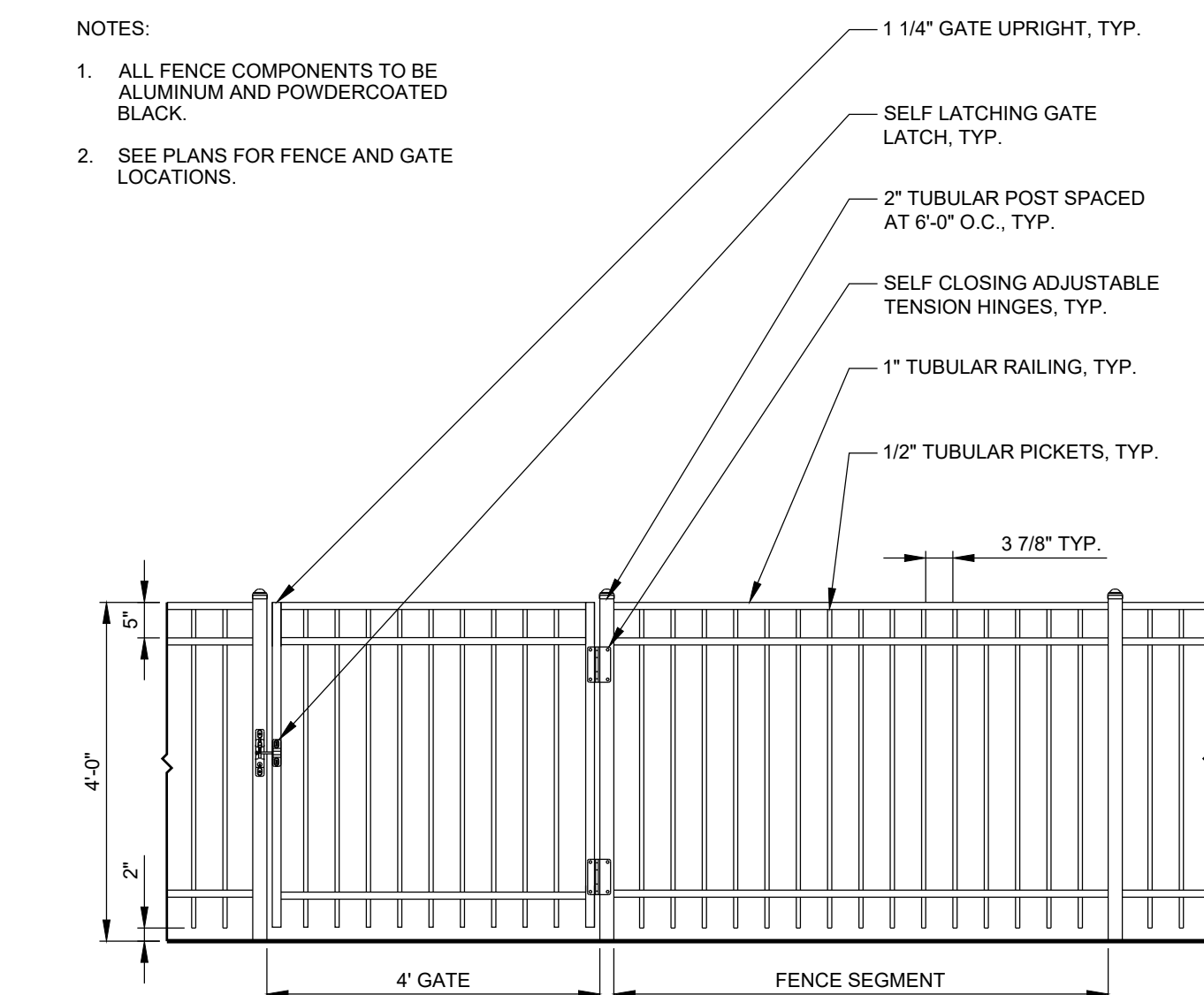
DECIDUOUS TREE PLANTING
NOT TO SCALE



- NOTES:
1. INSTALL SPECIFIED MULCH TO PERIMETER OF TREE WHERE PLANTED IN LAWN AREAS.
 2. DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.

EVERGREEN TREE PLANTING
NOT TO SCALE

- NOTES:
1. ALL FENCE COMPONENTS TO BE ALUMINUM AND POWDERCOATED BLACK.
 2. SEE PLANS FOR FENCE AND GATE LOCATIONS.



FENCE AND GATE
SCALE: 1/2"=1'-0"

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 2022.

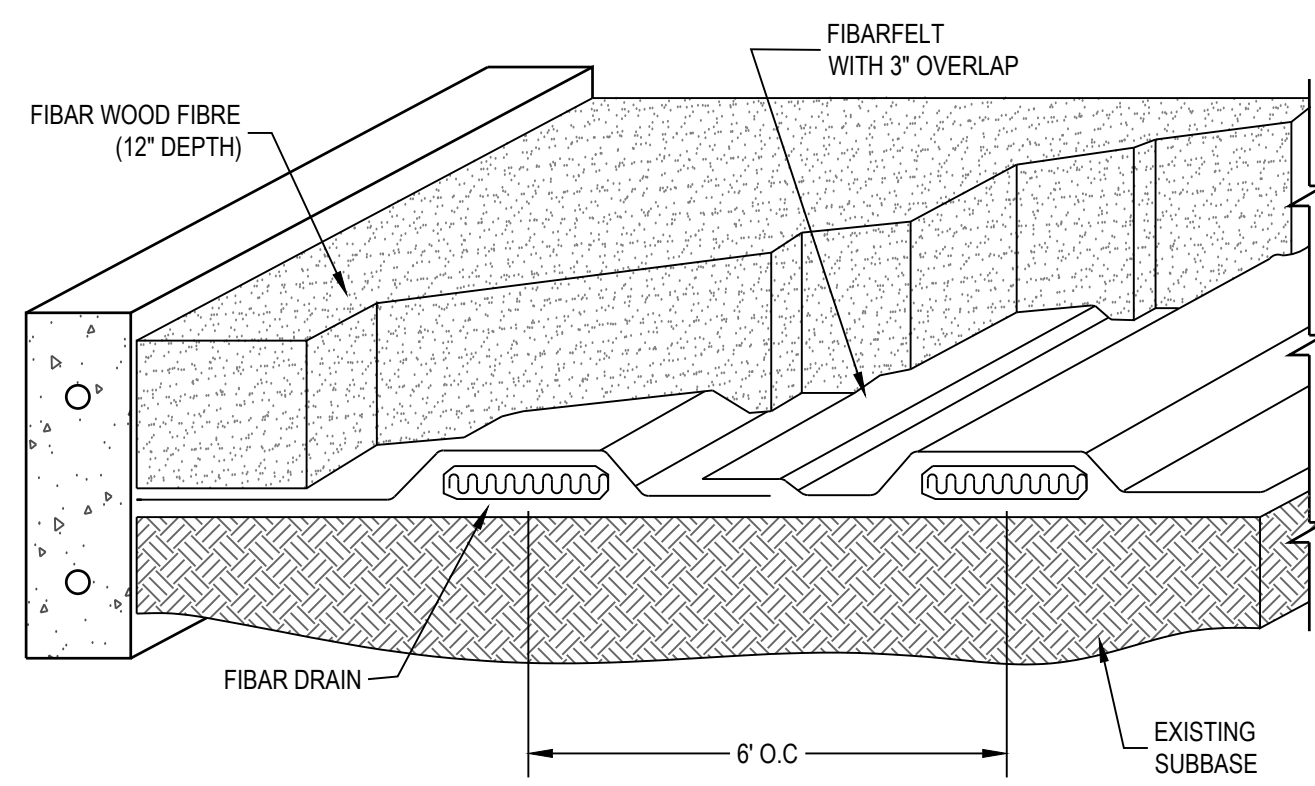
**SP CROSSING AT 7190
COLORADO BOULEVARD
PUD DEVELOPMENT PERMIT**
COMMERCE CITY, COLORADO

