

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1 RECORDED UNDER RECEPTION NO. _____ IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, CONTAINING A CALCULATED AREA OF 658,127 SQUARE FEET OR 15.1085 ACRES.

EXISTING ZONING

REUNION PUD AMENDMENT #5 TC-2

GENERAL NOTES

LIGHTING NOTE:
IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH AS MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE:
TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE:
ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE:
APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

FENCING NOTE:
APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE:
NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

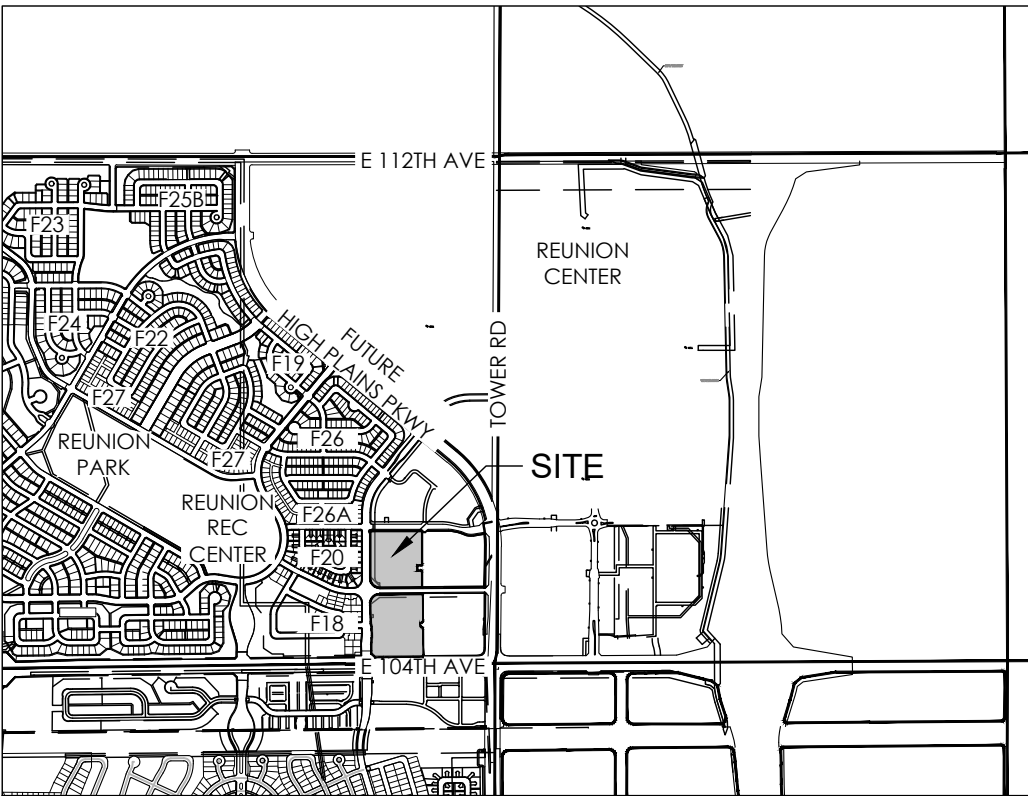
AMERICANS WITH DISABILITIES NOTE:
THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE:
THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE:
ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

VICINITY MAP

1" = 2,000'



SITE DATA

SITE DATA	
GROSS RESIDENTIAL ACREAGE	7.2133
GROSS COMMERCIAL ACREAGE	8.0434
NET ACREAGE (RESIDENTIAL LOTS ONLY)	5.0024
NUMBER OF RESIDENTIAL LOTS	106
NUMBER OF COMMERCIAL LOTS	5
NUMBER OF TRACTS	11
GROSS DENSITY (DU/AC)	14.7

OPEN SPACE DATA

OPEN SPACE DATA	
GROSS RESIDENTIAL SITE ACREAGE	7.2133
OPEN SPACE REQUIRED (ACRES)	0.2164
OPEN SPACE PROVIDED (ACRES)	0.4181

NOTES:
1. REQUIRED OPEN SPACE IS CALCULATED AS 3% OF THE GROSS RESIDENTIAL SITE ACREAGE.

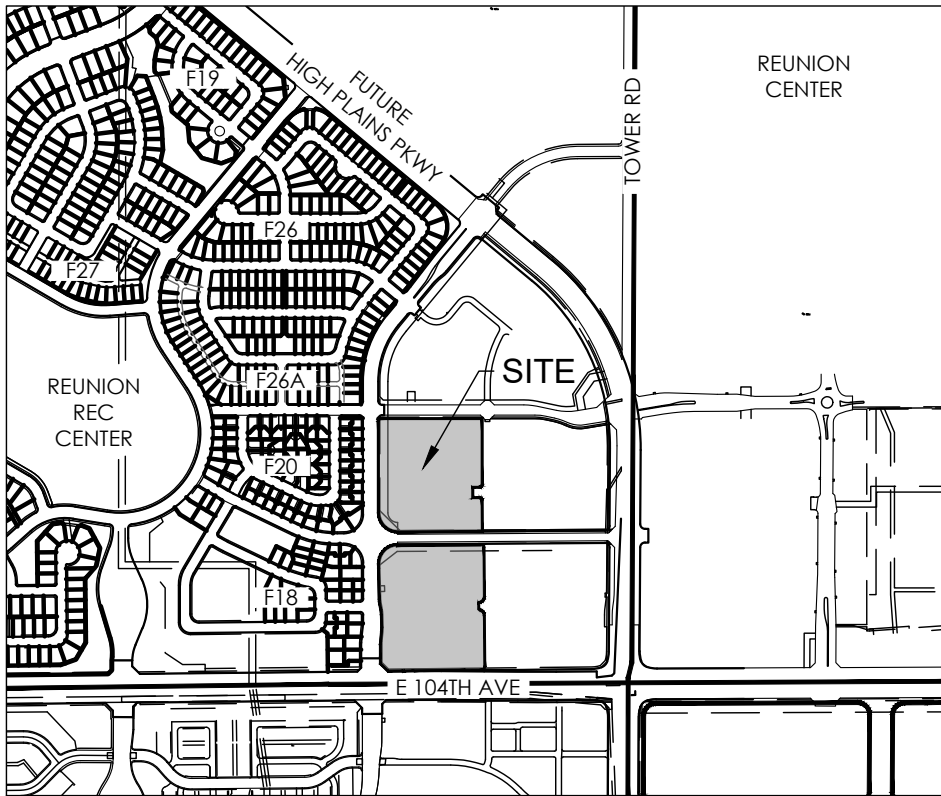
TRACT TABLE

TRACT	AREA (SF)	AREA (AC)	OPEN SPACE (AC)	USE	OWNER	MAINTAINED BY
A	2,999	0.0688	0.0718	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
B (PRIVATE ROW)	37,154	0.8529		ACCESS, UTILITIES, DRAINAGE, PRIVATE ROW	METRO DISTRICT	METRO DISTRICT
C	1,332	0.0306	0.0306	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
D	1,109	0.0255	0.0287	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
E	432	0.0099	0.0099	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
F	432	0.0099	0.0099	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
G	628	0.0144	0.0144	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
H	1,655	0.0380	0.0380	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
I	1,075	0.0247	0.0247	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
J (PRIVATE ROW)	14,574	0.3346		ACCESS, UTILITIES, DRAINAGE, PRIVATE ROW	METRO DISTRICT	METRO DISTRICT
K	8,359	0.1919	0.1901	OPEN SPACE, UTILITIES, DRAINAGE	METRO DISTRICT	METRO DISTRICT
TOTAL OPEN SPACE			0.4181			
TOTAL TRACT AREA	69,749	1.6012				
TOTAL LOT AREA	568,278	13.0459				
TOTAL ROW AREA	26,557	0.6097				
TOTAL SITE AREA	664,584	15.2567				

METRO DISTRICT = REUNION CENTER METROPOLITAN DISTRICT

KEY MAP

1" = 1,000'



SHEET INDEX

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APPLICANT/OWNER

OAKWOOD HOMES
4908 TOWER ROAD
DENVER, CO 80249
(303) 486-8500
CONTACT: RANDY BAUER

OWNER

CLAYTON PROPERTIES
GROUP II, INC
4908 TOWER ROAD
DENVER, CO 80249
(303) 486-8500
CONTACT: RANDY BAUER

ENGINEER

CORE CONSULTANTS, INC.
3473 S. BROADWAY
ENGLEWOOD, CO 80113
(303) 730-5992
CONTACT: JUSTIN SIMPSON

DISTRICT ENGINEER

JR ENGINEERING
7200 S ALTON WAY C400
CENTENNIAL, CO 80112
(303) 740-9393
CONTACT: AARON CLUTTER

SURVEYOR

JR ENGINEERING
7200 S ALTON WAY C400
CENTENNIAL, CO 80112
(303) 740-9393
CONTACT: DEREK VAGIAS

PLANNER

TERRACINA DESIGN
10200 E. GIRARD AVE
A-314
DENVER, CO 80231
(303) 632-8867
CONTACT: JEFF MARCK

LANDSCAPE ARCHITECT

TERRACINA DESIGN
10200 E. GIRARD AVE
A-314
DENVER, CO 80231
(303) 632-8867
CONTACT: SARAH MOLL

NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



Know what's below.
Call before you dig.

ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE

SEPTEMBER 20, 2021

REVISION DATES

AUGUST 27, 2024

SHEET TITLE

COVER

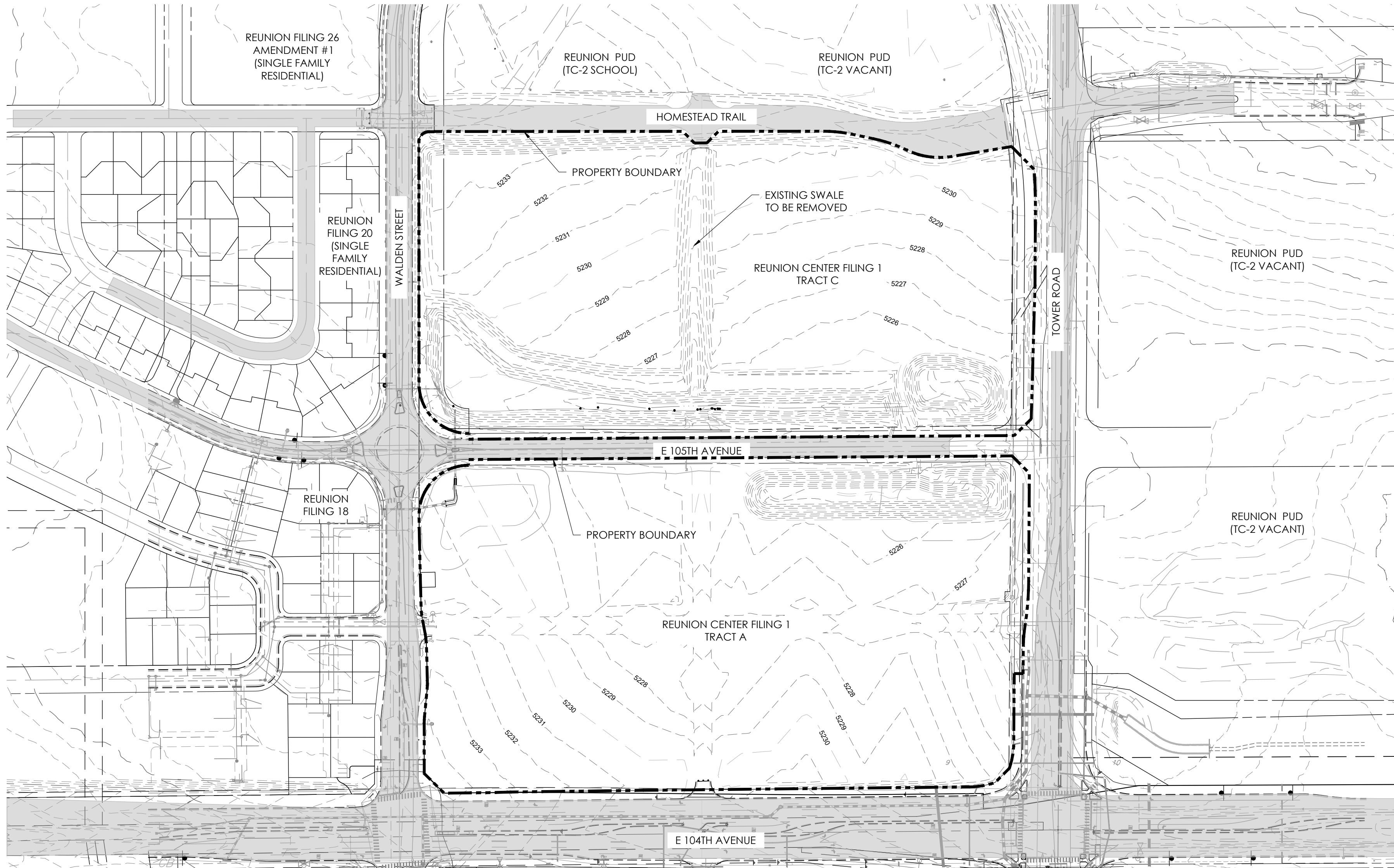
SHEET NUMBER

C1.1

SHEET 1 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

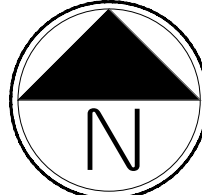
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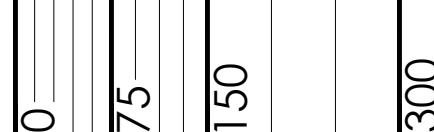
LEGEND



EXISTING ROADS



Scale: 1"= 150'-0"



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CITY STAFF CERTIFICATE
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DEVELOPMENT OF THE CITY OF COMMERCE CITY
THIS _____ DAY OF _____, 2021

DEPARTMENT OF COMMUNITY DEVELOPMENT

td
terracedesign
10200 E. Girard Ave., A-314
Denver, CO 80231
ph: 303.632.8867



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EXISTING CONDITIONS

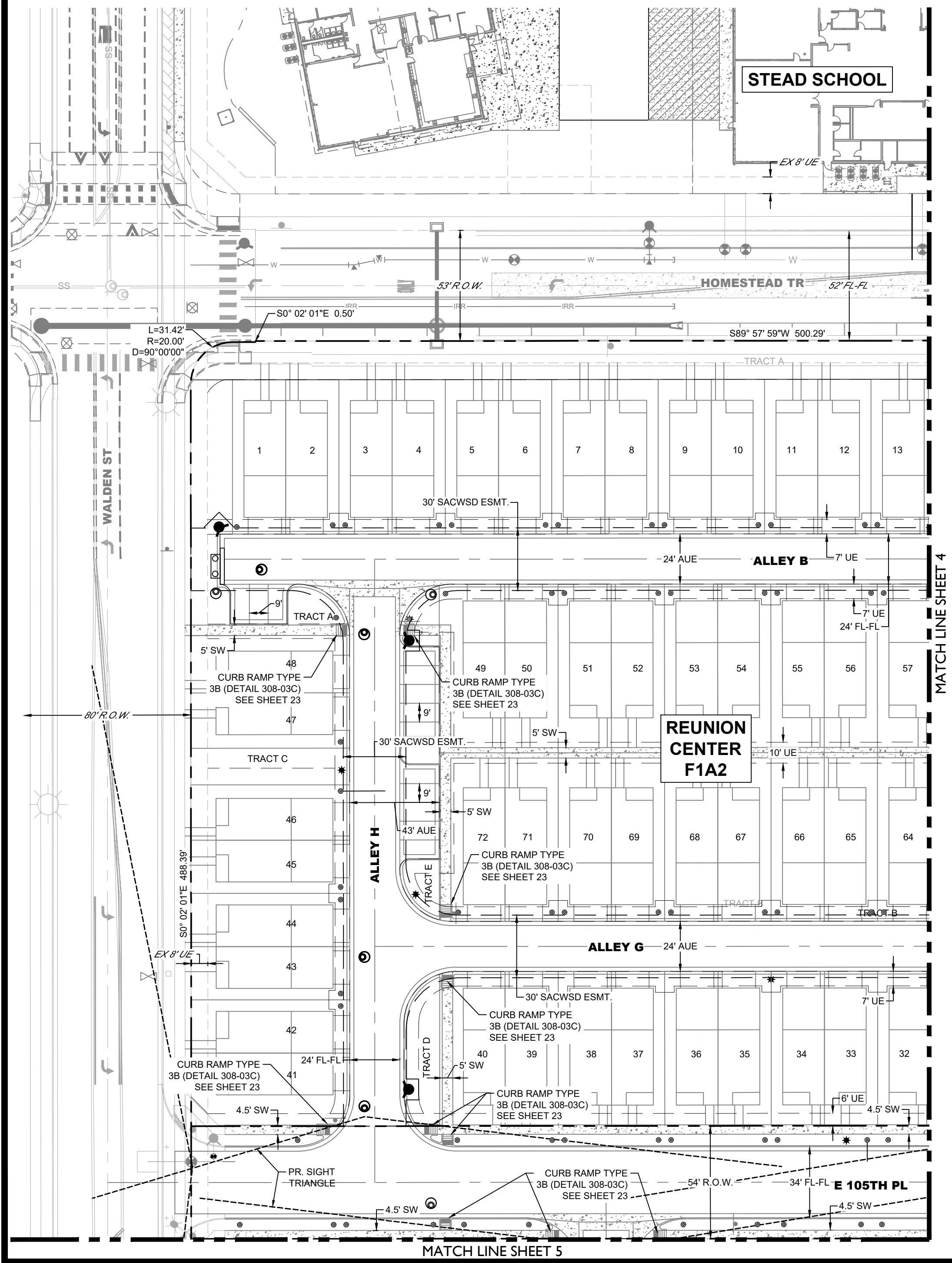
SHEET NUMBER

C1.2

SHEET 2 OF 37

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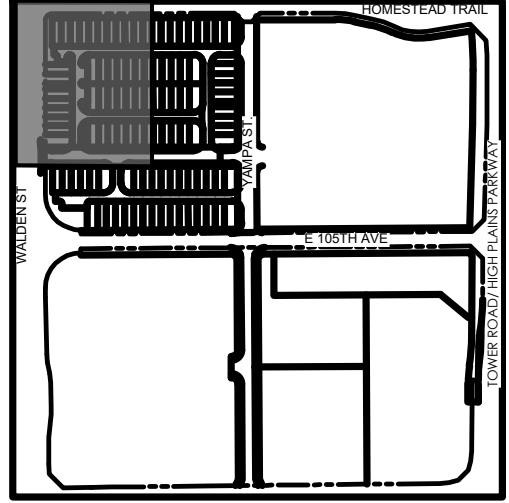
NOTES:

1. SEE ENGINEERING CONSTRUCTION PLANS PREPARED BY JR ENGINEERING FOR ALL METRO DISTRICT IMPROVEMENTS.
2. SEE LANDSCAPE PLANS PREPARED BY TERRACINA DESIGN FOR ALL LANDSCAPE & PARK DESIGN.
3. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL TIE-IN STUB LOCATIONS.
4. SEE SACWSD WATER AND SEWER PLANS FOR ADDITIONAL INFORMATION.
5. FIRE HYDRANTS LOCATED IN A LOW POINT IN THE WATERLINE INSTALLATION SHALL BE A BLOW-OFF FIRE HYDRANT AND SHALL BE MARKED IN A COLOR OTHER THAN RED OR YELLOW.
6. SEE REUNION CENTER FILING 1 AMENDMENT 1, PREPARED BY CORE CONSULTANTS, FOR ADDITIONAL INFORMATION.

LEGEND

	EASEMENT
	RIGHT OF WAY (R.O.W.)
	CENTERLINE
	PROJECT BOUNDARY
	PROPOSED CURB & GUTTER
	PROPOSED IRRIGATION & STUB OUT
	PROPOSED STORM & STUB OUT
	PROPOSED SANITARY & STUB OUT
	PROPOSED WATER & STUB OUT
	EXISTING IRRIGATION & STUB OUT
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	FUTURE STORM & STUB OUT
	FUTURE WATER & STUB OUT
	IRRIGATION SERVICE
	SANITARY SERVICE
	WATER SERVICE
	BLOCK NUMBER
	STREET LIGHT POLES
	POWER POLES
	GUY WIRE
	SANITARY MANHOLES
	SANITARY CLEAN OUT
	WATER VALVES
	BEND AND THRUST BLOCK
	FIRE HYDRANTS
	WATERLINE REDUCER
	WATER STUB WITH BLOW OFF
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	OUTLET STRUCTURE
	CRUSHER FINES
	MAINTENANCE ACCESS
	RIPRAP
	EXISTING ELECTRIC
	EXISTING TELEPHONE
	EXISTING FIBER OPTIC
	EXISTING GAS
	EXISTING OVER HEAD ELECTRIC
	STORM UNDERDRAIN
	100 YEAR FLOODPLAIN
	WETLAND

KEY MAP



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APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

CORE

LAND DEVELOPMENT, ENERGY, & PUBLIC INFRASTRUCTURE

CORE CONSULTANTS, INC.