NUMBER	DATE	ISSUE

ARCHITECT	CHRISTOPHER CARVELL ARCHITECTS
DESIGNER	WILSON & COMPANY
DATE	11/11/2022
JOB NUMBER	20-600-407-00
DRAWN BY	TDP
CHECKED BY	KMG

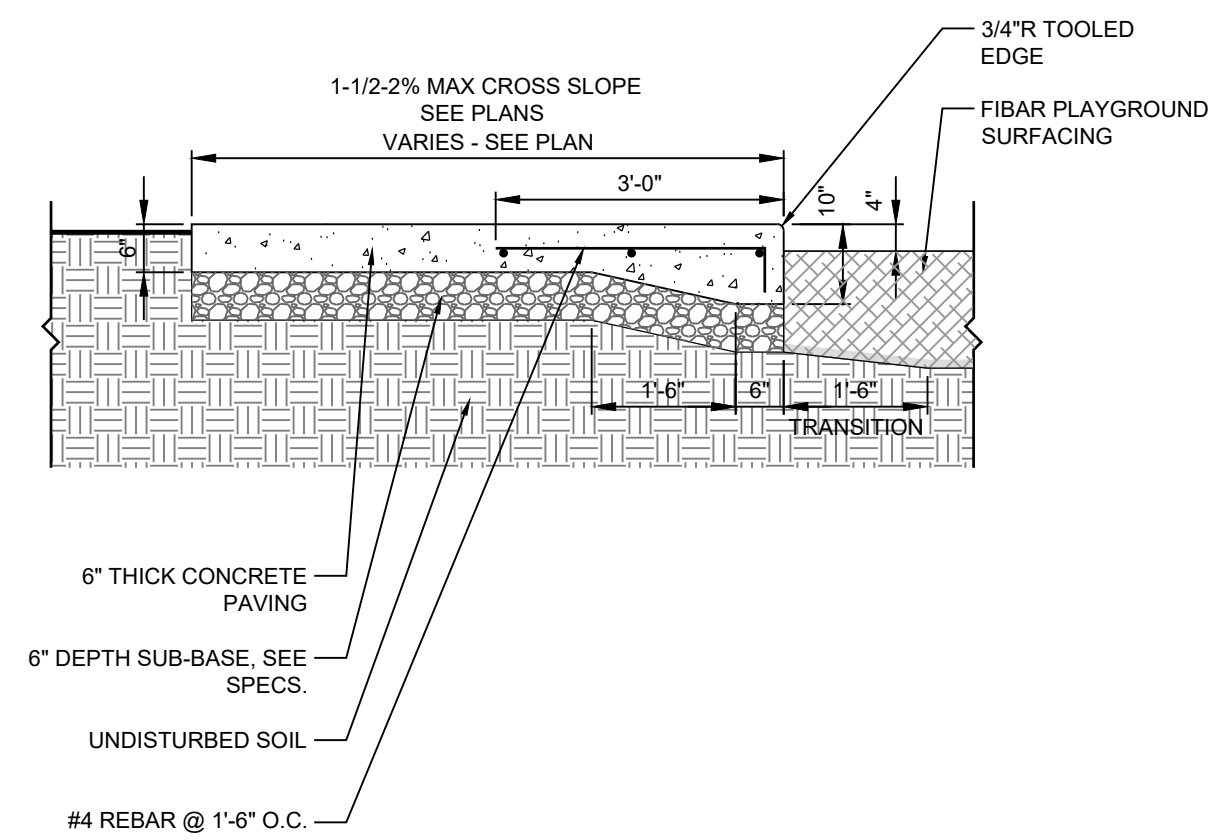
TITLE
LANDSCAPE DETAILS

SHEET #
16 OF 19



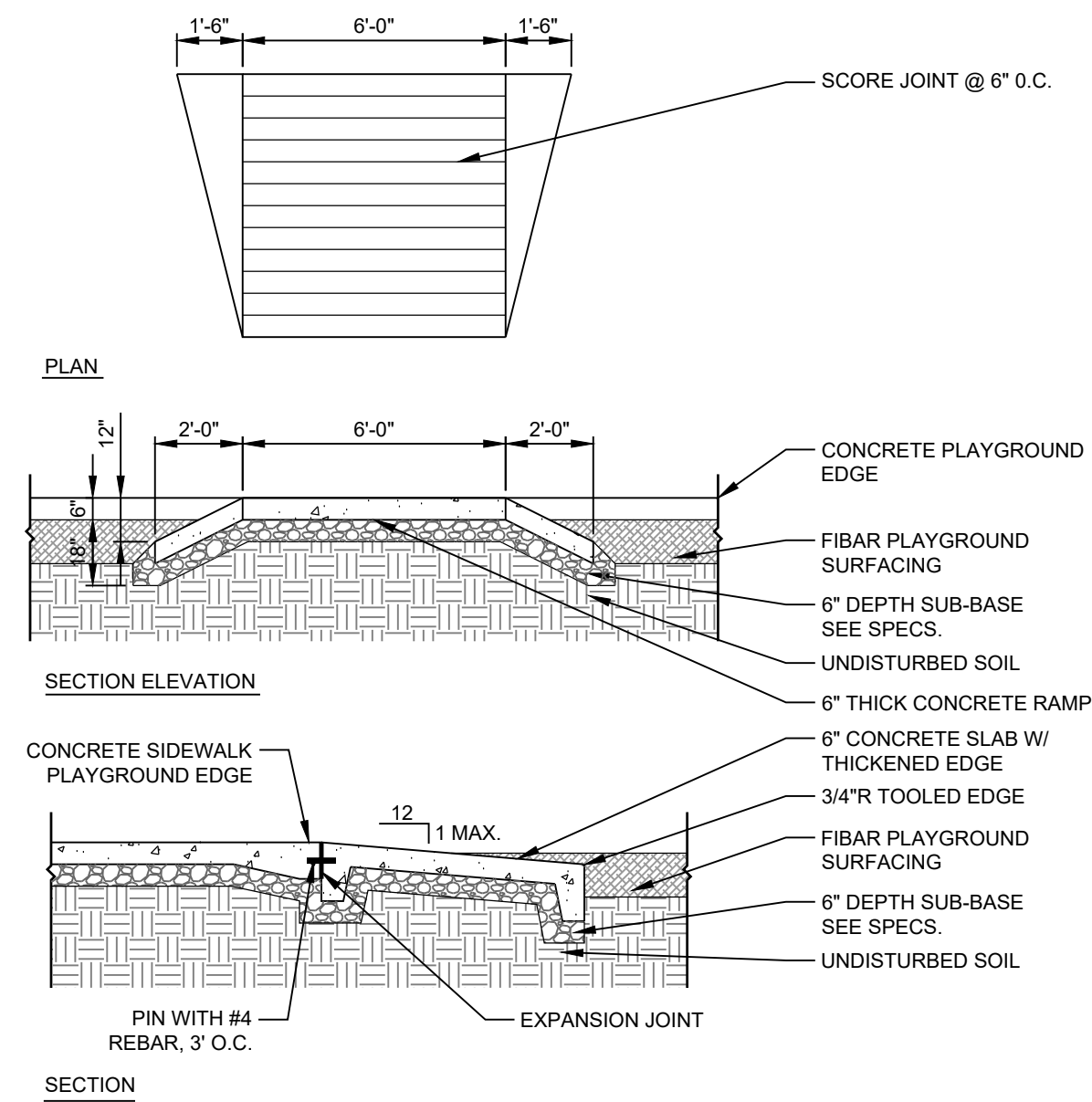
FIBAR SYSTEM 300 - INSTALLATION DETAIL A