3473 S. BROADWAY

ENGLEWOOD, CO 80113

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REUNION CENTER FILING 1 AMENDMENT #2
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SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE	SEPTEMBER 20, 2021
REVISION DATES	AUGUST 27, 2024
SHEET TITLE	SITE PLAN (1 of 4)
SHEET NUMBER	C1.3
SHEET 3 OF 37	

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SHEET TITLE
SITE PLAN
(2 of 4)
SHEET NUMBER

C1.4
SHEET 4 OF 37

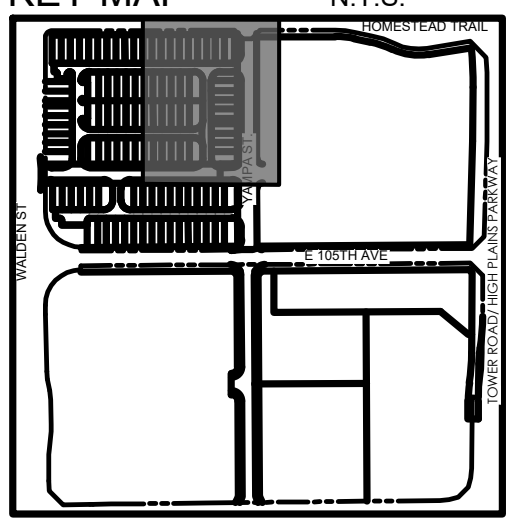
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3. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL TIE-IN STUB LOCATIONS.
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LEGEND

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	CENTERLINE
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	PROPOSED CURB & GUTTER
	PROPOSED IRRIGATION & STUB OUT
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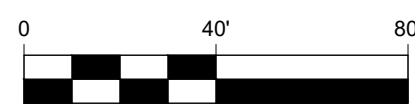
KEY MAP



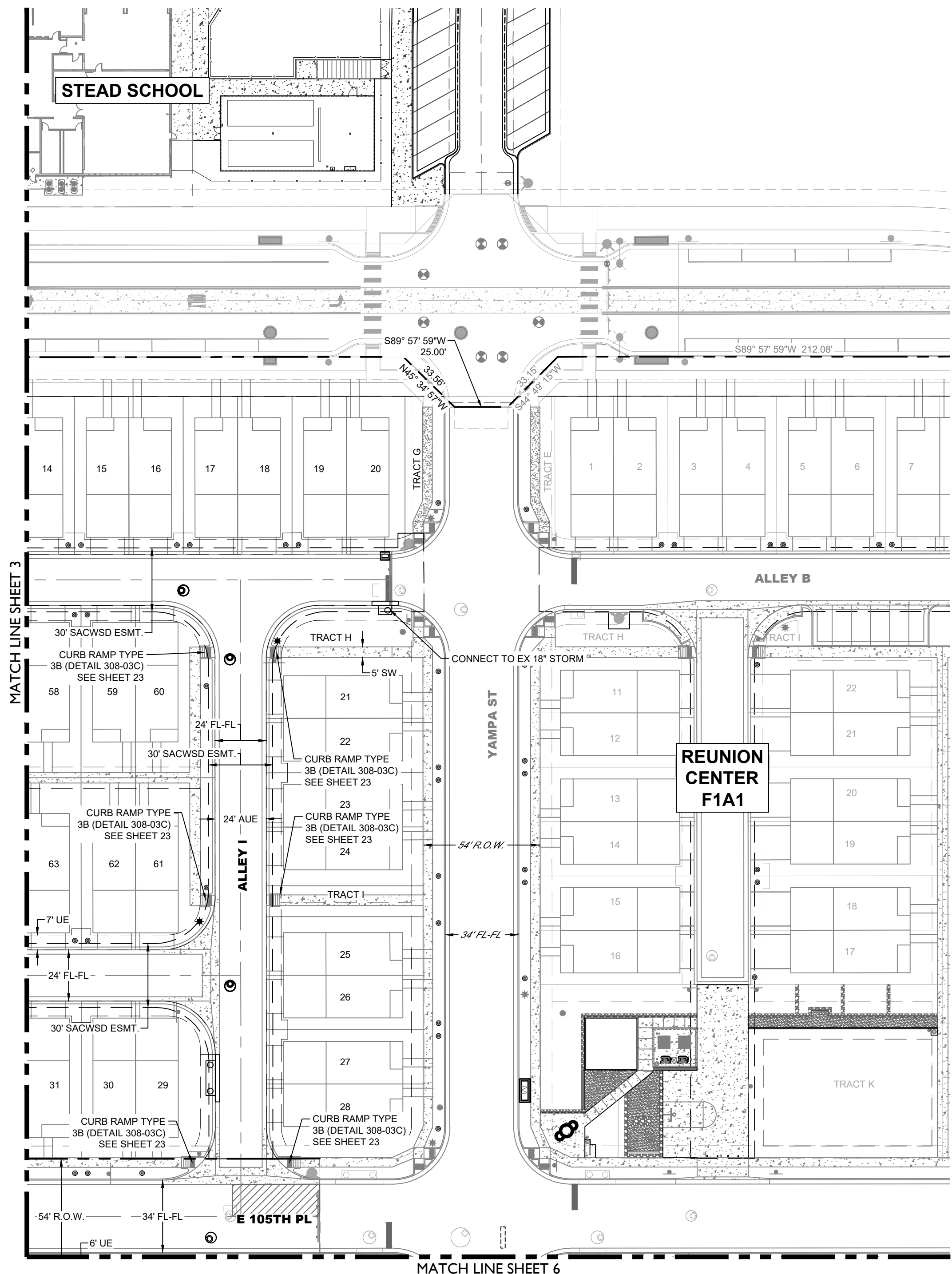
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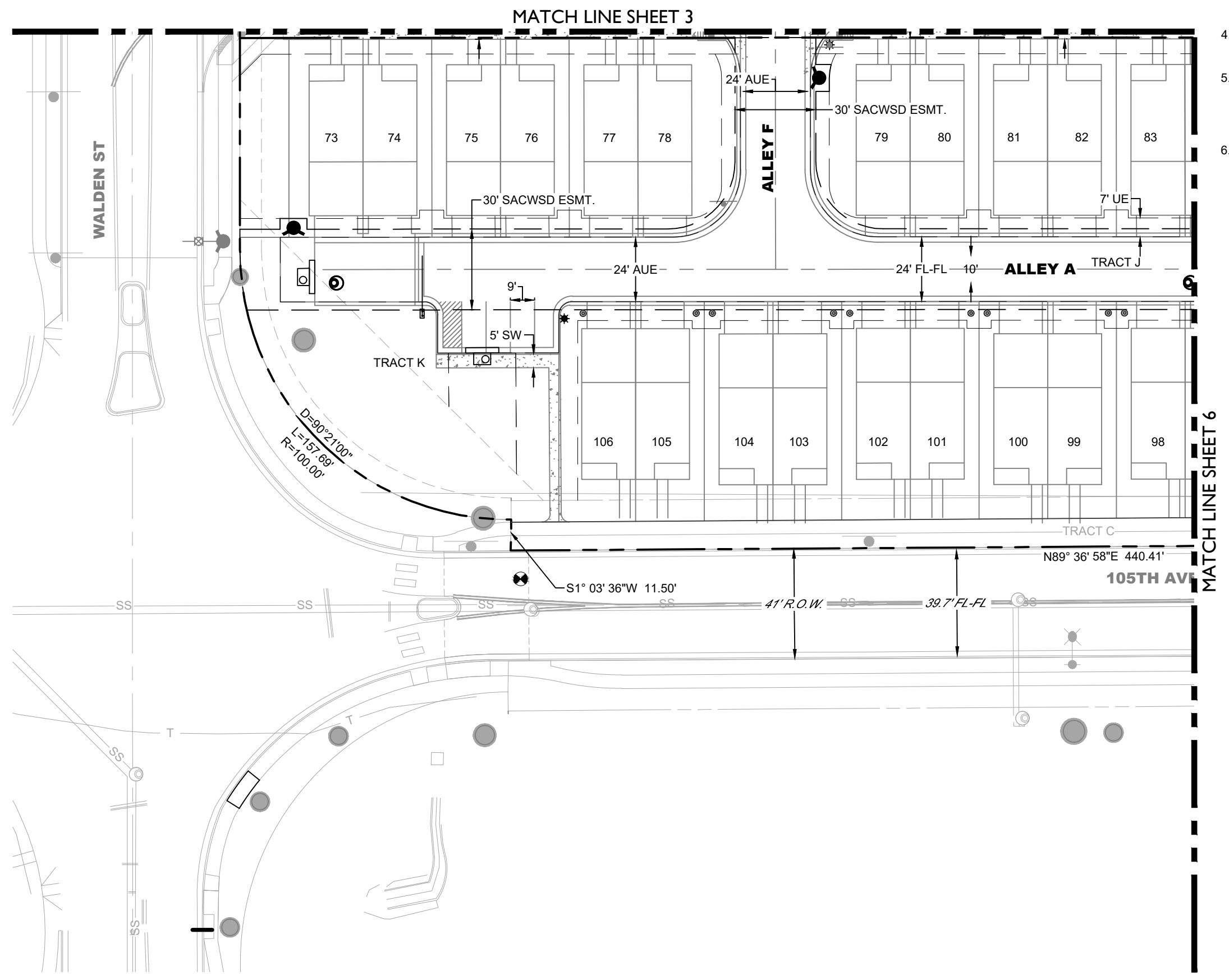


1 inch = 40 ft.



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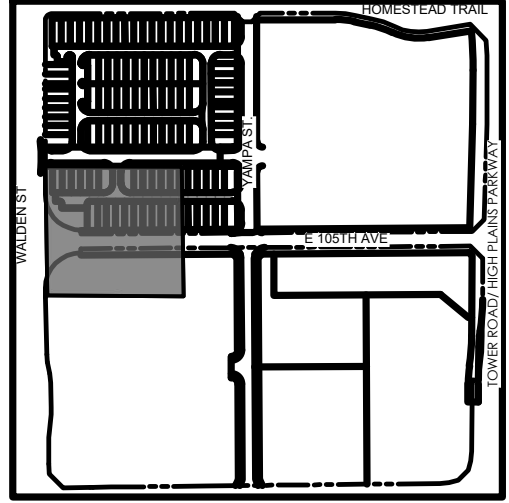
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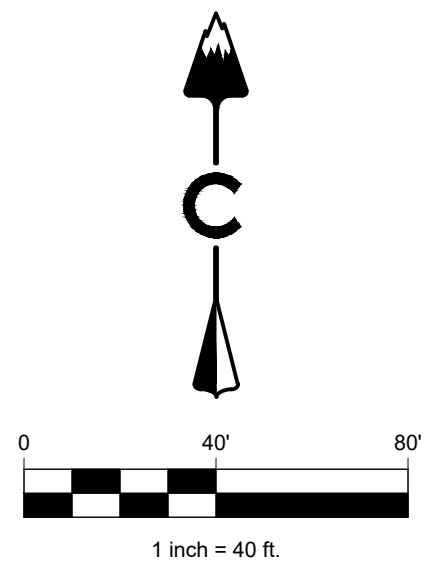
KEY MAP



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS ____ DAY OF ____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT



CORE

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CORE CONSULTANTS, INC.

3473 S. BROADWAY

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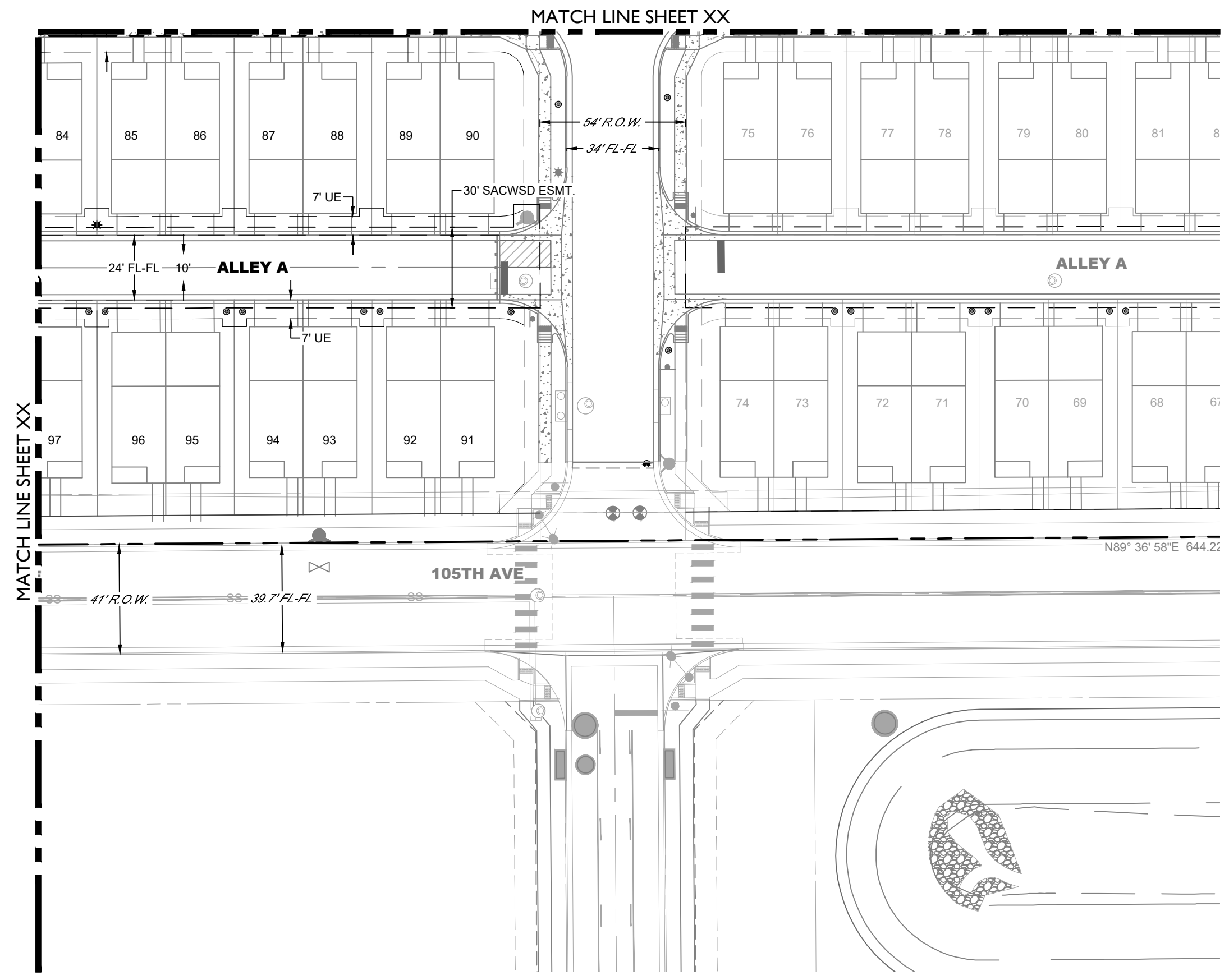
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SHEET TITLE	SITE PLAN (3 of 4)
SHEET NUMBER	C1.5
SHEET 5 OF 37	

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---	CENTERLINE
---	PROJECT BOUNDARY
---	PROPOSED CURB & GUTTER
---	PROPOSED IRRIGATION & STUB OUT
---	PROPOSED STORM & STUB OUT
---	PROPOSED SANITARY & STUB OUT
---	PROPOSED WATER & STUB OUT
---	EXISTING IRRIGATION & STUB OUT
---	EXISTING STORM & STUB OUT
---	EXISTING SANITARY & STUB OUT
---	EXISTING WATER & STUB OUT
---	FUTURE IRRIGATION & STUB OUT
---	FUTURE SANITARY & STUB OUT
---	FUTURE STORM & STUB OUT
---	FUTURE WATER & STUB OUT
---	IRRIGATION SERVICE
---	SANITARY SERVICE
---	WATER SERVICE
---	BLOCK NUMBER
---	STREET LIGHT POLES
---	POWER POLES
---	GUY WIRE
---	SANITARY MANHOLES
---	SANITARY CLEAN OUT
---	WATER VALVES
---	BEND AND THRUST BLOCK
---	FIRE HYDRANTS
---	WATERLINE REDUCER
---	WATER STUB WITH BLOW OFF
---	STORM MANHOLES
---	STORM INLETS
---	FES, FOREBAY, & TRICKLE CHANNEL
---	OUTLET STRUCTURE
---	CRUSHER FINES
---	MAINTENANCE ACCESS
---	RIPRAP
---	EXISTING ELECTRIC
---	EXISTING TELEPHONE
---	EXISTING FIBER OPTIC
---	EXISTING GAS
---	EXISTING OVER HEAD ELECTRIC
---	STORM UNDERDRAIN
---	100 YEAR FLOODPLAIN
---	WETLAND

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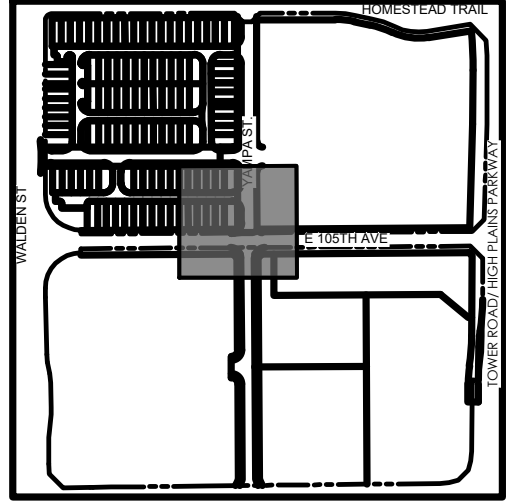
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NUMBER:
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REUNION CENTER FILING 1 AMENDMENT #2
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE	SEPTEMBER 20, 2021
REVISION DATES	AUGUST 27, 2024
SHEET TITLE	SITE PLAN (4 of 4)
SHEET NUMBER	C1.6
SHEET 6 OF 37	

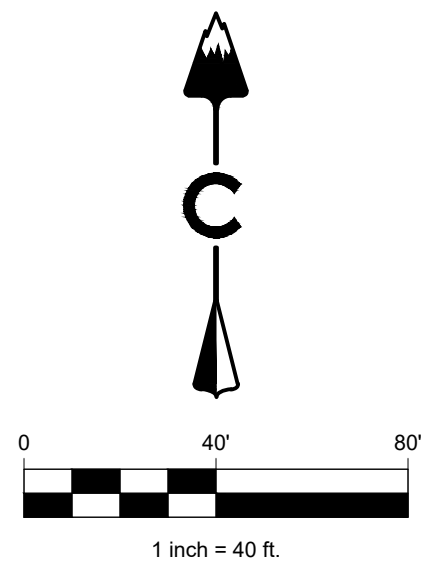
KEY MAP



NOT FOR CONSTRUCTION

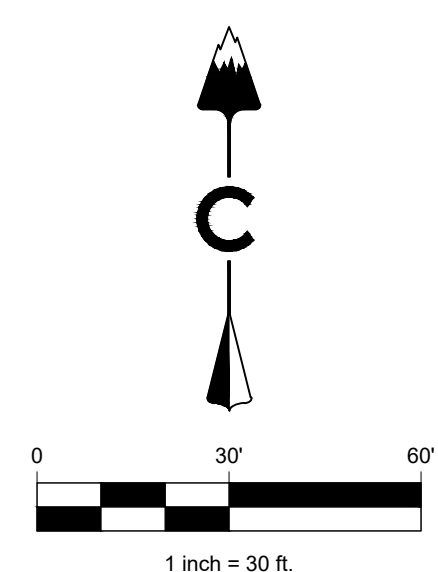
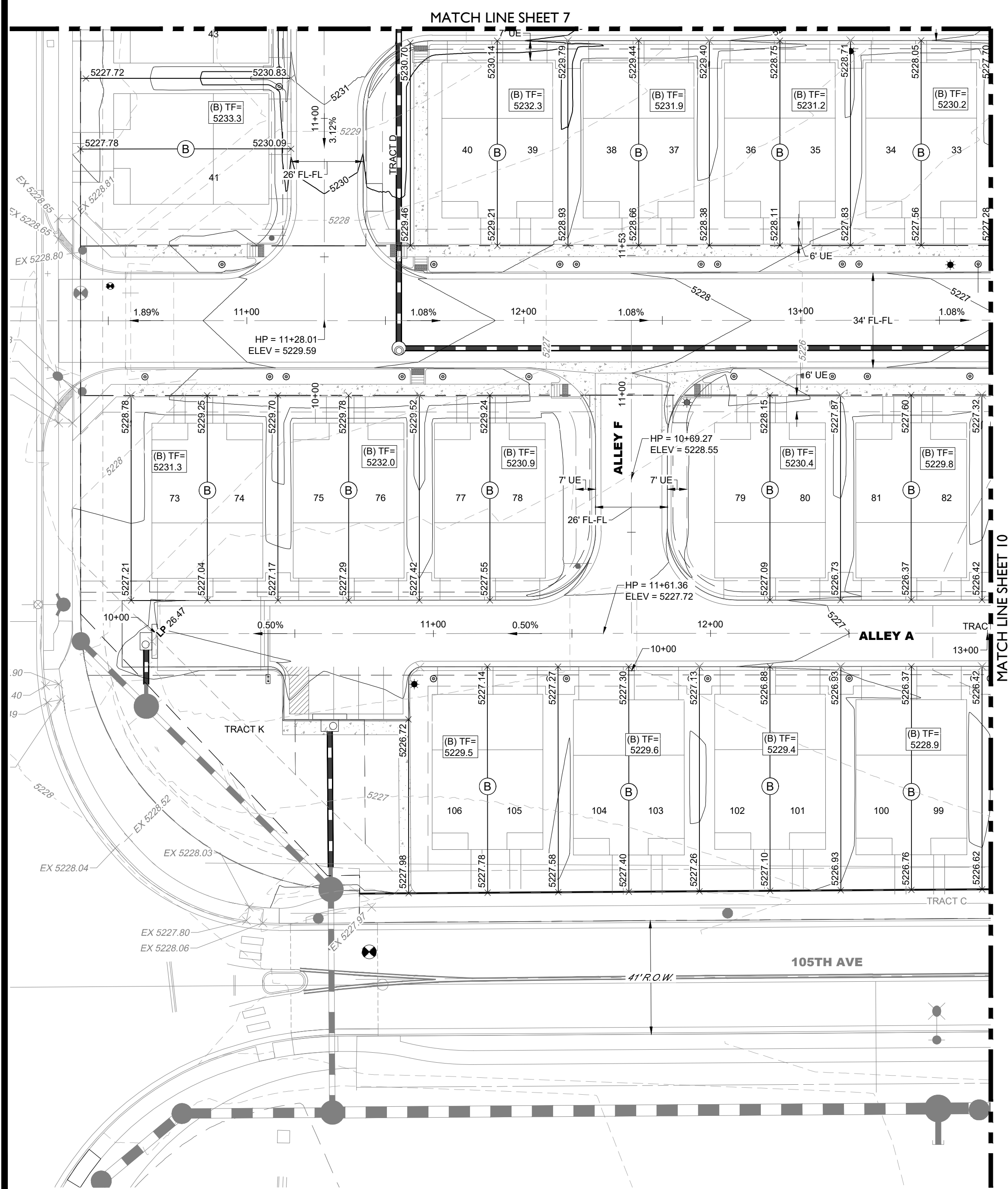
CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS ____ DAY OF ____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

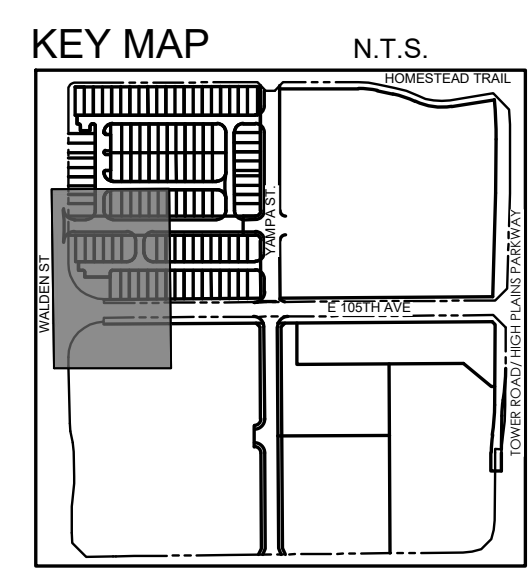


REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO



LEGEND	
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	DIRECTIONAL FLOW ARROW
	EMERGENCY OVERFLOW ROUTE
	SPOT ELEVATION
	EASEMENT
	RIGHT OF WAY (R.O.W.)
	CENTERLINE
	PROJECT BOUNDARY
	PROPOSED CURB & GUTTER
	EXISTING STORM MANHOLES
	PROPOSED STORM MANHOLES
	EXISTING STORM INLETS
	PROPOSED STORM INLETS
	FES, FOREBAY, & TRICKLE CHANNEL
	OUTLET STRUCTURE
	PROPOSED STORM & STUB OUT
	EXISTING STORM & STUB OUT
	RETAINING WALL
	BOTTOM OF WALL ELEVATION
	TOP OF WALL ELEVATION



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CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

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SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE	SEPTEMBER 20, 2021
REVISION DATES	AUGUST 27, 2024
SHEET TITLE	GRADING PLAN (2 of 4)
SHEET NUMBER	C1.8
SHEET 8 OF 37	

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

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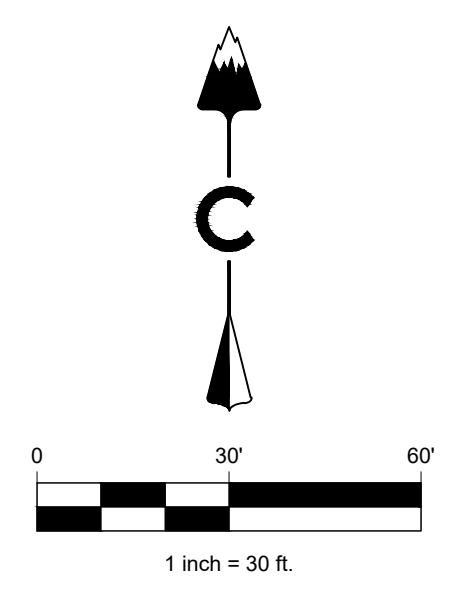
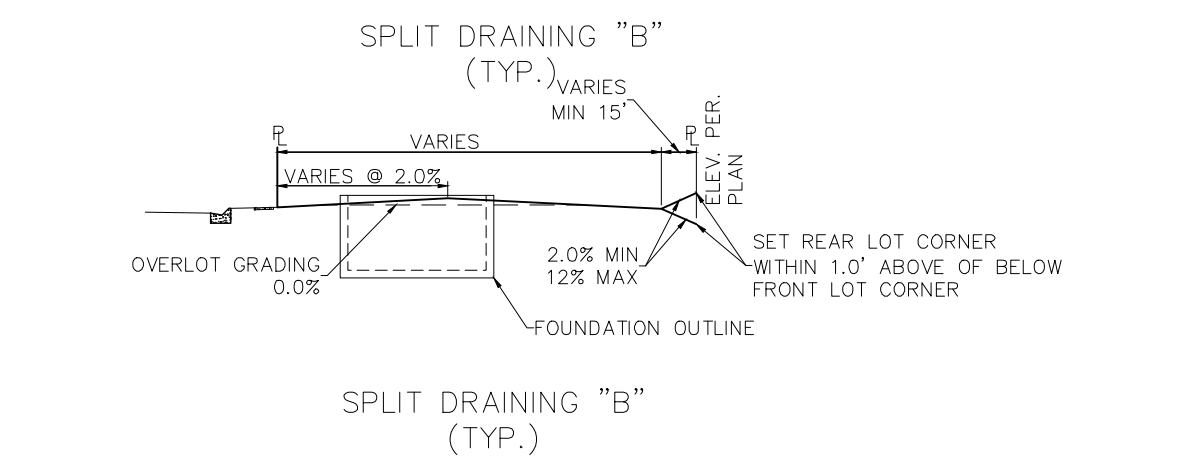
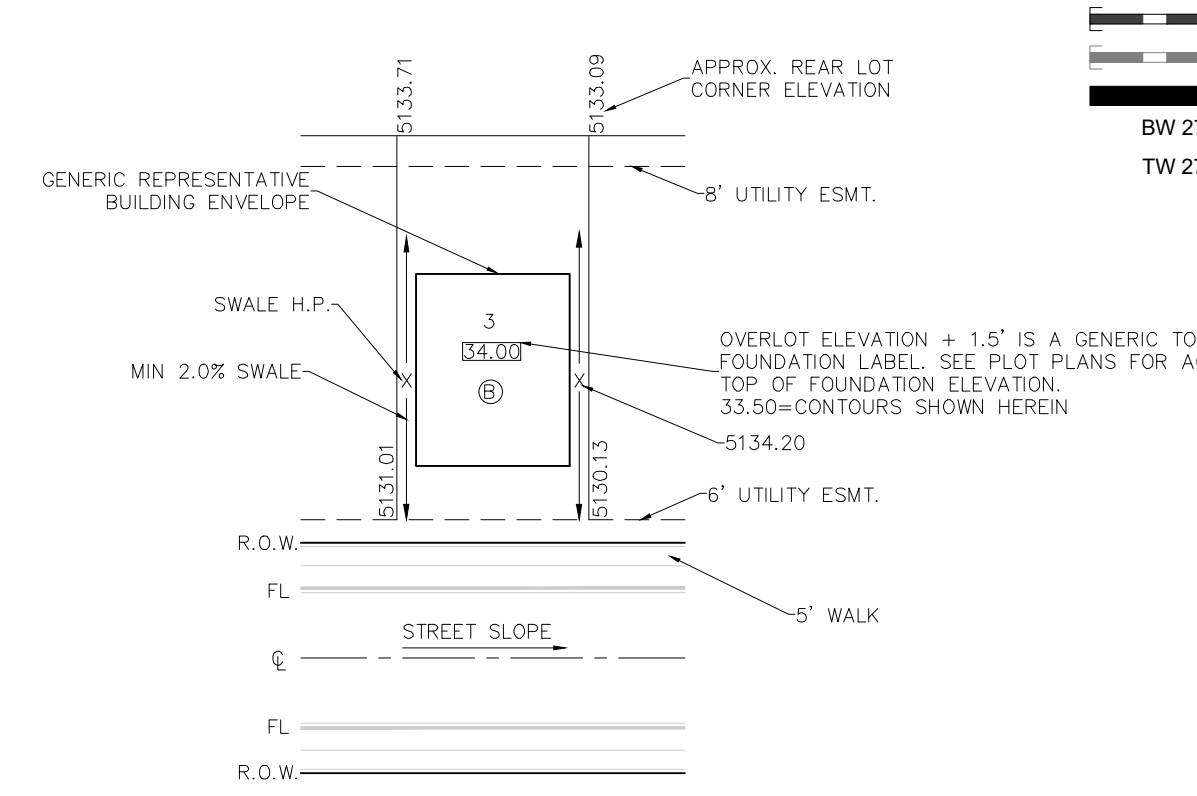
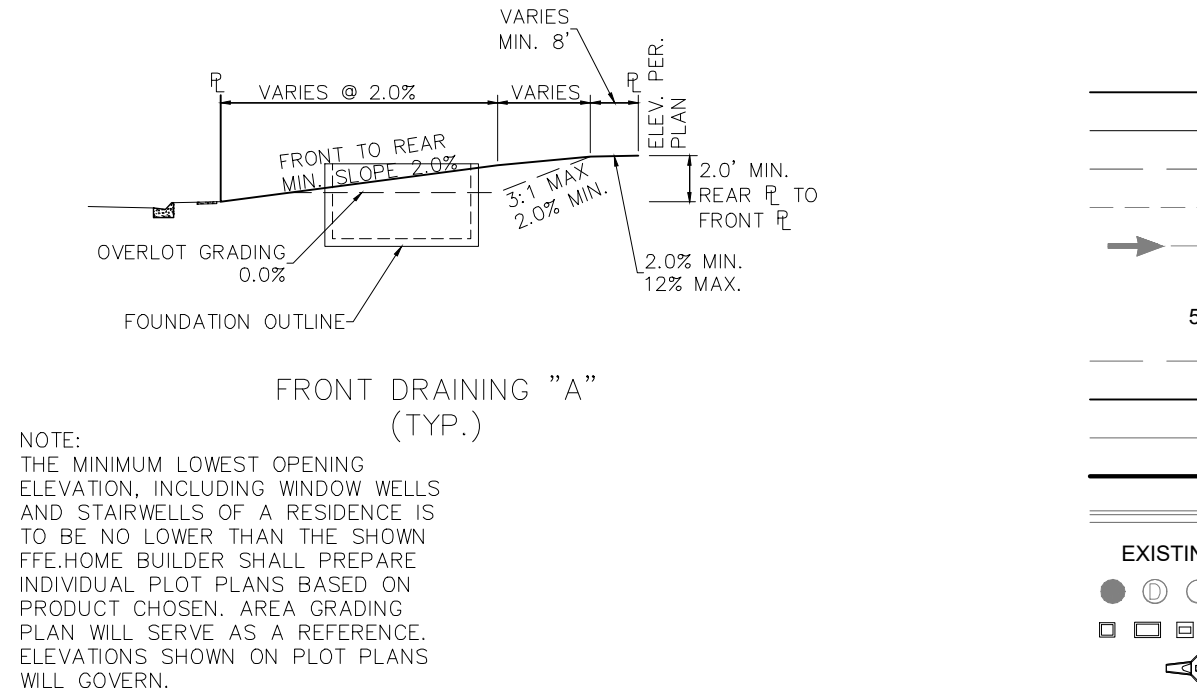
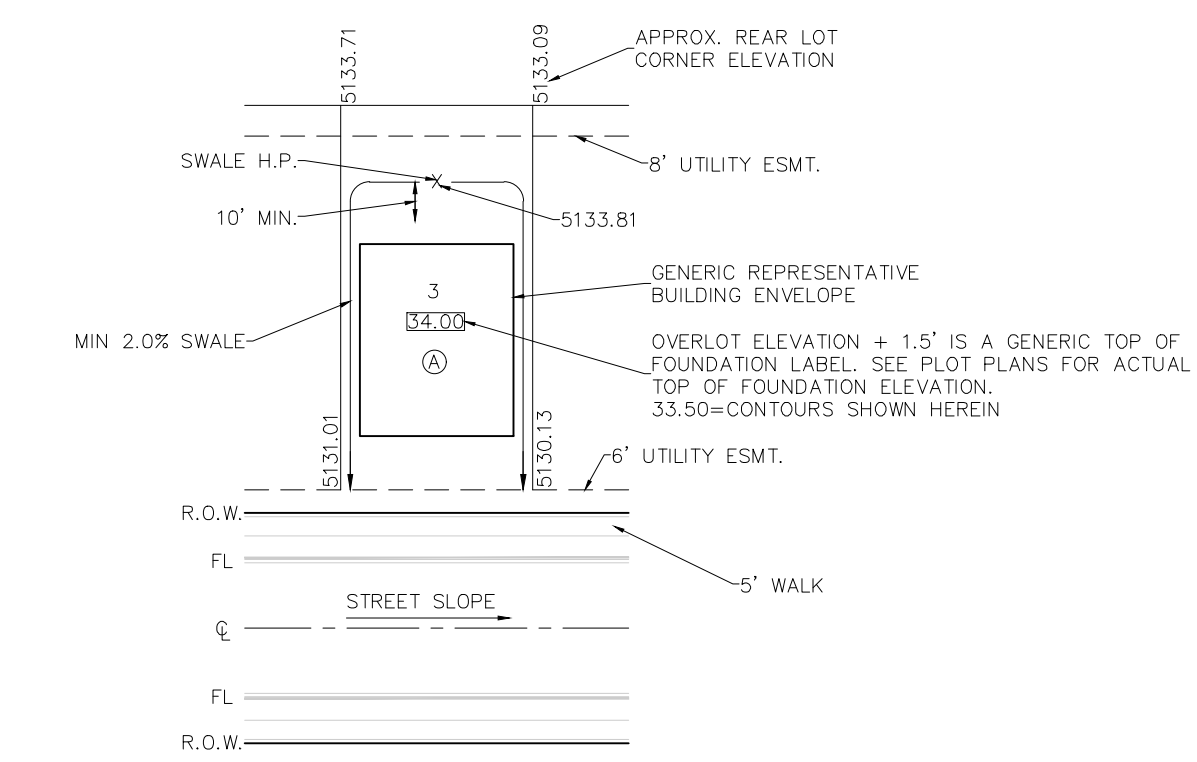
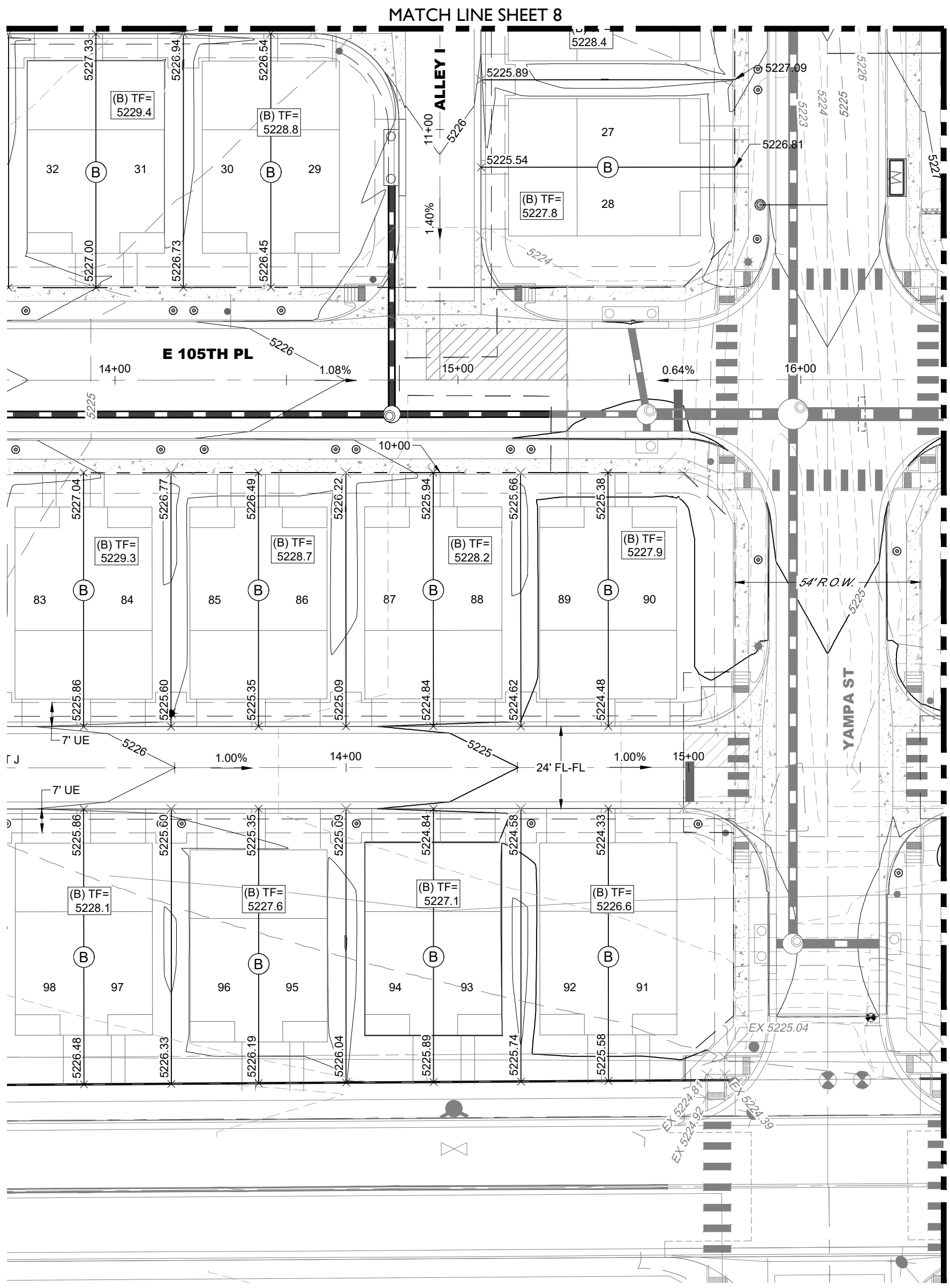
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

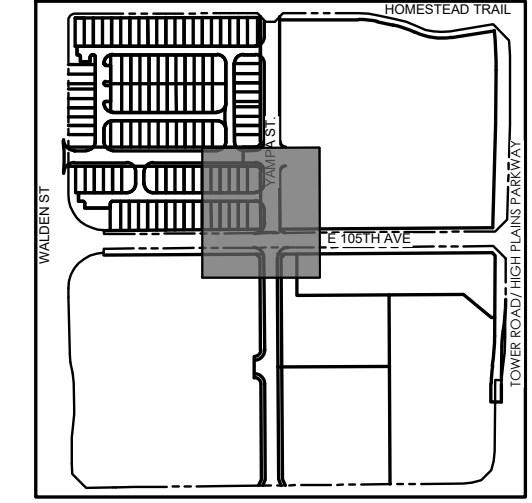
ISSUE DATE	SEPTEMBER 20, 2021
REVISION DATES	AUGUST 27, 2024
SHEET TITLE	GRADING PLAN (3 of 4)
SHEET NUMBER	C1.9
SHEET 9 OF 37	



LEGEND

- | | |
|-------|---------------------------------|
| 5280 | PROPOSED MAJOR CONTOUR |
| 5279 | PROPOSED MINOR CONTOUR |
| 5280 | EXISTING MAJOR CONTOUR |
| 5279 | EXISTING MINOR CONTOUR |
| → | DIRECTIONAL FLOW ARROW |
| ↖ | EMERGENCY OVERFLOW ROUTE |
| • | SPOT ELEVATION |
| - - - | EASEMENT |
| - - - | RIGHT OF WAY (R.O.W.) |
| - - - | CENTERLINE |
| - - - | PROJECT BOUNDARY |
| - - - | PROPOSED CURB & GUTTER |
| ● | EXISTING STORM MANHOLES |
| ○ | PROPOSED STORM MANHOLES |
| □ | STORM INLETS |
| ▢ | FES, FOREBAY, & TRICKLE CHANNEL |
| ▤ | OUTLET STRUCTURE |
| ▥ | PROPOSED STORM & STUB OUT |
| ▦ | EXISTING STORM & STUB OUT |
| ▧ | RETAINING WALL |
| ▨ | BOTTOM OF WALL ELEVATION |
| ▩ | TOP OF WALL ELEVATION |

KEY MAP



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CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO

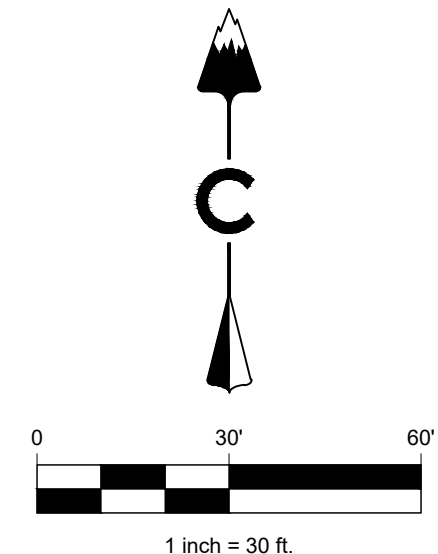
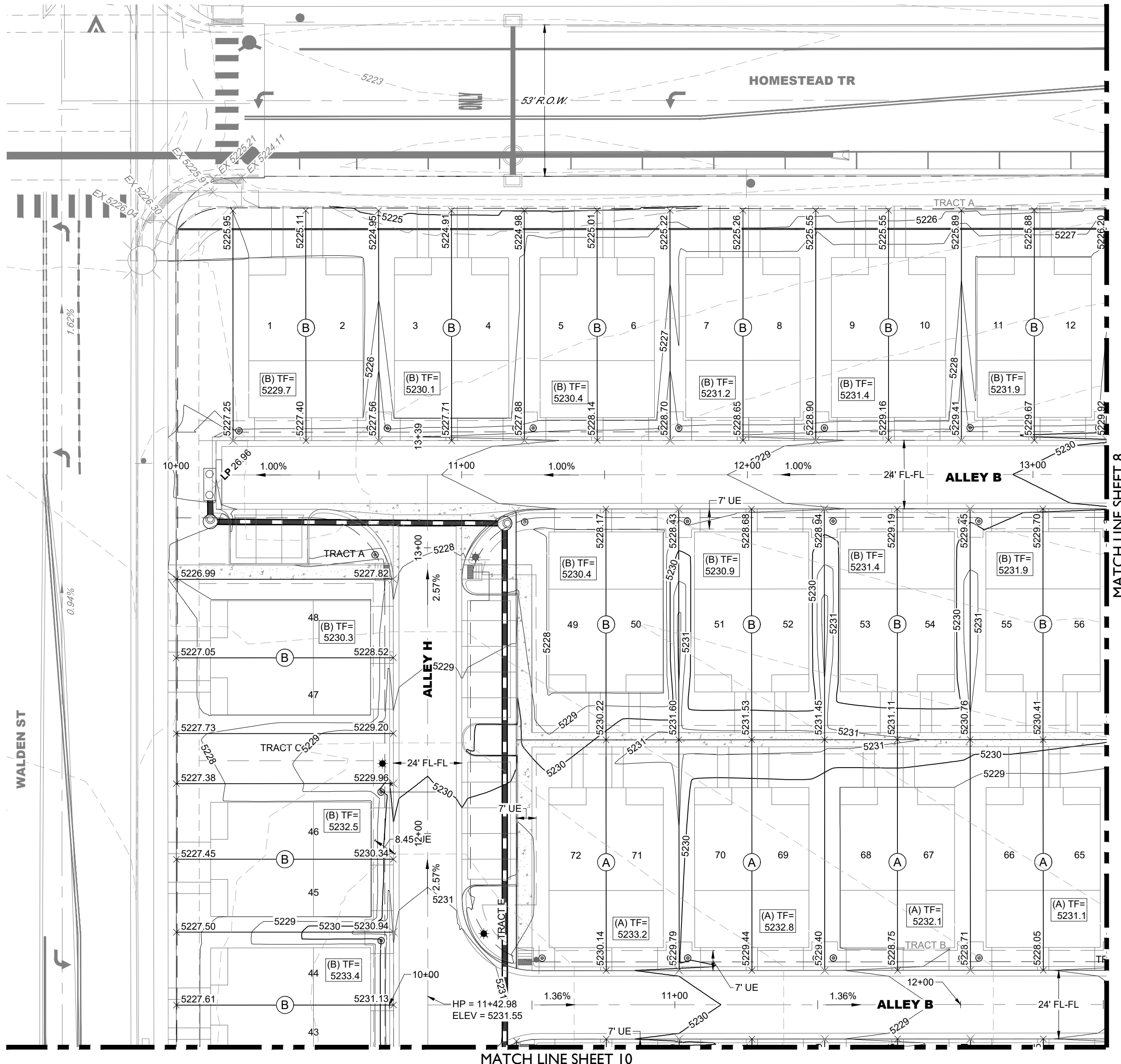
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