SCALE: NTS



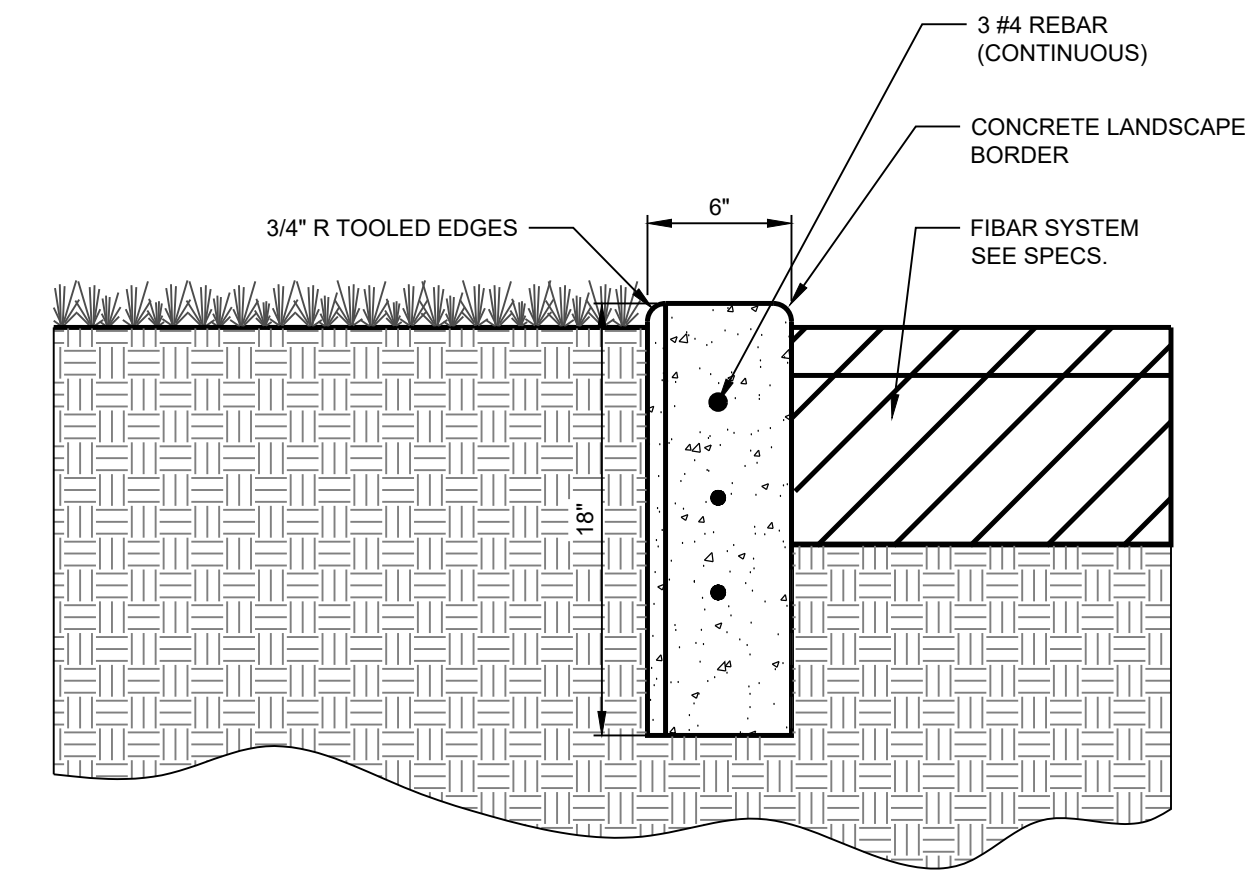
CONCRETE SIDEWALK PLAYGROUND EDGE

SCALE: 1/2\"/>



CONCRETE RAMP AT PLAYGROUND

SCALE: 1/4\"/>



CONCRETE EDGING

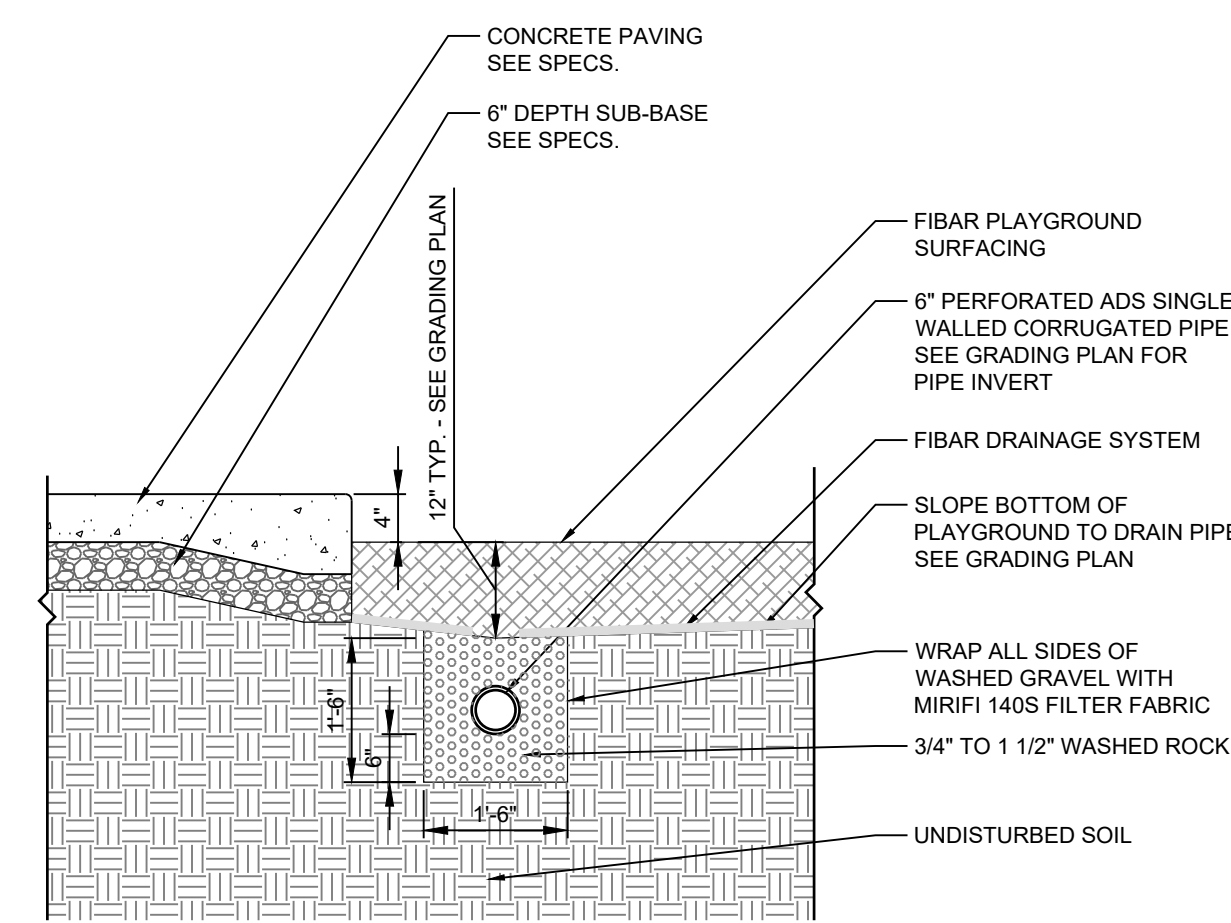
SCALE: 1 1/2\"/>



FIBAR SYSTEMS
 80 BUSINESS PARK DRIVE, SUITE 300
 ARMONK, NY 10504-1705
 TOLL FREE: 1-800-342-2721
 PHONE: (914) 273-8770
 FAX: (914) 273-8659
 www.fibar.com

MANUFACTURER'S NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. THE FIBAR SYSTEM IS PROTECTED BY US PATENTS 4679963, 5026207, 5076726 AND PATENTS PENDING.
4. AWARD CONTRACTORS MUST OBTAIN A LICENSE FROM FIBAR, INC. PRIOR TO CONSTRUCTION.
5. FIBAR MAT WEAR MATS MUST BE INSTALLED UNDER ALL SWINGS, TIRE SWINGS & SLIDE EXITS TO PRESERVE WARRANTY. SEE 312-002.
6. CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 312-005