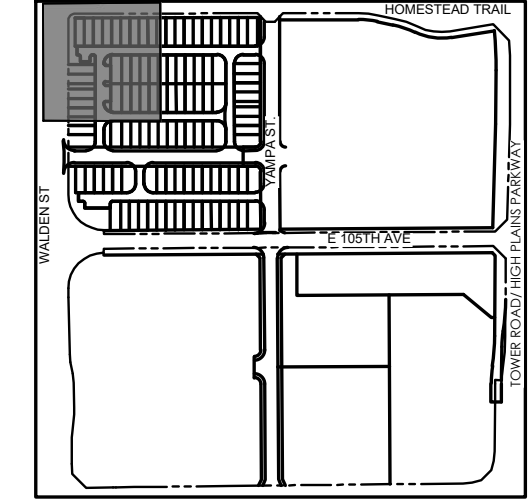
ISSUE DATE
SEPTEMBER 20, 2021
REVISION DATES
AUGUST 27, 2024
SHEET TITLE
GRADING PLAN (4 of 4)
SHEET NUMBER
C1.10
SHEET 10 OF 37



LEGEND

- | | |
|------|---------------------------------|
| 5280 | PROPOSED MAJOR CONTOUR |
| 5279 | PROPOSED MINOR CONTOUR |
| 5280 | EXISTING MAJOR CONTOUR |
| 5279 | EXISTING MINOR CONTOUR |
| → | DIRECTIONAL FLOW ARROW |
| ↖ | EMERGENCY OVERFLOW ROUTE |
| • | SPOT ELEVATION |
| --- | EASEMENT |
| --- | RIGHT OF WAY (R.O.W.) |
| --- | CENTERLINE |
| --- | PROJECT BOUNDARY |
| --- | PROPOSED CURB & GUTTER |
| ● | STORM MANHOLES |
| □ | STORM INLETS |
| □ | FES, FOREBAY, & TRICKLE CHANNEL |
| □ | OUTLET STRUCTURE |
| --- | PROPOSED STORM & STUB OUT |
| --- | EXISTING STORM & STUB OUT |
| --- | RETAINING WALL |
| --- | BOTTOM OF WALL ELEVATION |
| --- | TOP OF WALL ELEVATION |

KEY MAP



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS ____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO



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NORTHWEST QUARTER OF S

SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

SUE DATE

SEPTEMBER 20, 2021

REVISION DATES

AUGUST 27, 2024

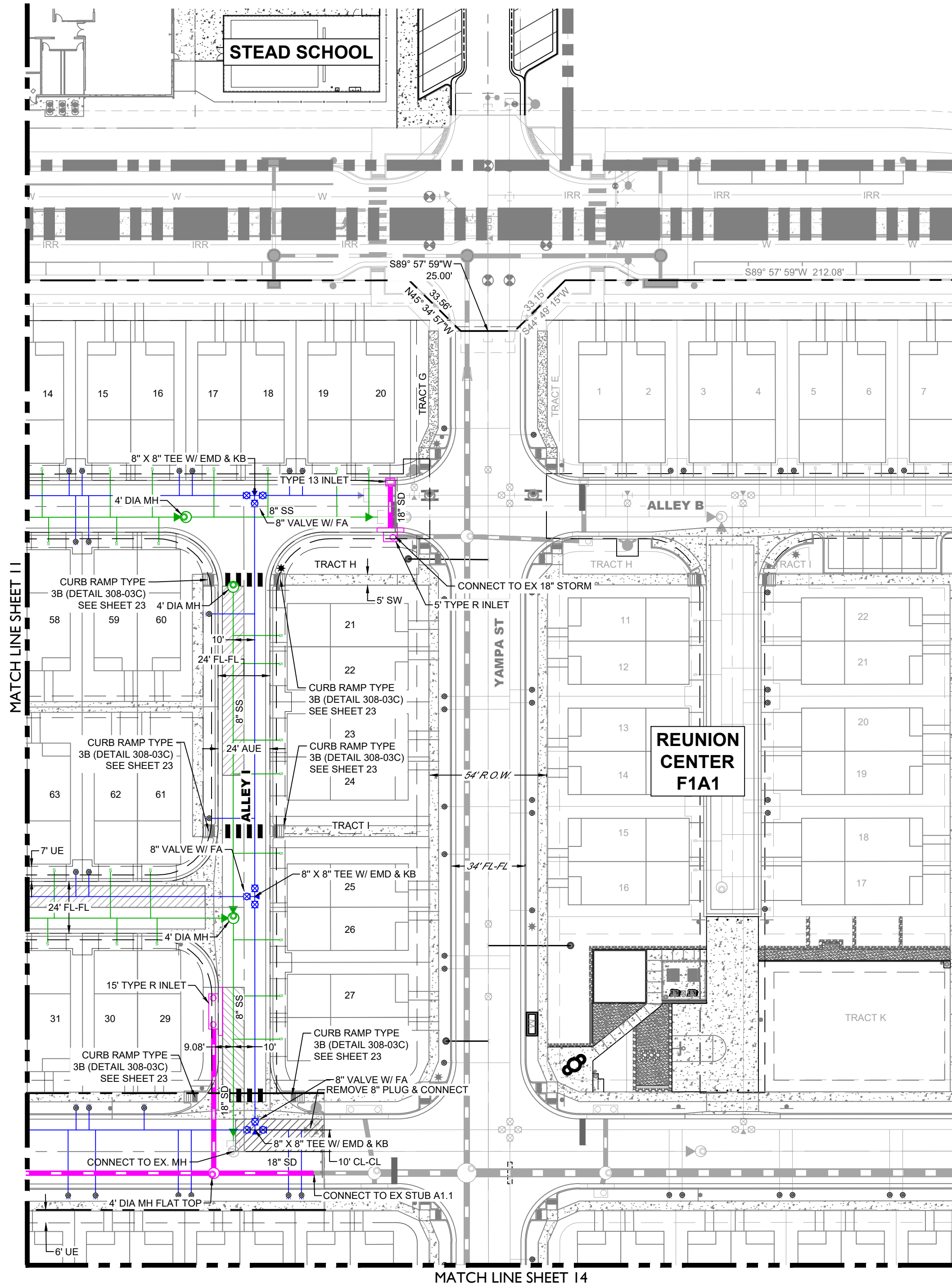
HEET TITLE

OVERALL
UTILITY PLAN
(1 OF 4)

SHEET NUMBER

1.11

SHEET 11 OF 37

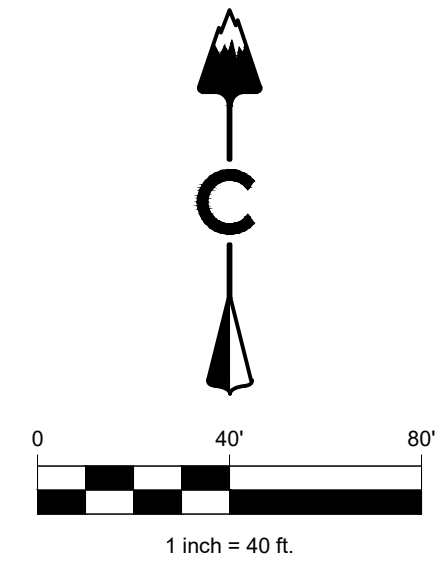


LEGEND

	RIGHT OF WAY (R.O.W.)
	CENTERLINE
	PROJECT BOUNDARY
	PROPOSED CURB & GUTTER
	PROPOSED IRRIGATION & STUB OUT
	PROPOSED STORM & STUB OUT
	PROPOSED SANITARY & STUB OUT
	PROPOSED WATER & STUB OUT
	EXISTING IRRIGATION & STUB OUT
	EXISTING STORM & STUB OUT
	EXISTING SANITARY & STUB OUT
	EXISTING WATER & STUB OUT
	FUTURE IRRIGATION & STUB OUT
	FUTURE SANITARY & STUB OUT
	FUTURE STORM & STUB OUT
	FUTURE WATER & STUB OUT
	IRRIGATION SERVICE
	SANITARY SERVICE
	WATER SERVICE
	BLOCK NUMBER
	STREET LIGHT POLES
	STREET LIGHT POLES
	POWER POLES
	GUY WIRE
	SANITARY MANHOLES
	SANITARY CLEAN OUT
	WATER VALVES
	BEND AND THRUST BLOCK
	FIRE HYDRANTS
	WATERLINE REDUCER
	WATER STUB WITH BLOW OFF
	STORM MANHOLES
	STORM INLETS
	FES, FOREBAY, & TRICKLE CHANNEL
	OUTLET STRUCTURE
	CRUSHER FINES
	MAINTENANCE ACCESS
	RIPRAP
	EXISTING ELECTRIC
	EXISTING TELEPHONE
	EXISTING FIBER OPTIC
	EXISTING GAS
	EXISTING OVER HEAD ELECTRIC
	STORM UNDERDRAIN
	100 YEAR FLOODPLAIN
	WETLAND

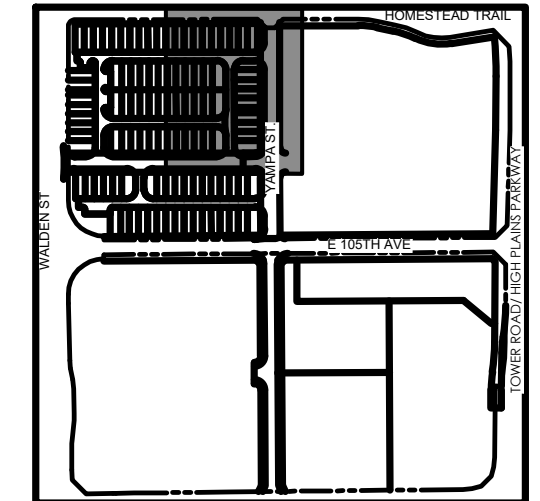
NOTES:

1. SEE ENGINEERING CONSTRUCTION PLANS PREPARED BY JR ENGINEERING FOR ALL METRO DISTRICT IMPROVEMENTS.
2. SEE LANDSCAPE PLANS PREPARED BY TERRACINA DESIGN FOR ALL LANDSCAPE & PARK DESIGN.
3. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL TIE-IN STUB LOCATIONS.
4. SEE SACWSD WATER AND SEWER PLANS FOR ADDITIONAL INFORMATION.
5. FIRE HYDRANTS LOCATED IN A LOW POINT IN THE WATERLINE INSTALLATION SHALL BE A BLOW-OFF FIRE HYDRANT AND SHALL BE MARKED IN A COLOR OTHER THAN RED OR YELLOW.
6. SEE REUNION CENTER FILING 1 AMENDMENT 1, PREPARED BY CORE CONSULTANTS, FOR ADDITIONAL INFORMATION.



KEY MAP

N.T.S.



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CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO



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PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 11 NORTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE

SEPTEMBER 20, 2021

REVISION DATES

AUGUST 27, 2024

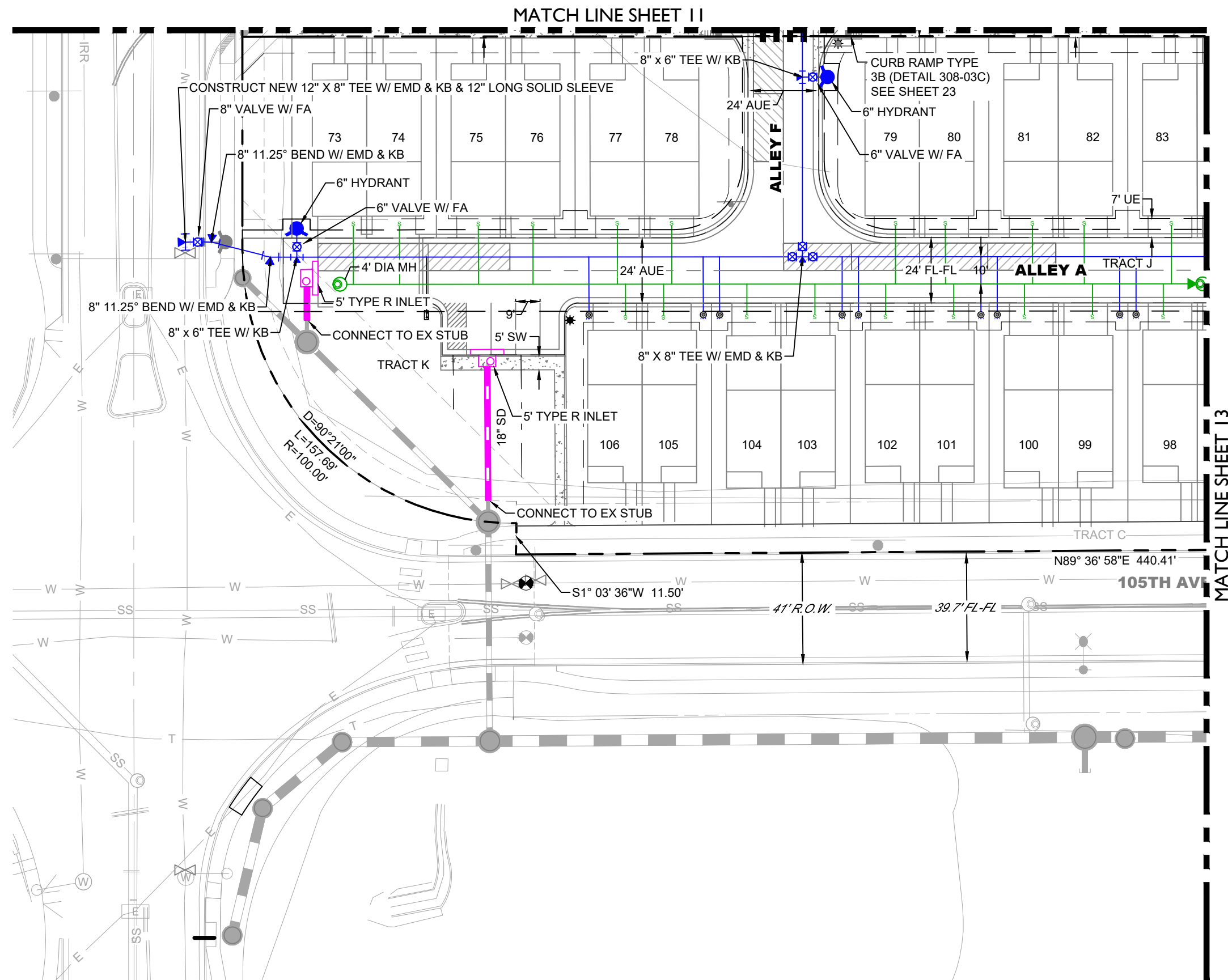
SHEET TITLE

OVERALL
UTILITY PLAN
(2 OF 4)

SHEET NUMBER

C1.12

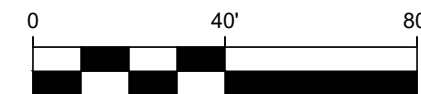
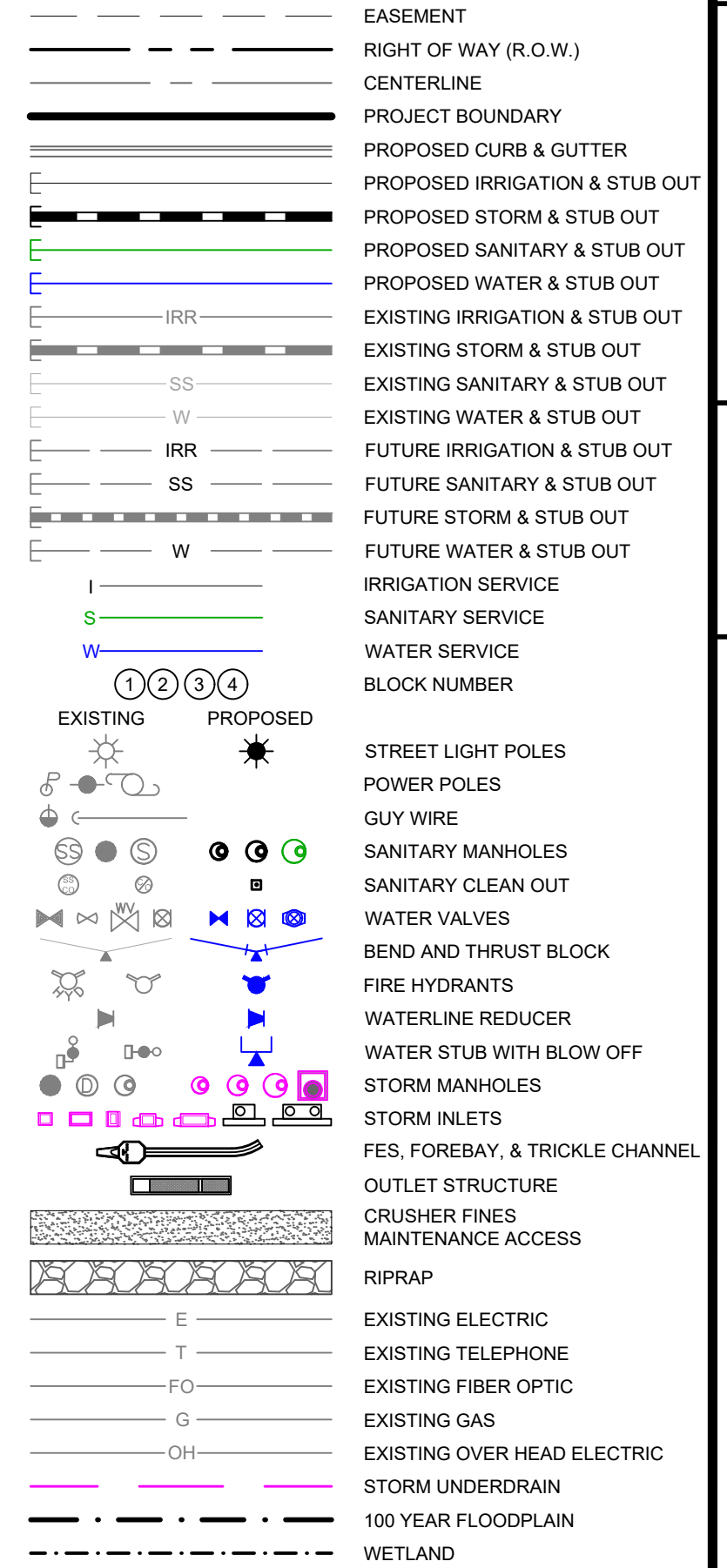
SHEET 12 OF 37



NOTES:

1. SEE ENGINEERING CONSTRUCTION PLANS PREPARED BY JR ENGINEERING FOR ALL METRO DISTRICT IMPROVEMENTS.
2. SEE LANDSCAPE PLANS PREPARED BY TERRACINA DESIGN FOR ALL LANDSCAPE & PARK DESIGN.
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6. SEE REUNION CENTER FILING 1 AMENDMENT 1, PREPARED BY CORE CONSULTANTS, FOR ADDITIONAL INFORMATION.

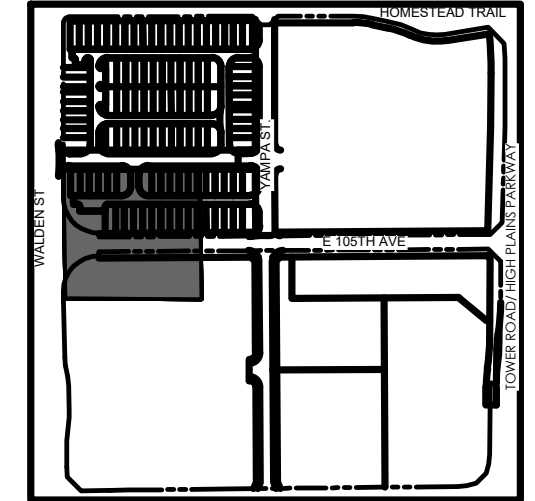
LEGEND



1 inch = 40 ft.

KEY MAP

N.T.S.