PERFORATED PLAYGROUND DRAINAGE PIPE

SCALE: 1/2\"/>

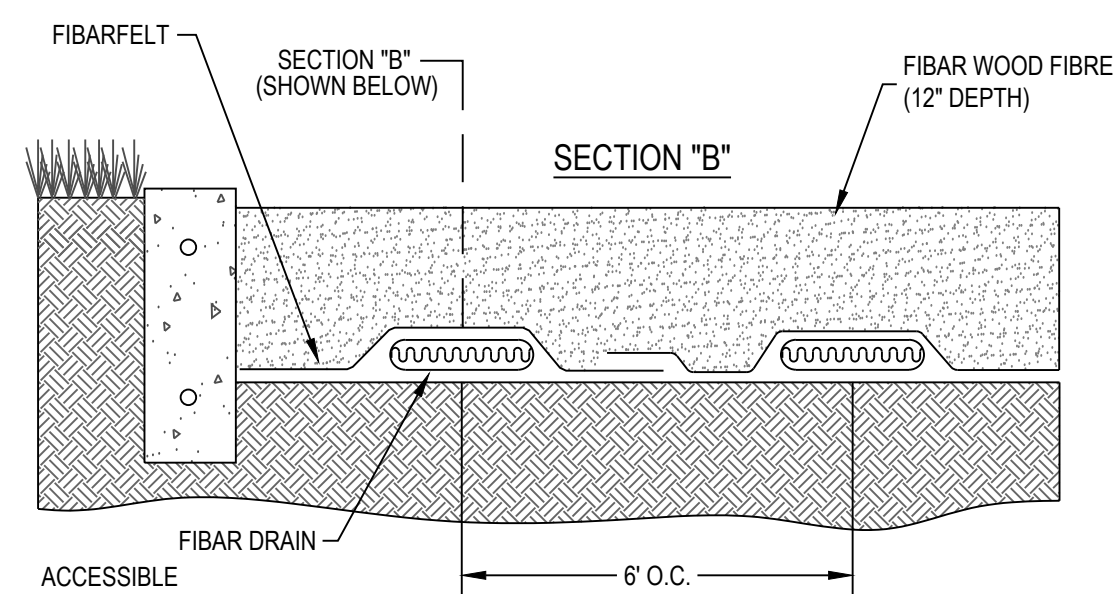


PLAYGROUND EQUIPMENT

NOT TO SCALE

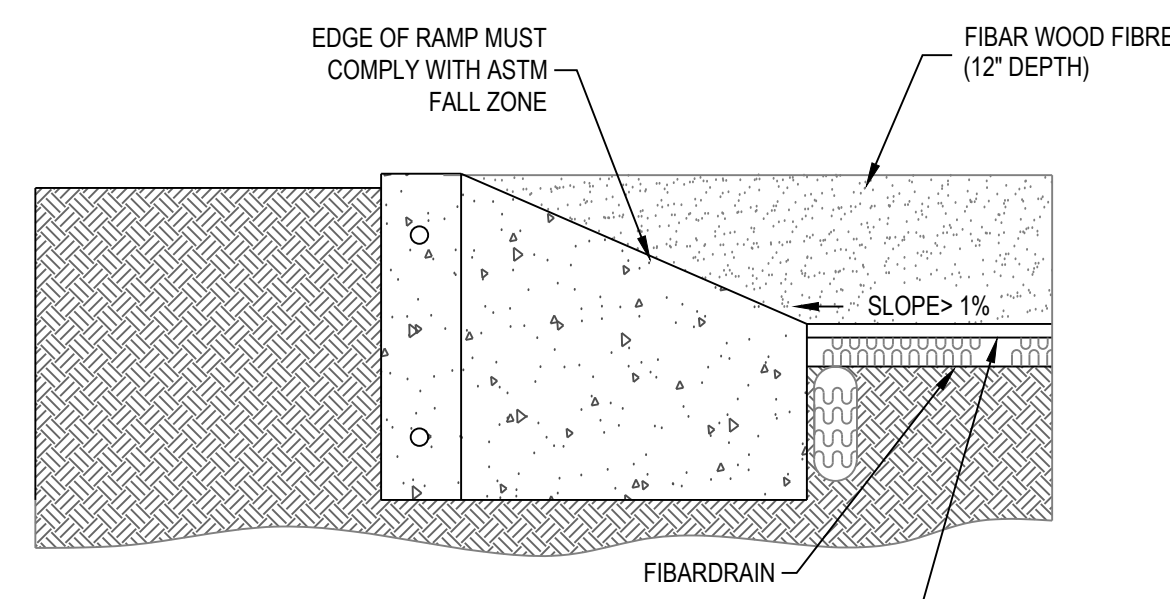
FIBAR SYSTEM 300 - NOTES

SCALE: NTS



FIBAR SYSTEM 300 - INSTALLATION DETAIL B

SCALE: NTS



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PROFESSIONAL CORPORATION
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 landscape architecture urban design planning
 phone: 303.456.2857 web: www.britina.com

**SP CROSSING AT 7190
 COLORADO BOULEVARD
 PUD DEVELOPMENT PERMIT**
 COMMERCE CITY, COLORADO

NUMBER	DATE	ISSUE

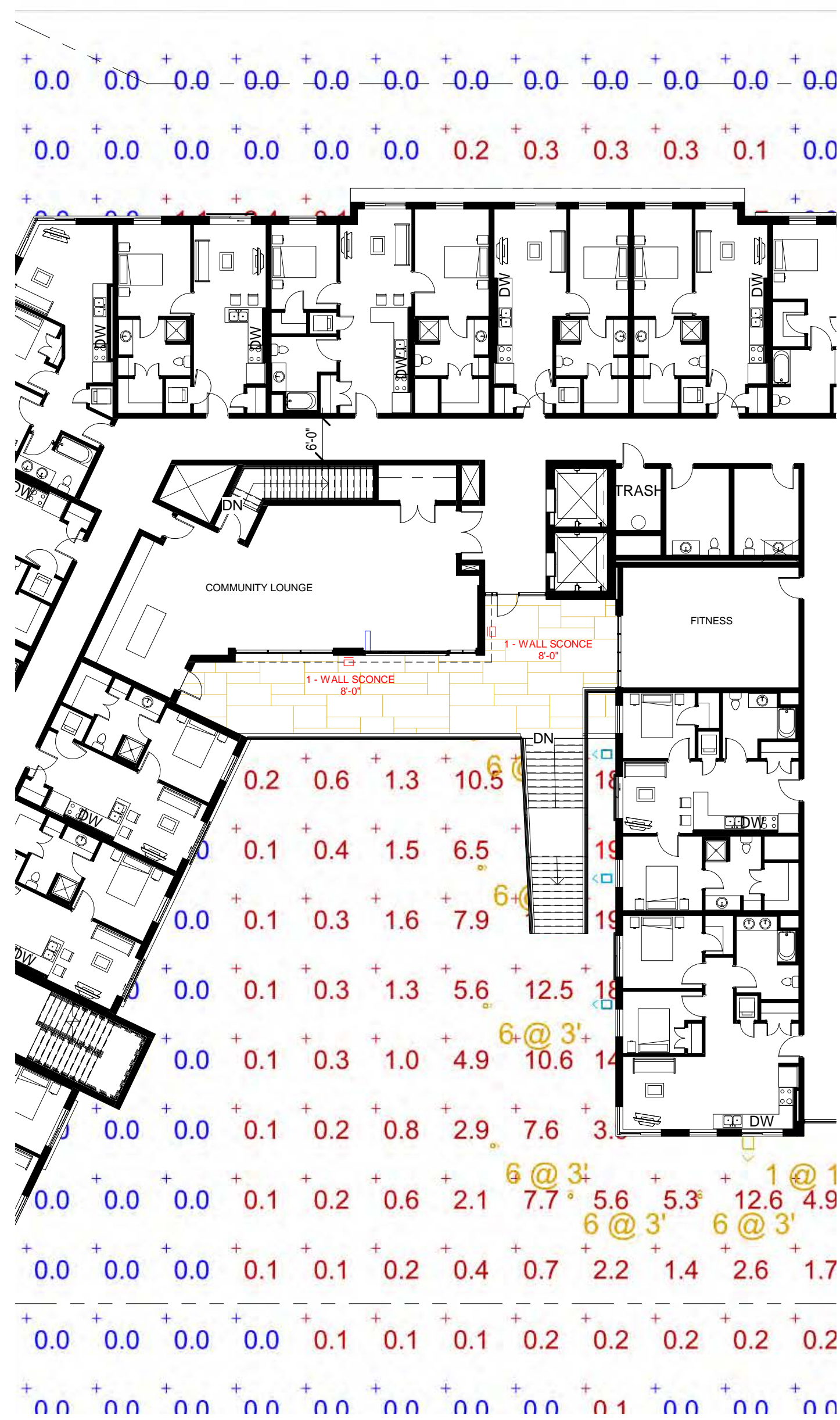
ARCHITECT	CHRISTOPHER CARVELL ARCHITECTS
DESIGNER	WILSON & COMPANY
DATE	11/11/2022
JOB NUMBER	20-600-407-00
DRAWN BY	TDP
CHECKED BY	KMG
TITLE	LANDSCAPE DETAILS
SHEET #	17 OF 19