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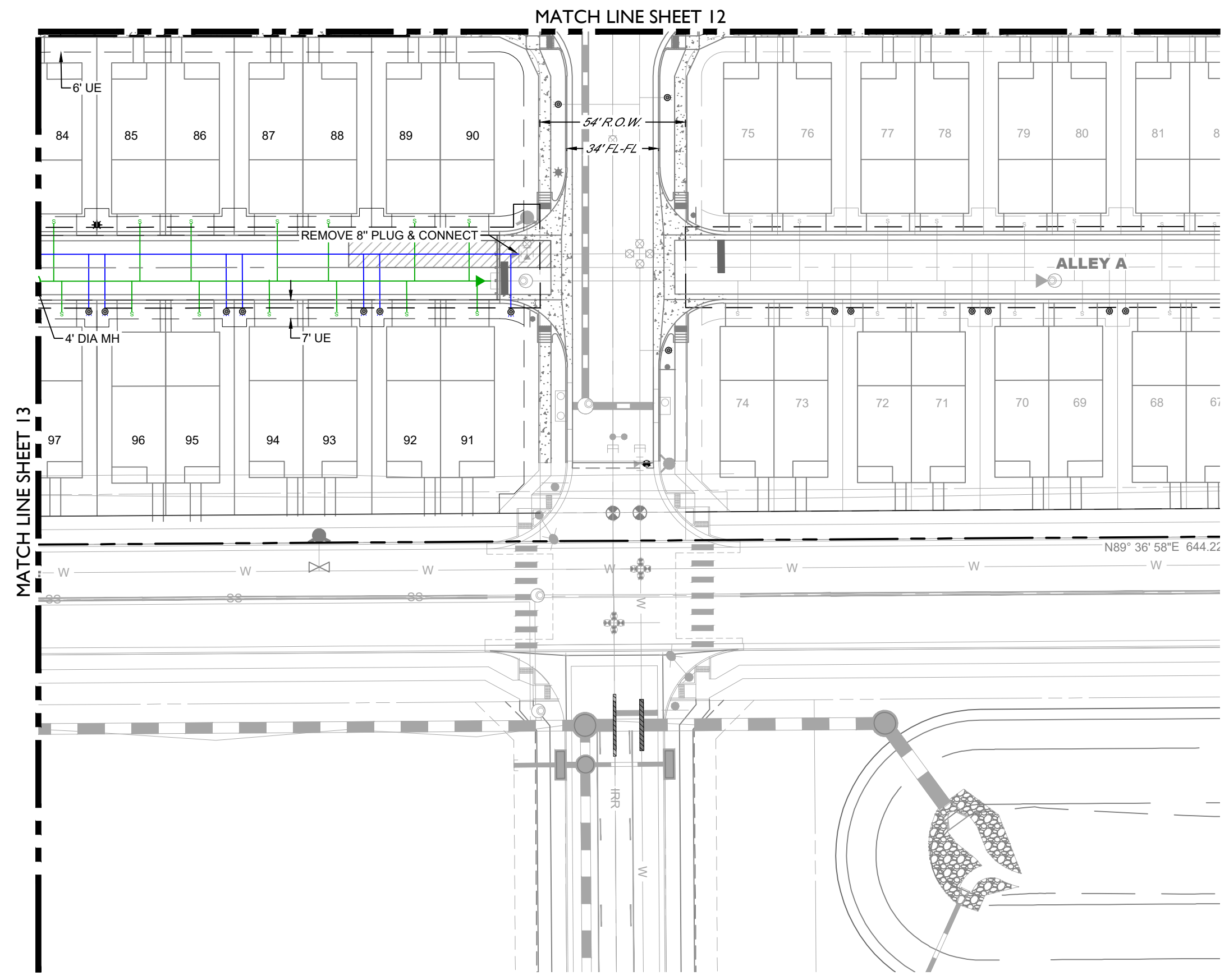
CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO



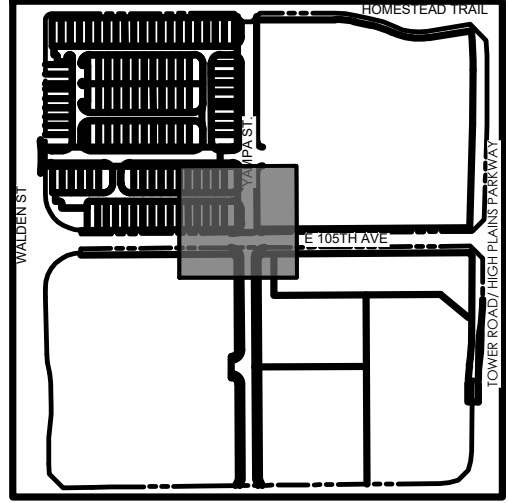
NOTES:

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LEGEND

	EASEMENT
	RIGHT OF WAY (R.O.W.)
	CENTERLINE
	PROJECT BOUNDARY
	PROPOSED CURB & GUTTER
	PROPOSED IRRIGATION & STUB OUT
	PROPOSED STORM & STUB OUT
	PROPOSED SANITARY & STUB OUT
	PROPOSED WATER & STUB OUT
	EXISTING IRRIGATION & STUB OUT
	EXISTING STORM & STUB OUT
	EXISTING SANITARY & STUB OUT
	EXISTING WATER & STUB OUT
	FUTURE IRRIGATION & STUB OUT
	FUTURE SANITARY & STUB OUT
	FUTURE STORM & STUB OUT
	FUTURE WATER & STUB OUT
	IRRIGATION SERVICE
	SANITARY SERVICE
	WATER SERVICE
	BLOCK NUMBER
	STREET LIGHT POLES
	POWER POLES
	GUY WIRE
	SANITARY MANHOLES
	SANITARY CLEAN OUT
	WATER VALVES
	BEND AND THRUST BLOCK
	FIRE HYDRANTS
	WATERLINE REDUCER
	WATER STUB WITH BLOW OFF
	STORM MANHOLES
	STORM INLETS
	FES, FOREBAY, & TRICKLE CHANNEL
	OUTLET STRUCTURE
	CRUSHER FINES
	MAINTENANCE ACCESS
	RIPRAP
	EXISTING ELECTRIC
	EXISTING TELEPHONE
	EXISTING FIBER OPTIC
	EXISTING GAS
	EXISTING OVER HEAD ELECTRIC
	STORM UNDERDRAIN
	100 YEAR FLOODPLAIN
	WETLAND

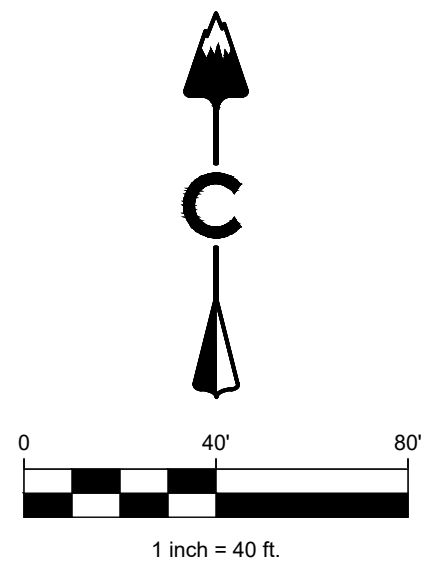
KEY MAP



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CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT



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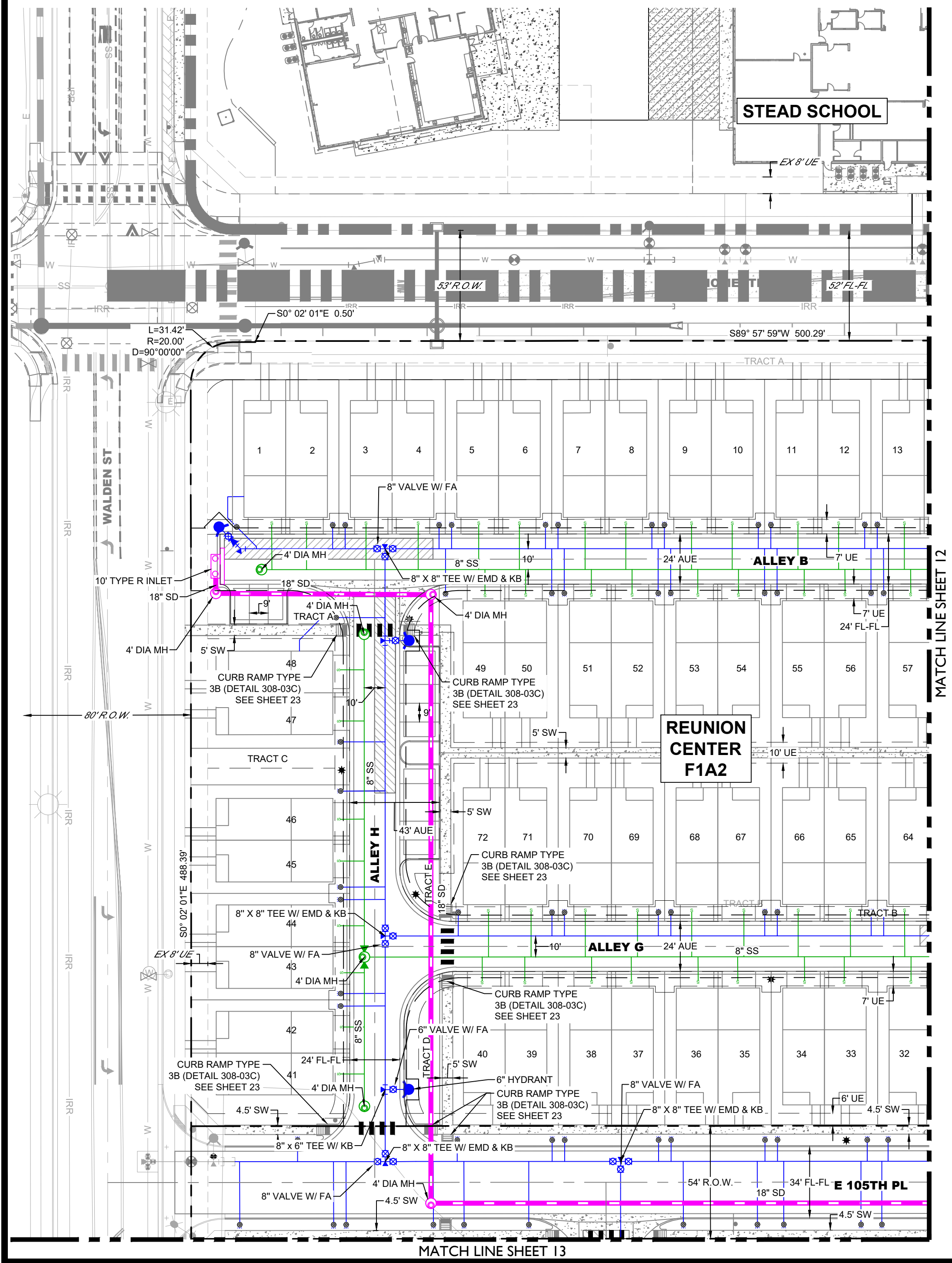
REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE	SEPTEMBER 20, 2021
REVISION DATES	AUGUST 27, 2024
SHEET TITLE	OVERALL UTILITY PLAN (3 OF 4)
SHEET NUMBER	C1.13
SHEET 13 OF 37	

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

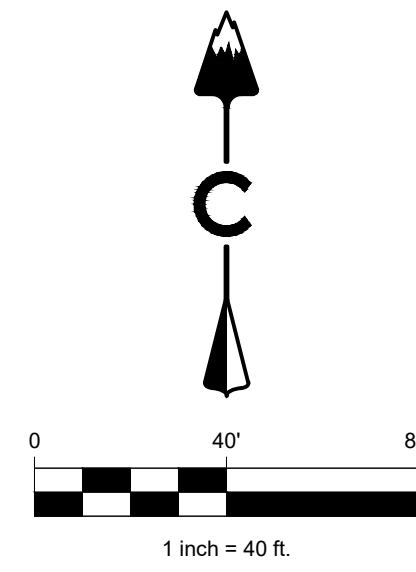
A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY,
COUNTY OF ADAMS, STATE OF COLORADO



STEAD SCHOOL

REUNION
CENTER
F1A2



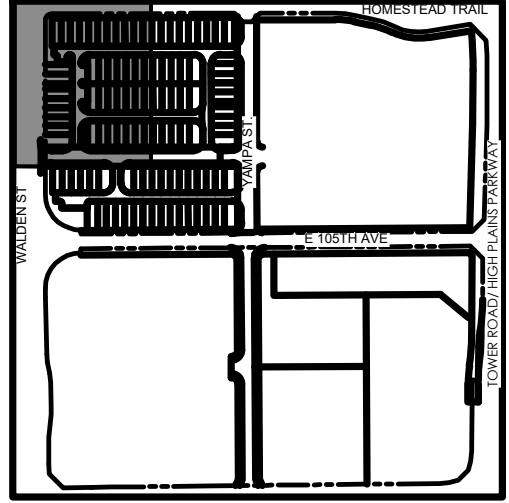
LEGEND

	EASEMENT
	RIGHT OF WAY (R.O.W.)
	CENTERLINE
	PROJECT BOUNDARY
	PROPOSED CURB & GUTTER
	PROPOSED IRRIGATION & STUB OUT
	PROPOSED STORM & STUB OUT
	PROPOSED SANITARY & STUB OUT
	PROPOSED WATER & STUB OUT
	EXISTING IRRIGATION & STUB OUT
	EXISTING STORM & STUB OUT
	EXISTING SANITARY & STUB OUT
	EXISTING WATER & STUB OUT
	FUTURE IRRIGATION & STUB OUT
	FUTURE SANITARY & STUB OUT
	FUTURE STORM & STUB OUT
	FUTURE WATER & STUB OUT
	IRRIGATION SERVICE
	SANITARY SERVICE
	WATER SERVICE
	BLOCK NUMBER
	STREET LIGHT POLES
	POWER POLES
	GUY WIRE
	SANITARY MANHOLES
	SANITARY CLEAN OUT
	WATER VALVES
	BEND AND THRUST BLOCK
	FIRE HYDRANTS
	WATERLINE REDUCER
	WATER STUB WITH BLOW OFF
	STORM MANHOLES
	STORM INLETS
	FES, FOREBAY, & TRICKLE CHANNEL
	OUTLET STRUCTURE
	CRUSHER FINES
	MAINTENANCE ACCESS
	RIPRAP
	EXISTING ELECTRIC
	EXISTING TELEPHONE
	EXISTING FIBER OPTIC
	EXISTING GAS
	EXISTING OVER HEAD ELECTRIC
	STORM UNDERDRAIN
	100 YEAR FLOODPLAIN
	WETLAND

NOTES:

1. SEE ENGINEERING CONSTRUCTION PLANS PREPARED BY JR ENGINEERING FOR ALL METRO DISTRICT IMPROVEMENTS.
2. SEE LANDSCAPE PLANS PREPARED BY TERRACINA DESIGN FOR ALL LANDSCAPE & PARK DESIGN.
3. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL TIE-IN STUB LOCATIONS.
4. SEE SACWSD WATER AND SEWER PLANS FOR ADDITIONAL INFORMATION.
5. FIRE HYDRANTS LOCATED IN A LOW POINT IN THE WATERLINE INSTALLATION SHALL BE A BLOW-OFF FIRE HYDRANT AND SHALL BE MARKED IN A COLOR OTHER THAN RED OR YELLOW.
6. SEE REUNION CENTER FILING 1 AMENDMENT 1, PREPARED BY CORE CONSULTANTS, FOR ADDITIONAL INFORMATION.

KEY MAP



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2023.

DEPARTMENT OF COMMUNITY DEVELOPMENT

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LAND DEVELOPMENT, ENERGY, & PUBLIC
INFRASTRUCTURE
CORE CONSULTANTS, INC.
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ENGLEWOOD, CO 80113
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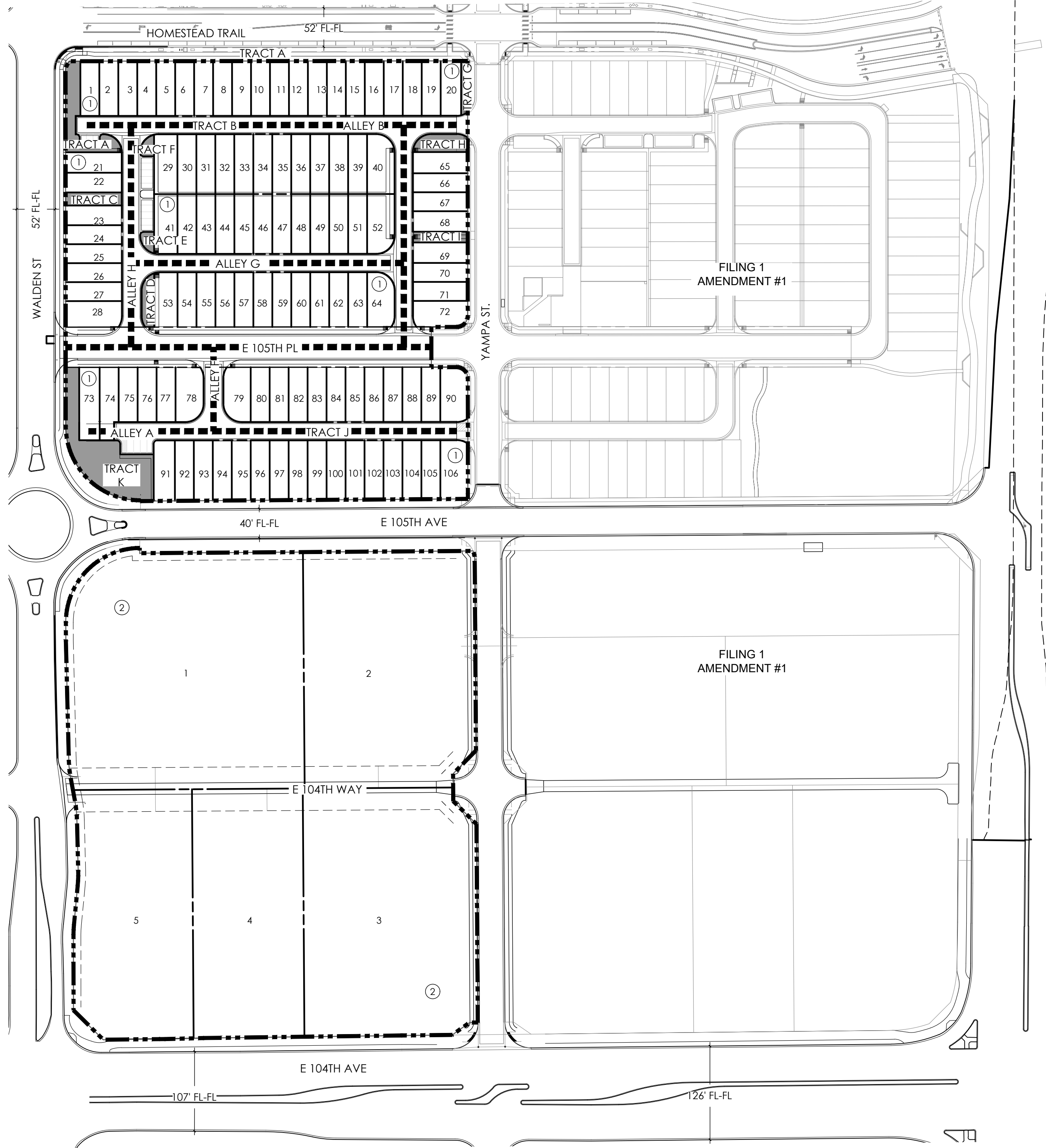
ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE	SEPTEMBER 20, 2021
REVISION DATES	AUGUST 27, 2024
SHEET TITLE	OVERALL UTILITY PLAN (4 OF 4)
SHEET NUMBER	C1.14
	SHEET 14 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

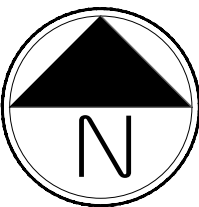


LEGEND

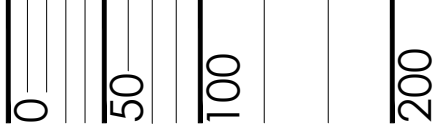
- PROPERTY LINE
- PARK OR OPEN SPACE
*OPEN SPACE REQUIRED FOR THIS AMENDMENT WAS MET AS PART OF REUNION CENTER FILING 1 AMENDMENT #1.
- ■ ■ ■ 24' FIRE ROUTE

NOTES

- ALL ROADWAY AND ALLEY PAVEMENT WILL BE ASPHALT.



Scale: 1"= 100'-0"



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DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
PARCEL
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REUNION CENTER FILING 1 AMENDMENT #2
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
SEPTEMBER 20, 2021

REVISION DATES
AUGUST 27, 2024

SHEET TITLE

OVERALL
SITE PLAN

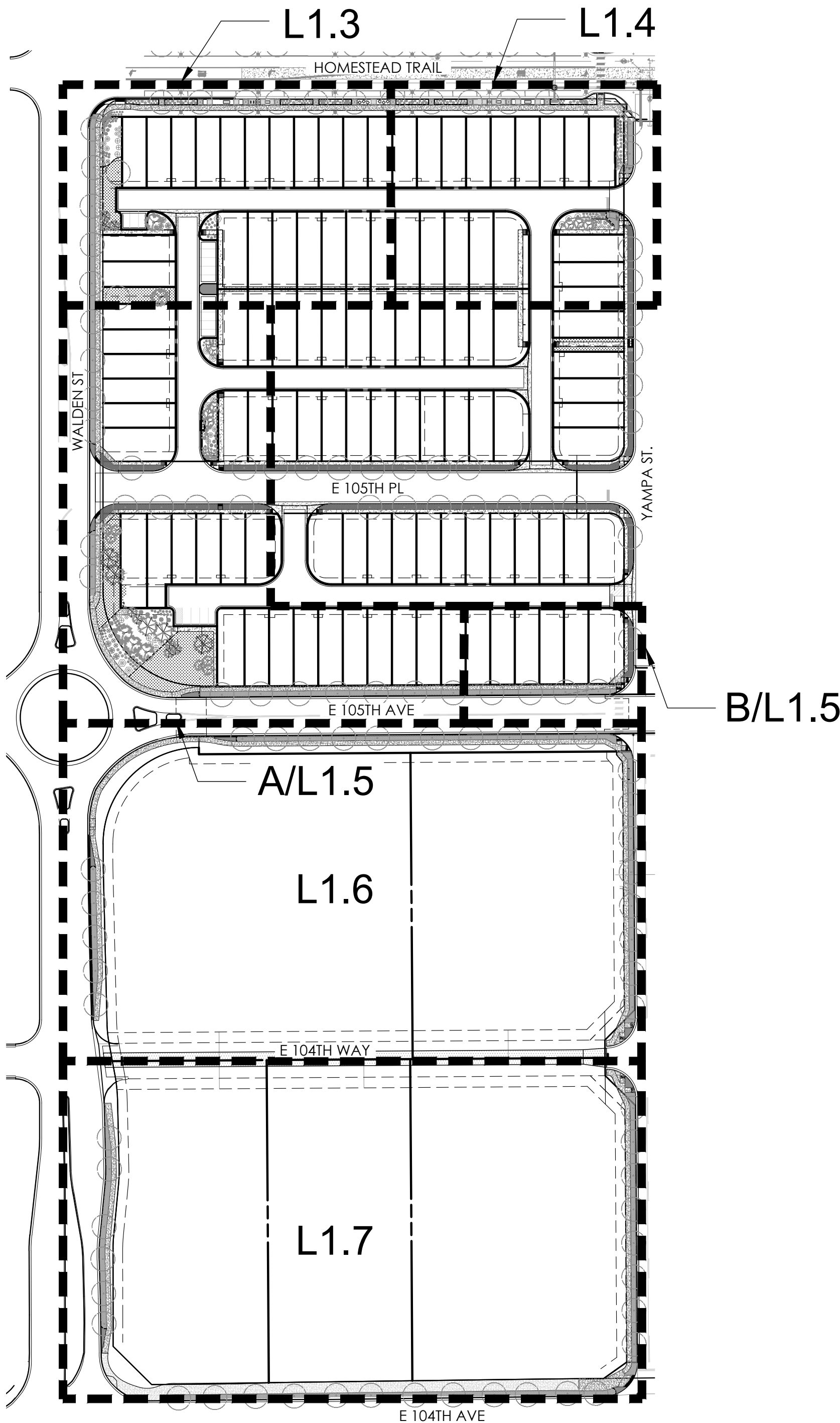
SHEET NUMBER

L1.1

SHEET 15 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



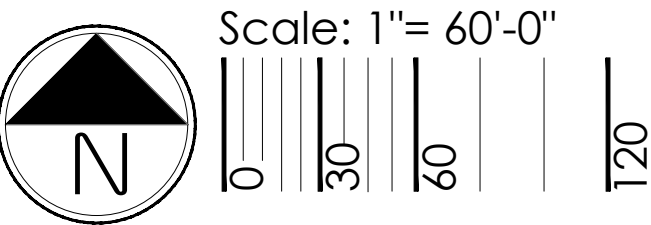
STREET TREE TABLE

ROW TREE REQUIREMENTS				
STREET	ROW (LF)	REQUIRED (1/40 LF)	TRACT*	LOT**
HOMESTEAD TRAIL	459	11	11	
E 105TH AVE	825	21	21	
E 105TH PL	798	20	0	20
E 104TH AVE	460	12	12	
WALDEN ST	821	21	22	
YAMPA ST	868	22	19	7
SUB-TOTAL	4,231	107	85	27
TOTAL REQUIRED			TOTAL PROPOSED	
107			112	

1. ROW CALCULATION EXCLUDES DRIVEWAYS AND SIDEWALKS WHERE THEY INTERSECT WITH ROW, INTERSECTIONS, AND ROW WITH EXISTING TREES.
2. CERTAIN TREES MAY NOT BE IN THE ROW DUE TO SITE RESTRICTIONS, (LIGHTS/HYDRANTS/UTILITIES). SUCH TREES ARE LOCATED AS CLOSE TO THE ROW AS POSSIBLE.
3. FINAL LOCATION AND SPECIES OF ROW TREES ADJACENT TO SINGLE FAMILY ATTACHED LOTS WILL BE DETERMINED AND INSTALLED BY THE VERTICAL HOMEBUILDER/HOMEOWNER. ANY TREE LAWN ADJACENT TO SINGLE FAMILY ATTACHED LOTS WILL BE PLANTED WITH SOD AND TREES.
- *TRACT TREES ARE THOSE THAT ARE ADJACENT TO REUNION METRO DISTRICT TRACTS AND WILL BE INSTALLED BY DEVELOPER.
- **LOT TREES ARE THOSE ADJACENT TO RESIDENTIAL LOTS AND WILL BE SPECIFIED AND PLANTED BY VERTICAL HOMEBUILDER (NOT INCLUDED IN MONOCULTURE TABLES.)