CITY STAFF CERTIFICATE
 APPROVED BY THE DEPARTMENT OF COMMUNITY
 DEVELOPMENT OF THE CITY OF COMMERCE CITY,
 THIS ____ DAY OF ____, 2022.
 DEPARTMENT OF COMMUNITY DEVELOPMENT

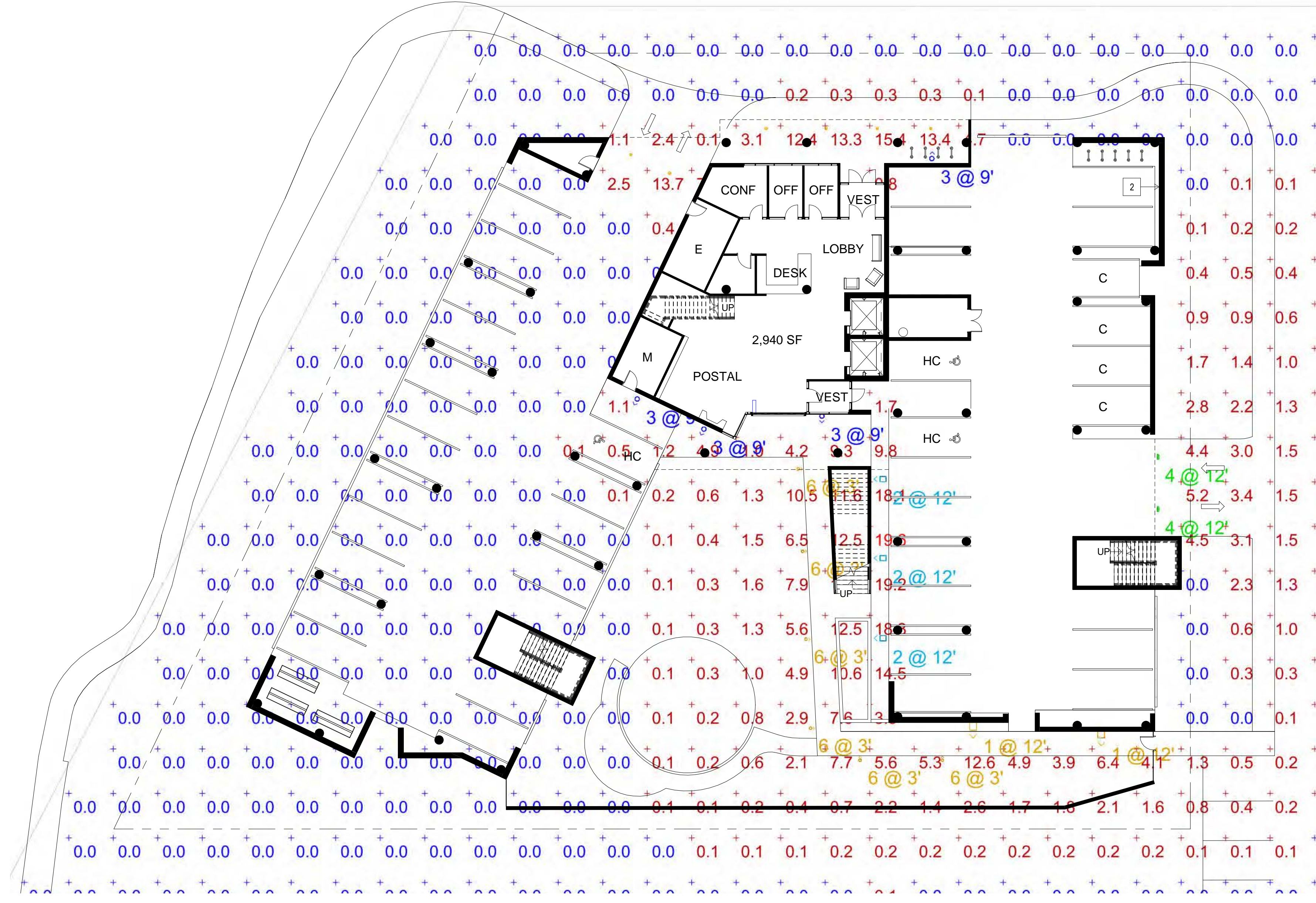
Schedule																	
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
	5		6	Lithonia Lighting	LDN6 35/15 LO6AR LSS	6IN LDN_3500K_1500LM_CLEAR_SEMI-SPECULAR REFLECTOR_CR180		1	LDN6_35_15_LO6AR_LSS.ies	1494	1	1	17.52	100%	DIRECT, SC=0-1.02, SC-90=1.03		
	4		2	Lithonia Lighting	DSXW1 LED 2DC 530 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 530ma.	LED	1	DSXW1_LED_2 DC_530_40K_T 3M_MVOLT.ies	4287	1	1	34.9	100%	TYPE IV, MEDIUM, BUS RATING: B1 - UO - G2		
	1		2	Rebelle	6003-32L-4K-T3	6003LED (also 6003U, 6003Z)	Luxeon M	4	6003-32L-4K-T3.IES	789	1	1	32	79%			
	2		3	Rebelle	6004-101L-12-4K	6004LED (Also 6004U, 6004Z, 6018 and 6020*)	Luxeon M	12	6004-101L-T4.IES	773	1	1	101	85%			
	3		4	WAC Lighting	WS-W65607 A121715	WALL MOUNTED	BXRE-30G1000-B-23	1	1_WS-W65607.IES	849	1	1	17	100%			
	6		6	WE-EF USA	638-6322	ZFY230 LED-FT, Bollards and Pathway Luminaires ZFY230 (C60) IP66-LED-FT-17W/4K; ZFY230 LED-FT, Bollards and Pathway Luminaires	LED, Fortimo, Neutral White LED LUMENS=3010.0 lm, LEDs No=1, TOTALLUMENS=3010.0 lm, Tc=25° LED LUMENS=1113.9 lm, LEDs No=1, TOTALLUMENS=1113.9 lm, Tc=25°C	1	638-6322.ies	1114	1	1	20	100%			

Luminaire Locations													
Location		X			Y			Z			Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z			
1	1	-70.75	-54.25	12.00	12.00	178.41	0.00	-70.75	-54.25	0.00			
2	1	-99.50	-52.50	12.00	12.00	180.00	0.00	-99.50	-52.50	0.00			
1	2	-119.75	3.00	12.00	12.00	270.00	0.00	-119.75	3.00	0.00			
2	2	-119.75	-14.75	12.00	12.00	270.00	0.00	-119.75	-14.75	0.00			
3	2	-119.75	-32.75	12.00	12.00	270.00	0.00	-119.75	-32.75	0.00			
1	3	-108.78	75.03	9.00	9.00	5.04	0.00	-108.78	75.03	0.00			
2	3	-133.48	17.17	9.00	9.00	180.59	0.00	-133.48	17.17	0.00			
3	3	-160.00	14.25	9.00	9.00	207.47	0.00	-160.00	14.25	0.00			
1	4	-58.00	-3.75	12.00	12.00	90.00	0.00	-58.00	-3.75	0.00			
2	4	-58.00	8.00	12.00	12.00	90.00	0.00	-58.00	8.00	0.00			
1	5	-176.45	75.88	10.00	10.00	0.00	0.00	-176.45	75.88	0.00			
2	5	-167.74	71.71	10.00	10.00	0.00	0.00	-167.74	71.71	0.00			
3	5	-146.02	81.79	10.00	10.00	0.00	0.00	-146.02	81.79	0.00			
4	5	-132.52	81.79	10.00	10.00	0.00	0.00	-132.52	81.79	0.00			
5	5	-121.02	81.79	10.00	10.00	0.00	0.00	-121.02	81.79	0.00			
6	5	-109.02	81.79	10.00	10.00	0.00	0.00	-109.02	81.79	0.00			
1	6	-106.41	-60.16	3.00	3.00	0.00	0.00	-106.41	-60.16	0.00			
2	6	-124.91	-60.16	3.00	3.00	0.00	0.00	-124.91	-60.16	0.00			
3	6	-136.05	-32.97	3.00	3.00	90.00	0.00	-136.05	-32.97	0.00			
4	6	-137.05	-32.97	3.00	3.00	90.00	0.00	-137.05	-32.97	0.00			
5	6	-137.80	-13.22	3.00	3.00	90.00	0.00	-137.80	-13.22	0.00			
6	6	-138.80	5.28	3.00	3.00	90.00	0.00	-138.80	5.28	0.00			
11	3	-175.00	21.00	9.00	9.00	207.47	0.00	-175.00	21.00	0.00			

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	19.6 fc	0.0 fc	N/A	N/A



② SITE PHOTOMETRIC PLAN - LEVEL 02
1/16" = 1'-0"



① SITE PHOTOMETRIC PLAN - LEVEL 01
1/16" = 1'-0"

CITY STAFF CERTIFICATE

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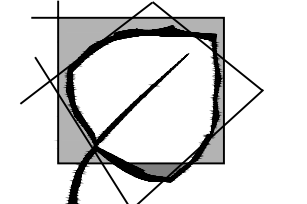
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COMMERCE CITY, COLORADO

NUMBER	DATE	ISSUE

ARCHITECT
CHRISTOPHER CARVELL ARCHITECTS

DESIGNER
WILSON & COMPANY

DATE
11/11/2022

JOB NUMBER
20-600-407-00

DRAWN BY
ECJ

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ECJ

TITLE

PHOTOMETRIC
PLAN

SHEET #

18P OF 19

1

REBELLE
LIGHTING



Streamline 6003LED Mini Direct Wall Mount Downlight INTERIOR/EXTERIOR

Table with columns: MODEL, WATTS, COLOR TEMPERATURE, VOLT, DISTRIBUTION, OPTIONS, COLOR. Lists models 6003-32L, 35K, 4K, 5K with various options like DM, BT, SM, AN, SZ, GM, WS, BM, PAL.

*Standard configuration unless otherwise specified. †Delivered lumens @4000K. ‡Consult factory.

SAMPLE CATALOG NUMBER: 6003 - 32L - 4K - 120 - WT
Using this catalog number would order 1 model 6003 mini direct wall mount downlight with a 32 watt, 4000K light engine wired to 120 volts, with type 2 distribution, painted white texture polycarbonate cover.

CONSTRUCTION, MOUNTING, OPTICAL, PROTECTION. Details material (aluminum), mounting (FSB), optical system (DM), and protection (IP66).