OTHER TREES AND SHRUBS

OTHER TREES AND SHRUBS	PROPOSED
TREES	33
SHRUBS	409



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
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DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
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SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
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ISSUE DATE
SEPTEMBER 20, 2021

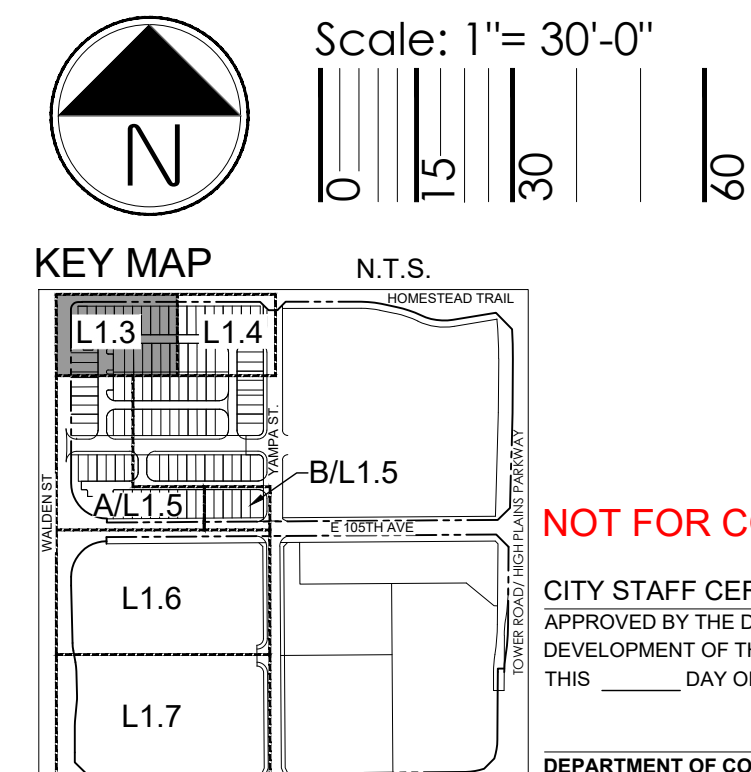
REVISION DATES
AUGUST 27, 2024

SHEET TITLE
OVERALL
LANDSCAPE
PLAN

SHEET NUMBER

L1.2
SHEET 16 OF 37

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



<u>EVERGREEN SHRUB</u>	<u>PERENNIALS</u>
(JHB) JUNIPER, BAR HARBOR	(AND) DAISY, MOUNT ATLAS
(JSW) JUNIPER, WOODWARD ROCKY MOUNTAIN	(ARS) HYSSOP, SUNSET
<u>DECIDUOUS SHRUB</u>	(ATB) GAY BUTTERFLY
(ACL) LEAD PLANT	(CRR) RED VALERIAN
(ENR) RABBITBRUSH, TALL BLUE	(ECG) HUMMINGBIRD TRUMPET, ORANGE
(FAP) APACHE PLUME	(ERG) GLOBE THISTLE
(HPP) RED YUCCA, BREAK LIGHTS	(KSE) RED TORCH LILY
(KLW) WINTERFAT	(PBD) PENSTEMON, ROSE-PURPLE
(PAR) SAGE, RUSSIAN	(RCP) CONEFLOWER, PRAIRIE RED
(PBP) CHERRY, SAND 'PAWNEE BUTTES'	(SSM) MAY NIGHT PURPLE SALVIA
(RAG) SUMAC, DWARF FRAGRANT	<u>ORNAMENTAL GRASSES</u>
(RAM) CURRANT, FLOWERING YELLOW	(AGG) ANDROPOGON GERARDII
(SDS) SNOWBERRY, CANDY	(BGB) BOUTELOUA GRACILIS
(RNW) ROSA 'NEARLY WILD'	(PVH) PANICUM VIRGATUM 'HEAVY METAL'
	(SHP) PRAIRIE DROPSEED

NOT FOR CONSTRUCTION

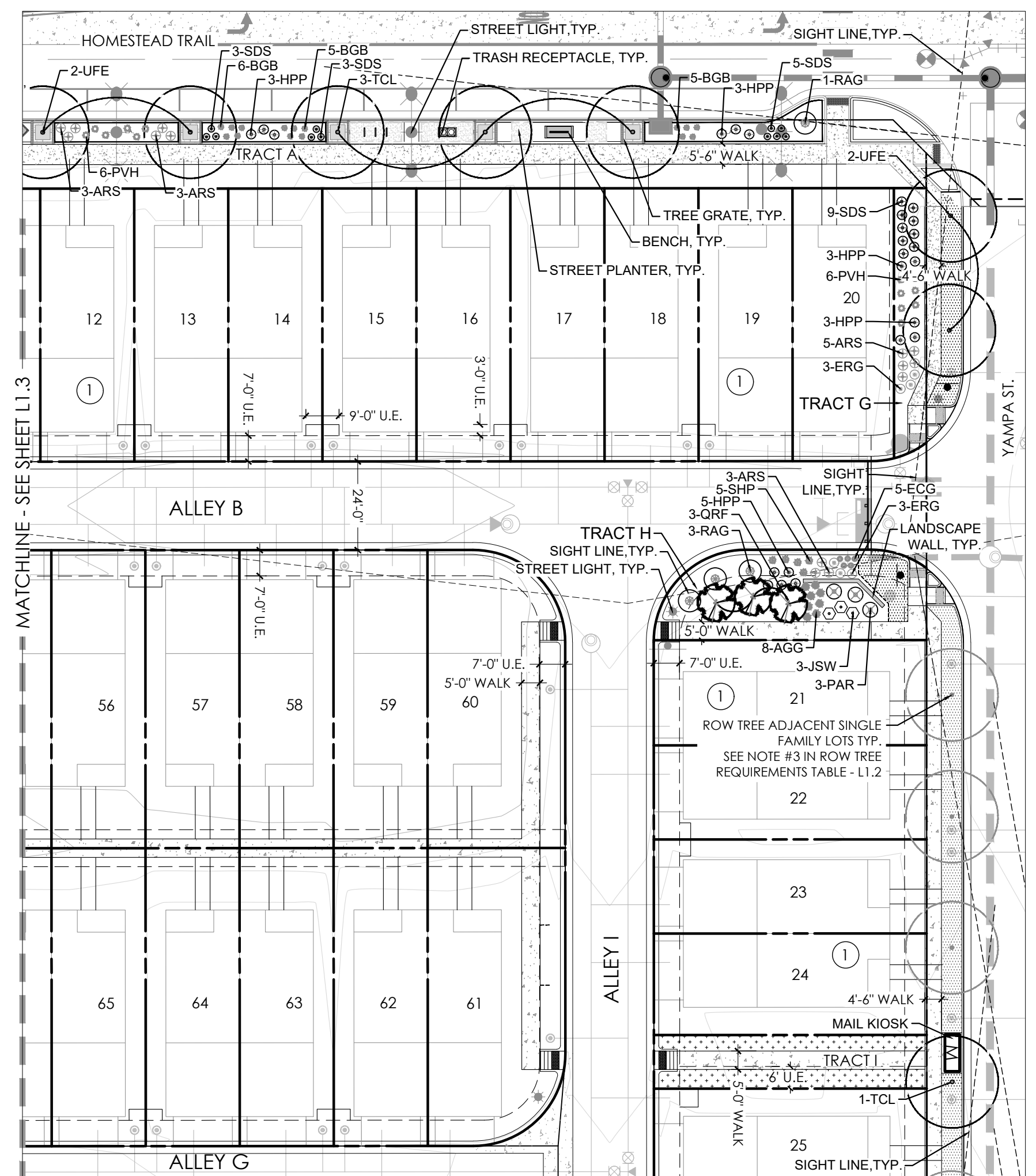
CITY STAFF CERTIFICATE

APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
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REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



LEGEND

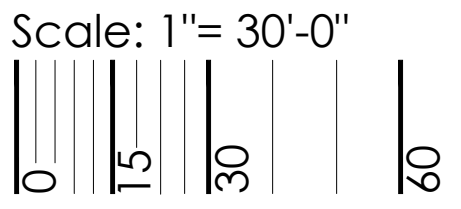
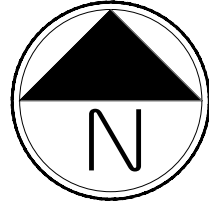
- SHRUBS, GRASSES & PERENNIALS
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- LOW-GROW NATIVE SEED
- MAILBOX KIOSK
- STREET LIGHT
- FIRE HYDRANT

TREE SCHEDULE

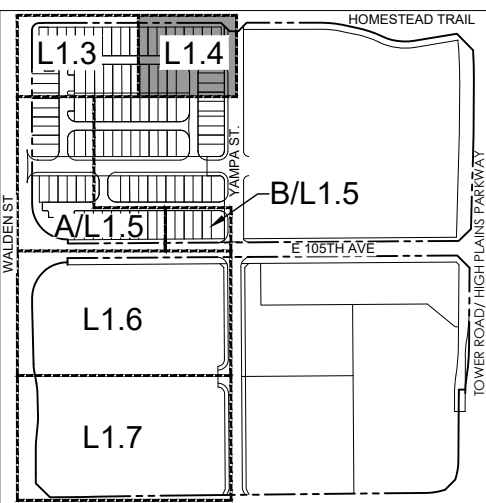
KEY	SCIENTIFIC NAME	COMMON NAME
DECIDUOUS SHADE TREE		
AGB	AESCULUS GLABRA	BUCKEYE, OHIO
CSC	CATALPA SPECIOSA	CATALPA, WESTERN
GDE	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE, ESPRESSO
QRN	QUERCUS RUBRA	OAK, NORTHERN RED
QSI	QUERCUS SHUMARDII	OAK, SHUMARD
ORNAMENTAL TREE		
CCG	CRATAEGUS CRUS-GALLI INERMIS	HAWTHORN, THORNLESS COCKSPUR
MAC	MALUS 'ADIRONDACK'	CRABAPPLE, ADIRONDACK
MSS	MALUS X 'SPRING SNOW'	CRABAPPLE, SPRING SNOW
QRF	QUERCUS ROBUR 'FASTIGIATA'	OAK, FASTIGIATE ENGLISH
EVERGREEN TREE		
PE	PINUS EDULIS	PINE, PINON
PPE	PICEA PUNGENS BABY 'BLUE EYES'	SPRUCE, BABY BLUE EYES
PFV	PINUS FLEXILIS 'VANDERWOLF'S PYRIMID'	PINE, 'VANDERWOLF'S PYRIMID'

PLANT KEY

- EVERGREEN SHRUB
 - (JHB) JUNIPER, BAR HARBOR
 - (JSW) JUNIPER, WOODWARD ROCKY MOUNTAIN
- DECIDUOUS SHRUB
 - (ACL) LEAD PLANT
 - (ENR) RABBITBRUSH, TALL BLUE
 - (FAP) APACHE PLUME
 - (HPP) RED YUCCA, BREAK LIGHTS
 - (KLW) WINTERFAT
 - (PAR) SAGE, RUSSIAN
 - (PBP) CHERRY, SAND 'PAWNEE BUTTES'
 - (RAG) SUMAC, DWARF FRAGRANT
 - (RAM) CURRANT, FLOWERING YELLOW
 - (SDS) SNOWBERRY, CANDY
 - (RNW) ROSA 'NEARLY WILD'
- PERENNIALS
 - (AND) DAISY, MOUNT ATLAS
 - (ARS) HYSSOP, SUNSET
 - (ATB) GAY BUTTERFLY
 - (CRR) RED VALERIAN
 - (ECG) HUMMINGBIRD TRUMPET, ORANGE
 - (ERG) GLOBE THISTLE
 - (KSE) RED TORCH LILY
 - (PBD) PENSTEMON, ROSE-PURPLE
 - (RCP) CONEFLOWER, PRAIRIE RED
 - (SSM) MAY NIGHT PURPLE SALVIA
- ORNAMENTAL GRASSES
 - (AGG) ANDROPOGON GERARDII
 - (BGB) BOUTELOUA GRACILIS
 - (PVH) PANICUM VIRGATUM 'HEAVY METAL'
 - (SHP) PRAIRIE DROPSEED



KEY MAP



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

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REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
SEPTEMBER 20, 2021

REVISION DATES
AUGUST 27, 2024

SHEET TITLE
LANDSCAPE
PLAN

SHEET NUMBER
L1.4

SHEET 18 OF 37

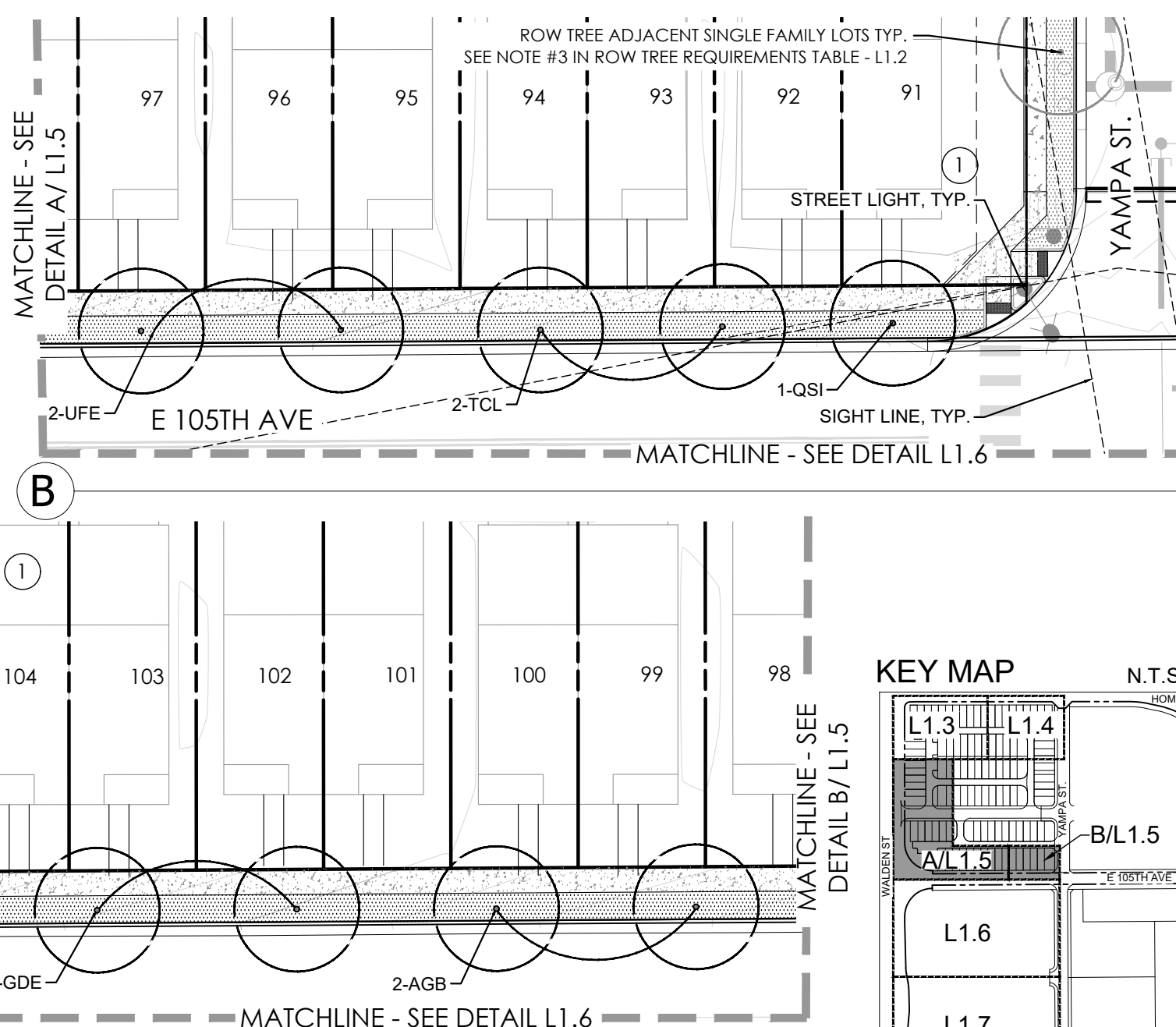
A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



KEY	SCIENTIFIC NAME	COMMON NAME
DECIDUOUS SHADE TREE		
AGB	AESCULUS GLABRA	BUCKEYE, OHIO
CSC	CATALPA SPECIOSA	CATALPA, WESTERN
GDE	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE, ESPRESSO
QRN	QUERCUS RUBRA	OAK,NORTHERN RED
QSI	QUERCUS SHUMARDII	OAK, SHUMARD
ORNIMENTAL TREE		
CCG	CRATAEGUS CRUS-GALLI INERMIS	HAWTHORN, THORNLESS COCKSPUR
MAC	MALUS 'ADIRONDACK'	CRABAPPLE, ADIRONDACK
MSS	MALUS X 'SPRING SNOW'	CRABAPPLE, SPRING SNOW
QRF	QUERCUS ROBUR 'FASTIGIATA'	OAK, FASTIGIATE ENGLISH
EVERGREEN TREE		
PE	PINUS EDULIS	PINE, PINON
PPE	PICEA PUNGENS BABY 'BLUE EYES'	SPRUCE, BABY BLUE EYES
PFV	PINUS FLEXILIS 'VANDERWOLF'S PYRIMID'	PINE. 'VANDERWOLF'S PYRIMID'

PLANT KEY

- | | | | |
|---|--|---|--------------------------------------|
| <u>EVERGREEN SHRUB</u> | | <u>PERENNIALS</u> | |
|  | (JHB) JUNIPER, BAR HARBOR |  | (AND) DAISY, MOUNT ATLAS |
|  | (JSW) JUNIPER, WOODWARD ROCKY MOUNTAIN |  | (ARS) HYSSOP, SUNSET |
| <u>DECIDUOUS SHRUB</u> | |  | (ATB) GAY BUTTERFLY |
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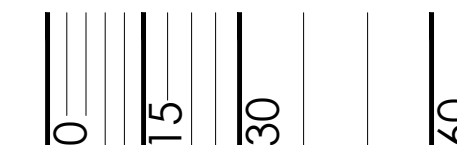


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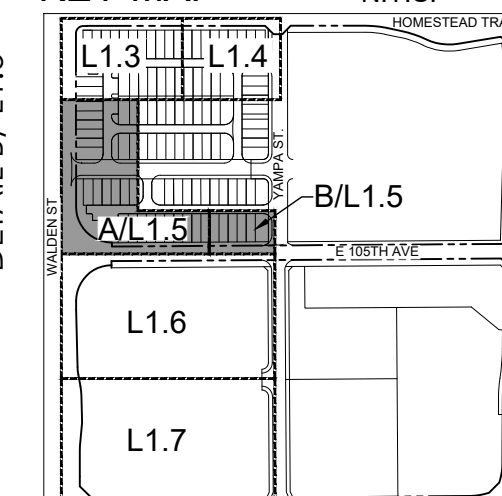
-  SHRUBS, GRASSES & PERENNIALS
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 -  ORNAMENTAL TREE
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 -  TURF
 -  CRUSHER FINES
 -  CONCRETE WALK
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 -  LOW-GROW NATIVE SEED
 -  MAILBOX KIOSK
 -  STREET LIGHT
 -  FIRE HYDRANT



Scale: 1"= 30'-0"



KEY MAP



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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS DAY OF , 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



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REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
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ISSUE DATE