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2

REBELLE
LIGHTING



Streamline 6004LED Midi Direct Wall Mount EXTERIOR

Table with columns: MODEL, WATTS, COLOR TEMPERATURE, VOLT, DISTRIBUTION, OPTIONS, COLOR. Lists models 6004-134L, 35K, 4K, 5K with various options like DM, BT, SM, AN, SZ, GM, WS, BM, PAL.

*Standard configuration unless otherwise specified. †Consult factory. ‡Delivered lumens @4000K.

SAMPLE CATALOG NUMBER: 6004LED - 134L - 4K - 120 - WT
Using this catalog number would order 1 model 6004LED midi direct wall mount luminaire with a 134 watt, 4000K light engine with type 2 distribution, wired to 120 volts, finished white texture polycarbonate cover.

CONSTRUCTION, MOUNTING, OPTICAL, PROTECTION. Details material (cast aluminum), mounting (FSB), optical system (DM), and protection (IP66).

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WAC LIGHTING

Mod
6" Outdoor Wall Sconce 3000K

Table with columns: Model & Size, Color Temp & CR, Watt, Voltage, LED Lumens, Delivered Lumens, Finish. Lists model WS-W65607, 3000K, 16.5W, 120-277 VAC, 1165, 850, Finish: BK, BR, GR, WT.

Example: WS-W65607-BK

DESCRIPTION
Expertly crafted from die-cast aluminum, the Mod family features a smooth curved modern shape. ADA Compliant and Dark Sky friendly, ideal for exterior residential, hospitality and commercial applications.

FEATURES
• Weather resistant powder coat finish
• Low profile with effective path illumination
• Light engine is factory sealed for maximum protection from the elements
• Driver concealed within the fixture
• 5 year warranty

SPECIFICATIONS
Color Temp: 3000K
Input: 120-277 VAC, 50/60Hz
CR: 90
Dimming: ELV, 100-10%
Rated Life: 70000 Hours
Mounting: Can be mounted on wall in all orientations
Standards: ETL, CETL, IP65, Title 24 JAS-2016 Compliant
Wet Location Listed
Construction: Aluminum hardware with glass diffuser



wacighting.com | Phone (800) 526-2588 | Fax (800) 526-2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Fort Washington, NY 11550
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D-Series Size 1
LED Wall Luminaire

d-series

Specifications Luminaire
Width: 13-3/4" (349mm)
Depth: 10" (254mm)
Height: 6-5/8" (168mm)

Back Box (BBW, ELCW)
Width: 13-3/4" (349mm)
Depth: 10" (254mm)
Height: 6-5/8" (168mm)

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

EXAMPLE: DSW1 LED 20C 1000 40K T3M MVOLT DBBTDK

Table with columns: Series, Watt, Color Temp, Voltage, Distribution, Options, Color, Height, Shipping Weight. Lists models like DSW1 LED 20C 1000 40K T3M MVOLT DBBTDK.

Table with columns: Shipped separately, Part Number, Description, Part Number, Description. Lists accessories like BBW, ELCW, DSW1, etc.

Accessories
NOTES
1. 20C listed model available with 100, 200, 400, 800, 1600, 3200, 6400, 12800 lumens.
2. MVOLT driver operates on any line voltage from 100-277V (50/60Hz).
3. Single line 277V requires 277V or 240V voltage option. Double line 277V requires 240 or 480V voltage option.
4. Only available with 20C, 3000K or 5000K. Not available with 4K or 5K.
5. Back Box only available on 100, 200, 400, 800, 1600, 3200, 6400, 12800 lumens. Cannot be ordered as an accessory.
6. Professional (PE) requires 100, 200, 240, 277 or 347 voltage option. Not available with non-recessed light engine (PE or PEH).
7. Reference Manual Section 4.10 on page 2.
8. Cold weather (CWC) listed. Not compatible with condensing applications. Not available with BBW mounting option. Not available with 240 or 480V voltage options. Emergency measures located in back box housing. Emergency mode (EM) has based on product design.
9. Not available with 20C.
10. Not available with 5000K.
11. Also available in a recessed enclosure (see Accessories list below).
12. Not available with 5000K.

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LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, hallways, conference rooms and private offices.
CONSTRUCTION — Substantiated and mounting/driver frame, galvanized steel junction box with bottom-hinged access cover and spring-loaded reflectors. Reflectors are attached by break-apart. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" wall adjustment. Two construction 1/2" x 1/2" and two 1/2" x 1/2" brackets for straight through installation. Capacity: 60 lbs, 4 in. to 12 AWG conductors, standard 10°C.
ELECTRICAL — Multi-watt (120-277V, 50/60Hz) 0-10V dimming drivers available to function from 0% to 100% maximum dimming level available.
LISTINGS — Compliant to UL and Canadian safety standards. Range location standard level location, control wiring optional. 5000K 150W certified product.
WARRANTY — 5-year limited warranty.
Note: Actual performance may differ as a result of real-world environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Example: LDN6 35.15 1000R 155 MVOLT E270

Table with columns: Series, Color Temperature, Lumens, Aperture/Trim Color, Finish, Voltage. Lists models like LDN6 35.15 1000R 155 MVOLT E270.

Table with columns: Driver, Options, Accessories. Lists various options like Single Line, White Painted Flange, Emergency battery pack, etc.

Accessories
BAC 100W 175 Compact Emergency AC power system
BAC 100W 175 Compact Emergency AC power system
CBA01 12" Overhead bar with 4" outside diameter
SCAM Shipping adapter

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ZFY230 LED-FT
Bollards and Pathway Luminaires



Specifications

Material Specification, Features, Electrical Specification. Details body (aluminum), lens (polycarbonate), color (RAL5010 Black, RAL9007 Grey Metallic, RAL2016 White, RAL8019 Dark Bronze), gasket (silicone), fasteners (PES), ingress protection (IP66), impact protection (IK10), corrosion protection (NCE), listings (ETL Listed).

Power supply: Integral ECGI electronic driver (200V-277V 0-10V dimmable) to be specified with order.
Driver / Ballast: Integral EC electronic converter
Lifetime: LED - 60,000 h Ta 25°C (Ta 25°C)
Dimming gear - 50,000 h Ta 25°C

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