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REVISION DATES

AUGUST 27, 2024

SHEET TITLE

LANDSCAPE
PLAN

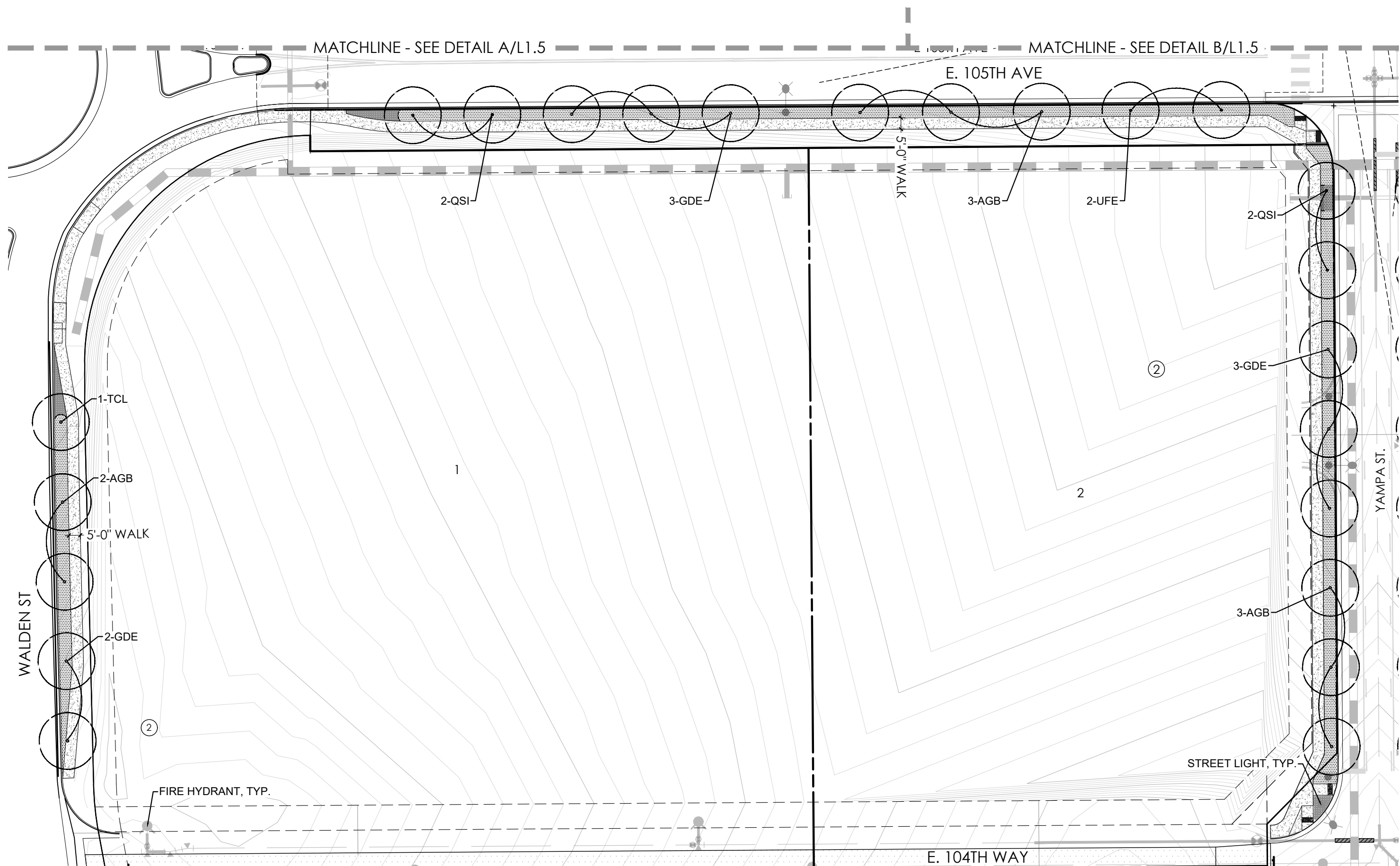
SHEET NUMBER

L1.5

SHEET 19 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

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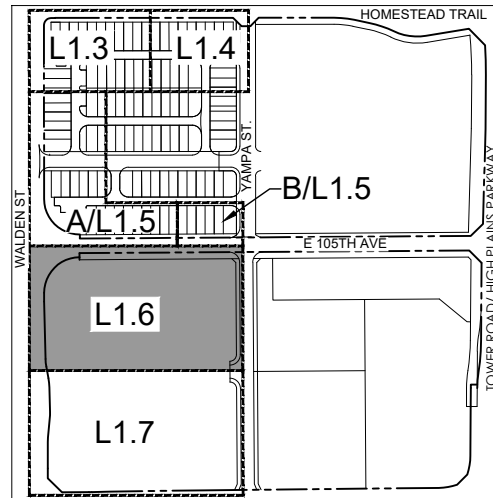
LEGEND

- SHRUBS, GRASSES & PERENNIALS
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- STEEL EDGER
- TURF
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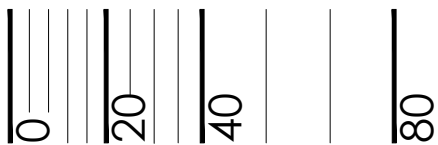
TREE SCHEDULE

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CCG	CRATAEGUS CRUS-GALLI INERMIS	HAWTHORN, THORNLESS COCKSPUR
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MSS	MALUS X 'SPRING SNOW'	CRABAPPLE, SPRING SNOW
QRF	QUERCUS ROBUR 'FASTIGIATA'	OAK, FASTIGIATE ENGLISH
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PE	PINUS EDULIS	PINE, PINON
PPE	PICEA PUNGENS BABY 'BLUE EYES'	SPRUCE, BABY BLUE EYES
PFV	PINUS FLEXILIS 'VANDERWOLF'S PYRIMID'	PINE, 'VANDERWOLF'S PYRIMID'

KEY MAP



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SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE

SEPTEMBER 20, 2021

REVISION DATES

AUGUST 27, 2024

SHEET TITLE

LANDSCAPE
PLAN

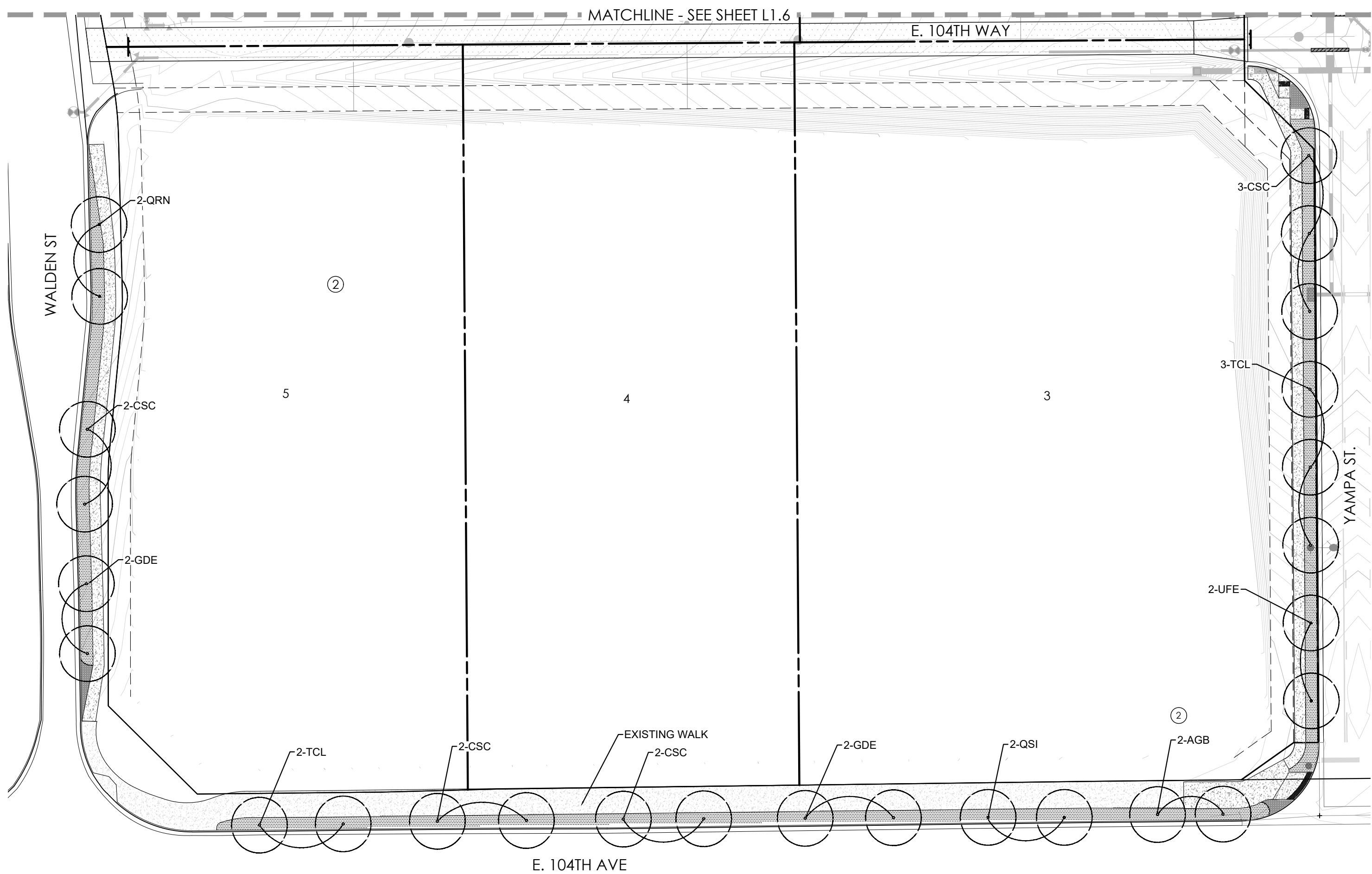
SHEET NUMBER

L1.6

SHEET 20 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



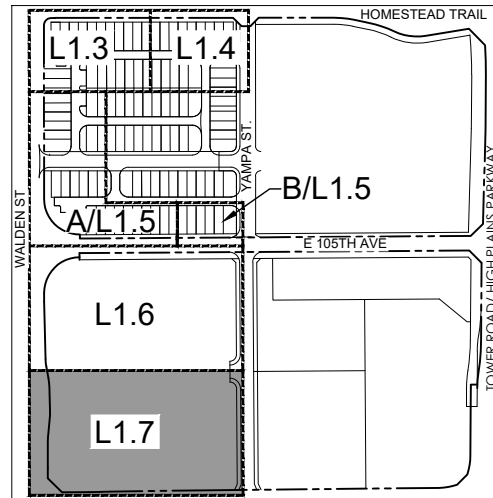
LEGEND

- SHRUBS, GRASSES & PERENNIALS
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- LOW-GROW NATIVE SEED
- MAILBOX KIOSK
- STREET LIGHT
- FIRE HYDRANT

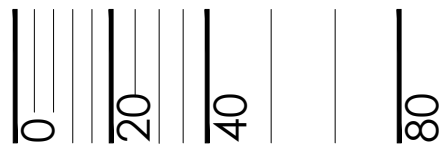
TREE SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME
DECIDUOUS SHADE TREE		
AGB	AESCULUS GLABRA	BUCKEYE, OHIO
CSC	CATALPA SPECIOSA	CATALPA, WESTERN
GDE	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE, ESPRESSO
QRN	QUERCUS RUBRA	OAK,NORTHERN RED
QSI	QUERCUS SHUMARDII	OAK, SHUMARD
ORNIMENTAL TREE		
CCG	CRATAEGUS CRUS-GALLI INERMIS	HAWTHORN, THORNLESS COCKSPUR
MAC	MALUS 'ADIRONDACK'	CRABAPPLE, ADIRONDACK
MSS	MALUS X 'SPRING SNOW'	CRABAPPLE, SPRING SNOW
QRF	QUERCUS ROBUR 'FASTIGIATA'	OAK, FASTIGIATE ENGLISH
EVERGREEN TREE		
PE	PINUS EDULIS	PINE, PINON
PPE	PICEA PUNGENS BABY 'BLUE EYES'	SPRUCE, BABY BLUE EYES
PFV	PINUS FLEXILIS 'VANDERWOLF'S PYRIMID'	PINE, 'VANDERWOLF'S PYRIMID'

KEY MAP



Scale: 1"= 40'-0"



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
SEPTEMBER 20, 2021

REVISION DATES
AUGUST 27, 2024

SHEET TITLE
LANDSCAPE
PLAN

SHEET NUMBER

L1.7
SHEET 21 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PLANT SCHEDULE & MONOCULTURE TABLE

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	TYPE	FAMILY	QTY	PERCENT </=15%
DECIDUOUS SHADE TREES							
AGB	AESCULUS GLABRA	BUCKEYE, OHIO	2.0" CAL	B&B	SAPINDACEAE	16	14%
CSC	CATALPA SPECIOSA	CATALPA, WESTERN	2.0" CAL	B&B	BIGNONIACEAE	10	8%
GDE	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE, ESPRESSO	2.0" CAL	B&B	FABACEAE	18	15%
QRN	QUERCUS RUBRA	OAK, NORTHERN RED	2.0" CAL	B&B	FAGACEAE	2	2%
QSI	QUERCUS SHUMARDII	OAK, SHUMARD	2.0" CAL	B&B	FAGACEAE	14	12%
TCL	TILIA CORDATA	LINDEN, LITTLELEAF	2.0" CAL	B&B	MALVACEAE	15	13%
UFE	ULMUS FRONTIER	ELM, FRONTIER	2.0" CAL	B&B	ULMACEAE	12	10%
DECIDUOUS ORNAMENTAL TREES							
MSS	MALUS X 'SPRING SNOW'	CRABAPPLE, SPRING SNOW	1.5" CAL	B&B	ROSACEAE	5	4%
QRF	QUERCUS ROBUR 'FASTIGIATA'	OAK, FASTIGIATE ENGLISH	1.5" CAL	B&B	ROSACEAE	13	11%
EVERGREEN TREES							
PE	PINUS EDULIS	PINE, PINON	6' HT	B&B	PINACEAE	8	7%
PFV	PINUS FLEXILIS 'VANDERWOLF'S PYRIMID'	PINE, 'VANDERWOLF'S PYRIMID'	6' HT	B&B	PINACEAE	5	4%
TOTAL						118	100%
EVERGREEN SHRUBS							
JHB	JUNIPERUS HORIZONATILS 'BAR HARBOUR'	JUNIPER, CREEPING 'BAR HARBOUR'	#5	CONT		7	1.7%
JSW	JUNIPEROUS SCOPULARUM 'WOODWARD'	JUNIPER, WOODWARD ROCKY MOUNTAIN	#5	CONT		13	3%
DECIDUOUS SHRUBS							
ACL	AMORPHA CANESCENS	LEADPLANT	#5	CONT		4	1%
AML	ARONIA MELANOCARPA 'LOW SCAPE MOUND'	CHOKEBERRY, LOW SCAPE MOUND BLACK	#5	CONT		20	5%
ENR	ERICAMERIA NAUSEOSA VAR. NAUSEOSA	RABBITBRUSH, TALL BLUE	#5	CONT		10	2%
FAP	FALLUGIA PARADOXA	APACHE PLUME	#5	CONT		10	2%
HPP	HESPERALOE PARVIFLORA 'PERPA'	RED YUCCA, BREAK LIGHTS	#5	CONT		34	8%
PBP	PRUNUS BESSEYI PAWNEE BUTTES	CHERRY, CREEPING WESTERN SAND	#5	CONT		6	1%
KLW	KRASCHININNIKOVA LANATA	WINTERFAT	#5	CONT		13	3%
PAR	PEROVSKA ATRIPLICIFOLIA	RUSSIAN SAGE	#5	CONT		11	3%
RAG	RHUS AROMATICA GRO-LOW	SUMAC, DWARF FRAGRANT	#5	CONT		4	1%
RAM	RIBES AUREUM	YELLOW FLOWERING CURRANT	#5	CONT		6	1%
RNW	ROSA 'NEARLY WILD'	NEARLY WILD ROSE	#5	CONT		15	4%
SDS	SYMPHORICARPOS X DOORENBOSII 'CANDY'	SNOWBERRY, CANDY	#5	CONT		16	4%
PERENNIALS							
ARS	AGASTACHE RUPESTRIS	SUNSET HYSSOP	F15	CONT		25	6.1%
ERG	ECHINIOPS RITRO	GLOBE THISTLE	F15	CONT		6	1.5%
ECG	EPILOBIUM CANUM GARETTI	HUMMINGBIRD TRUMPET, ORANGE CARPET	F15	CONT		5	1.2%
ECP	RATIBIDA COLUMNIFERA 'PULCHERRIMA'	CONEFLOWER, PRAIRIE RED	F15	CONT		12	2.9%
PBD	PENSTEMON BARBATUS 'PRARIE DUSK'	PENSTEMON, ROSE-PURPLE	F15	CONT		16	3.9%
SSM	SALVIA SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA	F15	CONT		10	2%
ORNAMENTAL GRASSES							
AGG	ANDROPOGEN GERARDII	BIG BLUESTEM	#1	CONT		34	8%
BGB	BOUTALOUA GRACILIS GRASS	BLUE GRAMA GRASS	#1	CONT		41	10%
PVH	PANICUM VIRGATUM 'HEAVY METAL'	SWITCHGRASS, 'HEAVY METAL'	#1	CONT		33	8%
SHP	SPOROGOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	CONT		58	14%
TOTAL						409	100%

CITY OF COMMERCE LANDSCAPE NOTES

- A. MINIMUM PLANT SIZE REQUIREMENTS ARE 2-INCH DIAMETER (CALIPER) FOR DECIDUOUS TREES, 1.5-INCH DIAMETER FOR ORNAMENTAL TREES AND 6-FOOT HEIGHT FOR EVERGREEN TREES. MINIMUM SIZE REQUIREMENTS FOR SHRUBS IS #5 GALLON CONTAINER, ORNAMENTAL GRASSES #1 GALLON CONTAINER; PERENNIALS AND GROUND COVER 2 1/2" POTS. PLANTS SHOULD BE MIXED APPROXIMATELY 50% EVERGREEN AND 50% DECIDUOUS (TREE LAWN AREAS SHALL BE DECIDUOUS SHADE TREES).
- B. MINIMUM SOIL PREPARATION FOR PLANTING SHALL BE 5 CUBIC YARDS OF ORGANIC SOIL AMENDMENT TILLED TO A DEPTH OF 6-INCHES FOR EVERY 1,000SF OF LANDSCAPE AREA.
- C. THE PLANNING DIVISION HAS IDENTIFIED SPECIFIC DECIDUOUS TREE SPECIES TO BE PLANTED WITHIN TREE LAWN AREAS. ALL TREES CHOSEN FOR TREE LAWN APPLICATIONS MUST BE SELECTED FROM THE APPROVED PLANT LIST.
- D. POROUS FABRIC MUST BE USED IN PLANTED BEDS. PLASTIC WEED BARRIERS ARE PROHIBITED.
- E. PLASTIC OR FIBERGLASS EDGING IS FAVORABLE TO METAL. HOWEVER, METAL EDGING MAY BE USED PROVIDED IT HAS A ROLLOVER TOP OR A PROTECTIVE CAP.
- F. THE DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS CLOSELY COORDINATED WITH PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH OR PRECLUDE THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THE LANDSCAPE PLAN.
- G. ALL LANDSCAPE AREAS AND PLANT MATERIALS MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO THE REQUIREMENTS OF THE SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT (SACWSD). APPROVAL OF THIS LANDSCAPE PLAN DOES NOT CONSTITUTE APPROVAL FROM THE SACWSD.
- H. THE DEVELOPER, HIS SUCCESSORS, AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN, INCLUDING THE LANDSCAPING WITHIN THE RIGHT-OF-WAY. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL SHALL BE OF THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN (A TREE MUST REPLACE A TREE OR A SHRUB MUST REPLACE A SHRUB). ANY REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN NO CASE SHALL REPLACEMENT EXCEED 1 YEAR. THIS APPROVED LANDSCAPE PLAN SHALL BE ON FILE IN THE PLANNING DIVISION. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- I. NO VEHICLE PARKING IS ALLOWED IN ANY LANDSCAPE TREATMENT AREA.
- J. ANY AREA DETERMINED BY THE CITY ENGINEER TO BE WITHIN A SIGHT-DISTANCE-TRIANGLE SHALL NOT CONTAIN PLANT MATERIAL THAT, AT THE TIME OF PLANTING OR AT MATURITY, EXCEEDS 36 INCHES ABOVE THE GUTTER FLOW LINE EXCEPT TREES, WHICH MUST BE LIMBED TO 8 FEET AT ADEQUATE MATURITY. TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM LIGHT OR UTILITY POLES. ALL OTHER LANDSCAPE FEATURES SHALL NOT EXCEED 36 INCHES IN HEIGHT WITHIN SIGHT LINES. INFORMATION ON THE SIGHT LINES MAY BE OBTAINED FROM THE CITY OF COMMERCE CITY ENGINEERING STANDARDS.

ADDITIONAL LANDSCAPE NOTES

1. CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS, OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE LANDSCAPE CONTRACTOR IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
2. ALL SHRUB BEDS TO BE MULCHED WITH ROCK OVER WEED CONTROL FABRIC.
3. FURNISH AND INSTALL GREEN RYERSON METAL EDGING WITH STAKES IN BETWEEN ALL PLANTING BEDS AND TURF AREAS AND AS SHOWN ON THE PLANS OR APPROVED EQUAL.
4. ROUGH GRADE TO ONE TENTHS (.1) OF ONE FOOT BY OTHERS. LANDSCAPE CONTRACTOR TO PROVIDE FINISH GRADES WHILE MAINTAINING POSITIVE DRAINAGE. CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY POORLY DRAINED AREAS PRIOR TO COMMENCING WORK.
5. THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG SIDEWALK TO ACCOMMODATE SOD, SEED OR MULCH.
6. ALL PLANT MATERIAL IS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, CURB AND GUTTER, WALLS, OR WALKWAYS AND OTHER STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
8. PRIOR TO PLANTING, CONTRACTOR IS TO APPLY HERBICIDE TO ELIMINATE ALL WEED GROWTH WITHIN LANDSCAPE AREAS PER.
9. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND WALKWAYS. HAVE ALL FINE GRADING APPROVED BY LANDSCAPE ARCHITECT.
10. CONTRACTOR TO REMOVE DIRT PILED ON TOP OF ROOTBALL AT NURSERY PRIOR TO PLACEMENT TO MAINTAIN PROPER PLANTING DEPTH. ALL TREES TO BE PLANTED WITH THE ROOT FLARE ONE TO TWO INCHES ABOVE FINAL GRADE.
11. FRONT YARD LANDSCAPING AND FENCING MUST BE COMPLETED WITHIN 180 DAYS AFTER A CLOSING ON THE PROPERTY IF THE CLOSING OCCURS DURING A GROWING SEASON (APRIL 1 THROUGH OCTOBER 1 IN THE SAME YEAR) OR DURING THE NEXT GROWING SEASON IF THE PROPERTY CLOSSES OUTSIDE OF THIS CYCLE.

NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



Know what's below.
Call before you dig.

ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
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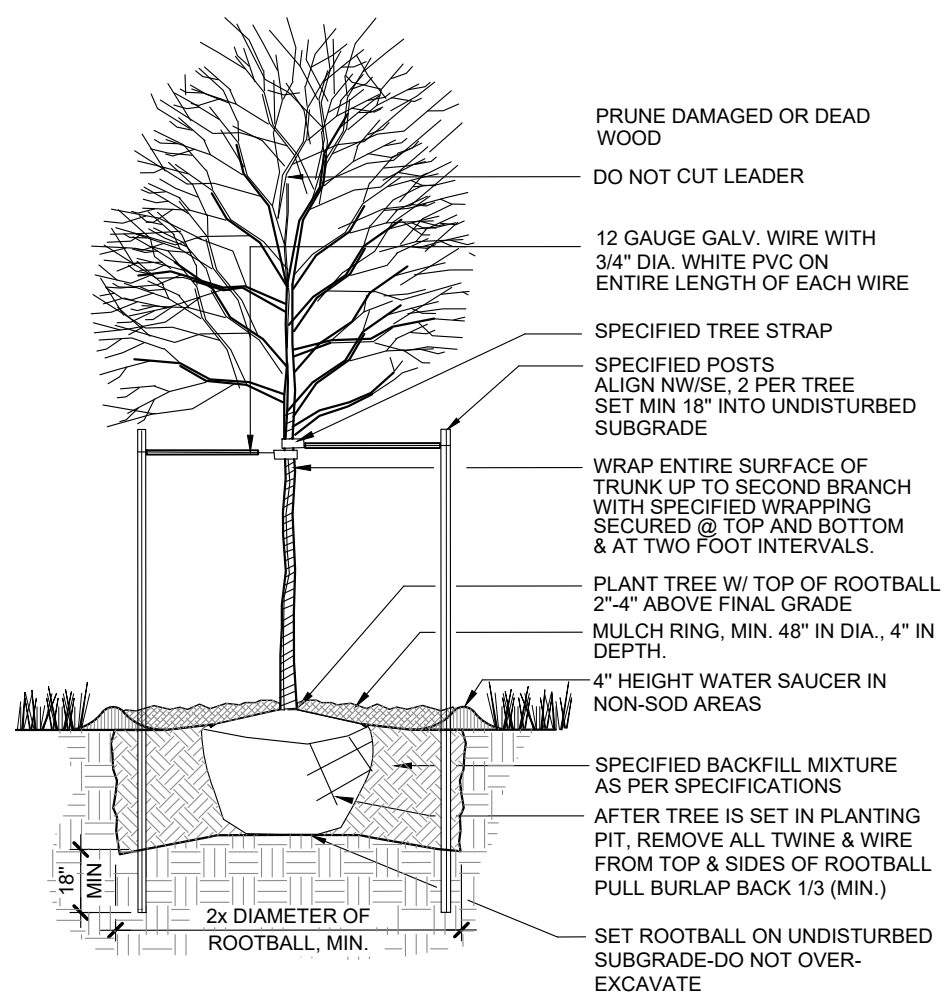
SHEET NUMBER

L1.8

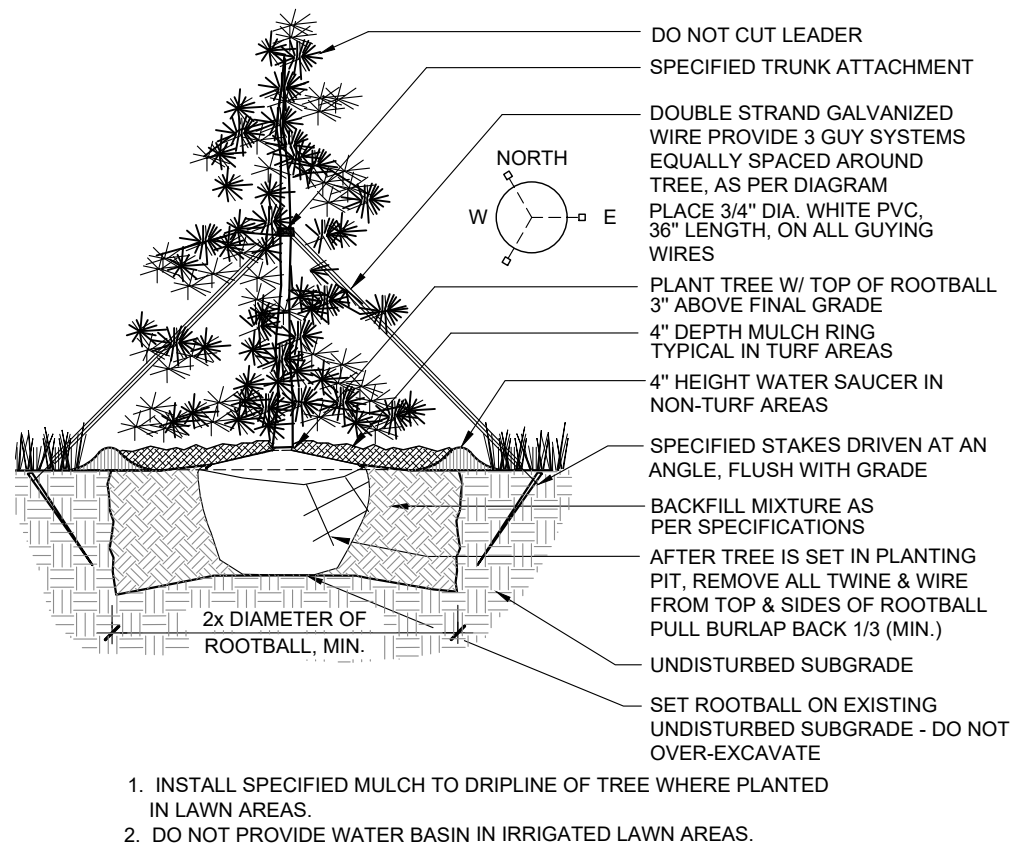
SHEET 22 OF 37

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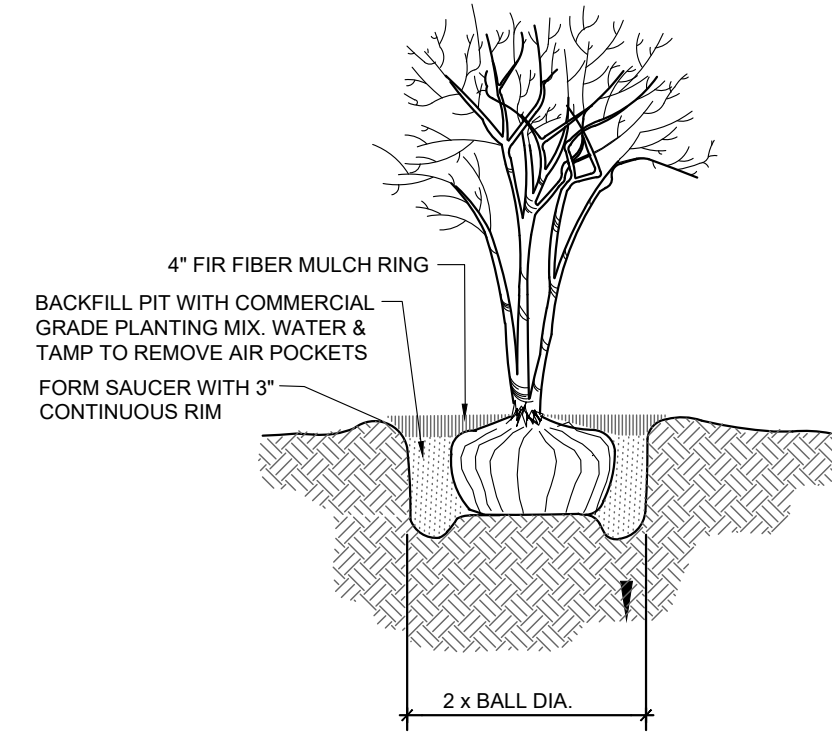
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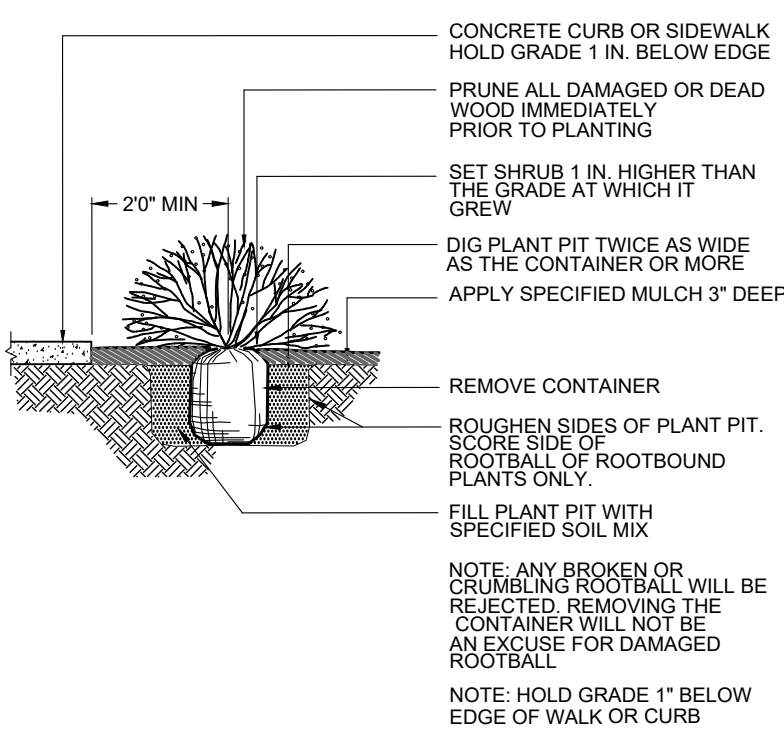
1 DECIDUOUS TREE PLANTING
SCALE: 3/4"=1'



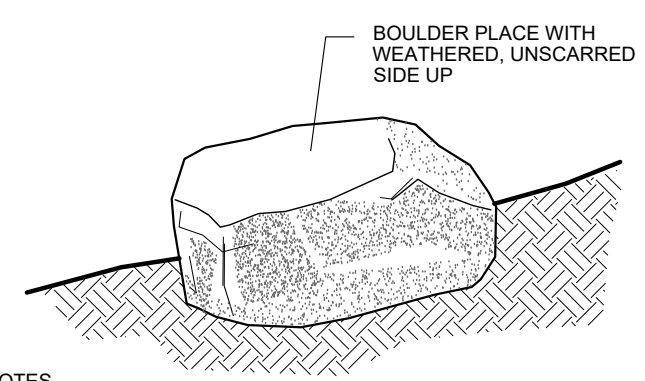
2 EVERGREEN TREE PLANTING
SCALE: 3/4"=1'



3 ORNAMENTAL TREE PLANTING
SCALE: 3/4"=1'

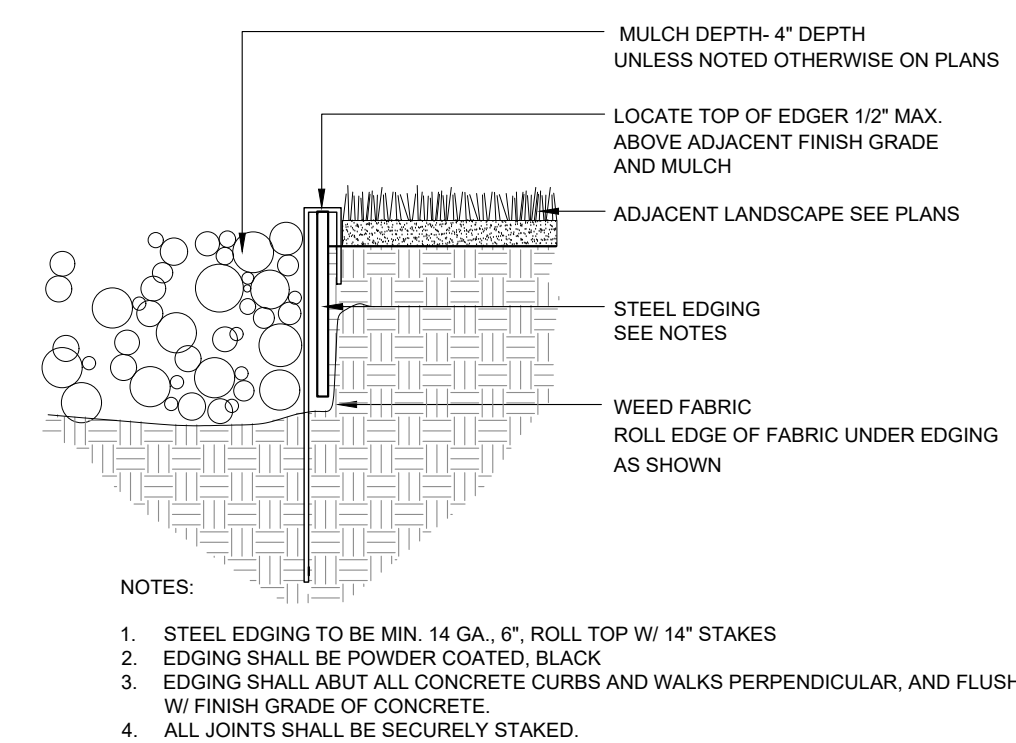


4 SHRUB PLANTING
SCALE: 3/4"=1'



- NOTES
1. PLACE BOULDERS TO CONFIGURATIONS AND LOCATIONS AS SHOWN ON PLAN.
 2. BURY ROCK 1/3 OF TOTAL DEPTH.
 3. WASH OFF ROCKS COMPLETELY AFTER PLACEMENT.
 4. ROCKS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
 5. DO NOT FRACTURE ROCK DURING PLACEMENT, SUCH ACTION WILL BE CAUSE FOR REJECTION.
 6. CHOOSE AND PLACE ROCKS SO THAT A MINIMUM OF EXCAVATION SCARS ARE VISIBLE.
 7. BOULDERS SHALL BE COLORADO BROWN STONE WITH EXPOSED SIDES FREE OF DAMAGE, CHIPS, OR SCARING. SIZES SHALL BE 3'W X 4'L X 3'H (± 6" IN ANY DIMENSION).

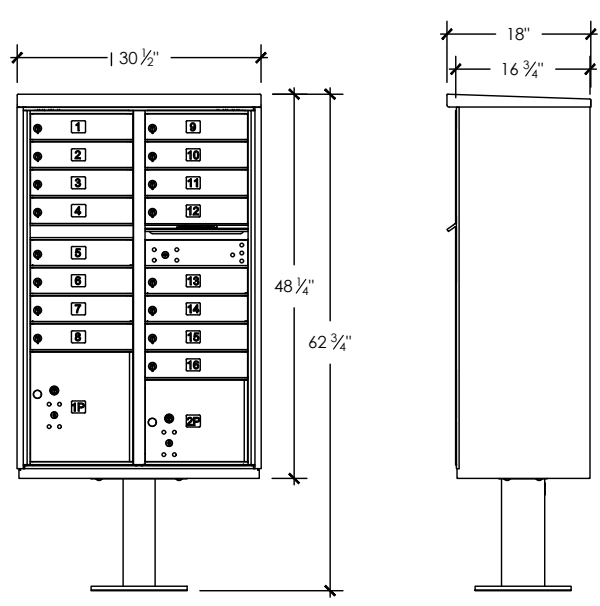
5 LANDSCAPE BOULDER
SCALE: 3/4"=1'



6 STEEL EDGER
SCALE: 3/4"=1'



7 LANDSCAPE WALL
SCALE: NTS



8 MAIL KIOSK
SCALE: NTS

NOTE: IMAGES ARE FOR REFERENCE ONLY. DIMENSIONS, MATERIALS, COLOR, AND STYLE ARE TBD.

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CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY, THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT

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L1.10
SHEET 24 OF 37



1 CUBE BENCH
SCALE: NTS



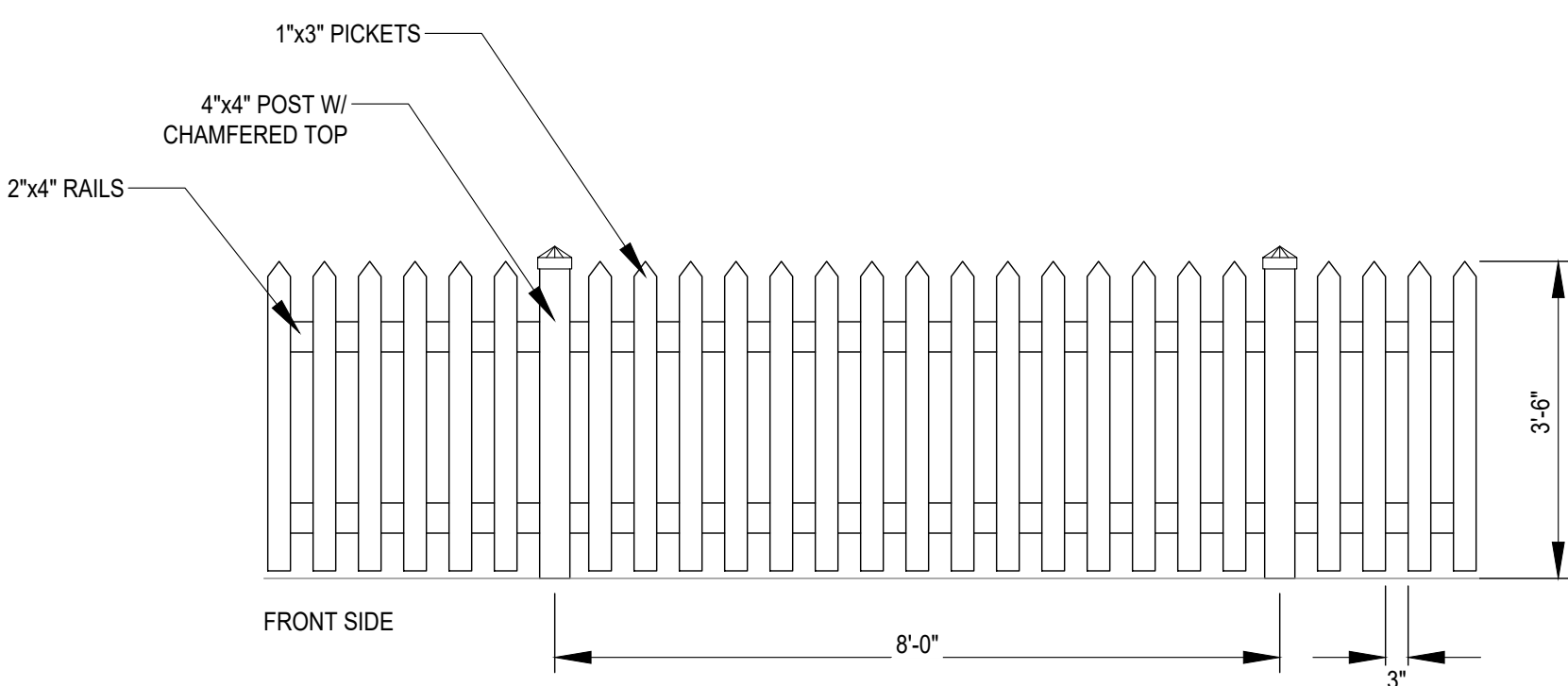
2 STREET PLANTER
SCALE: NTS



3 BENCH
SCALE: NTS



4 TREE GRATE
SCALE: NTS



5 42" PICKET FENCE
SCALE: NTS



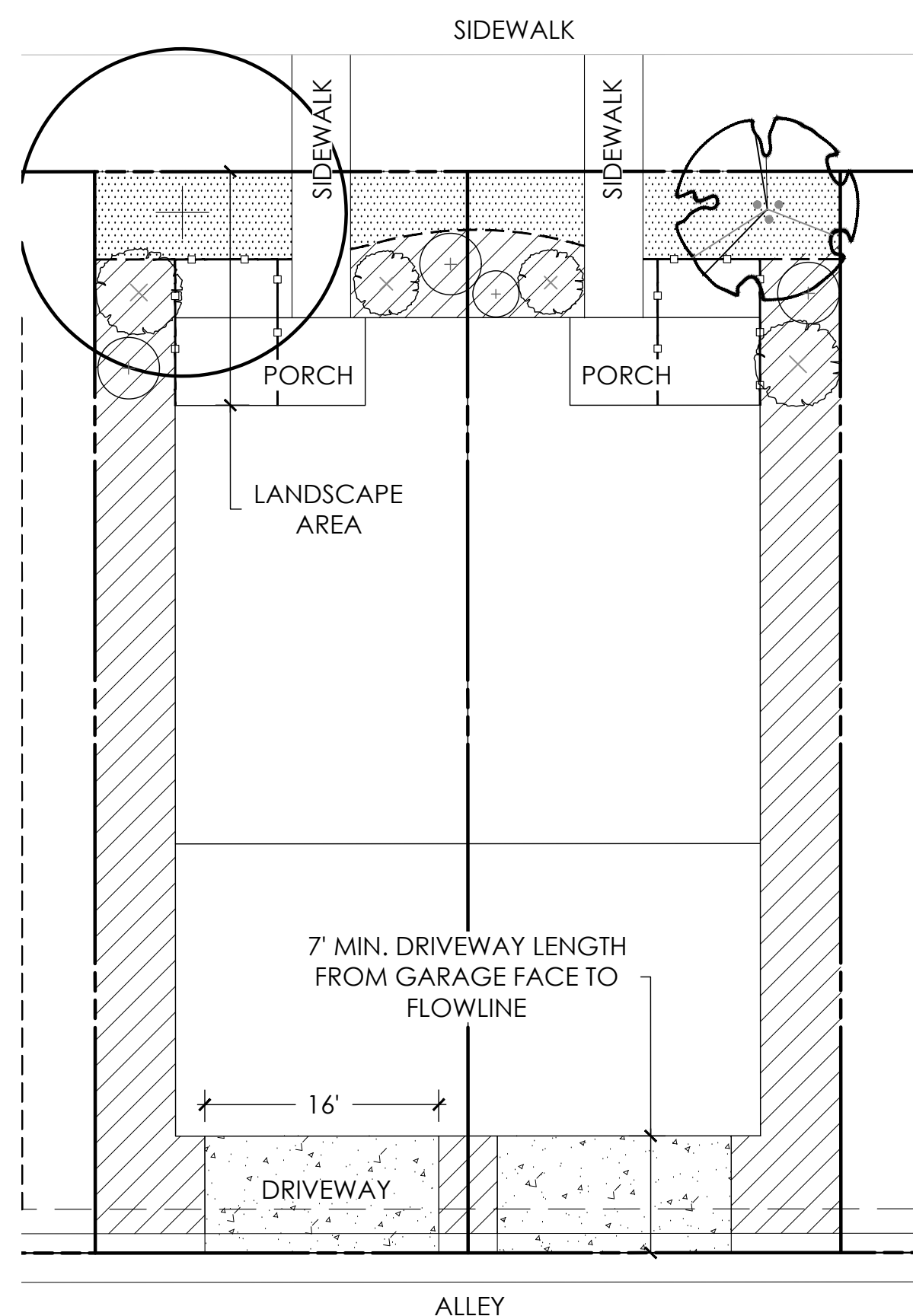
6 TRASH RECEPTACLE
SCALE: NTS

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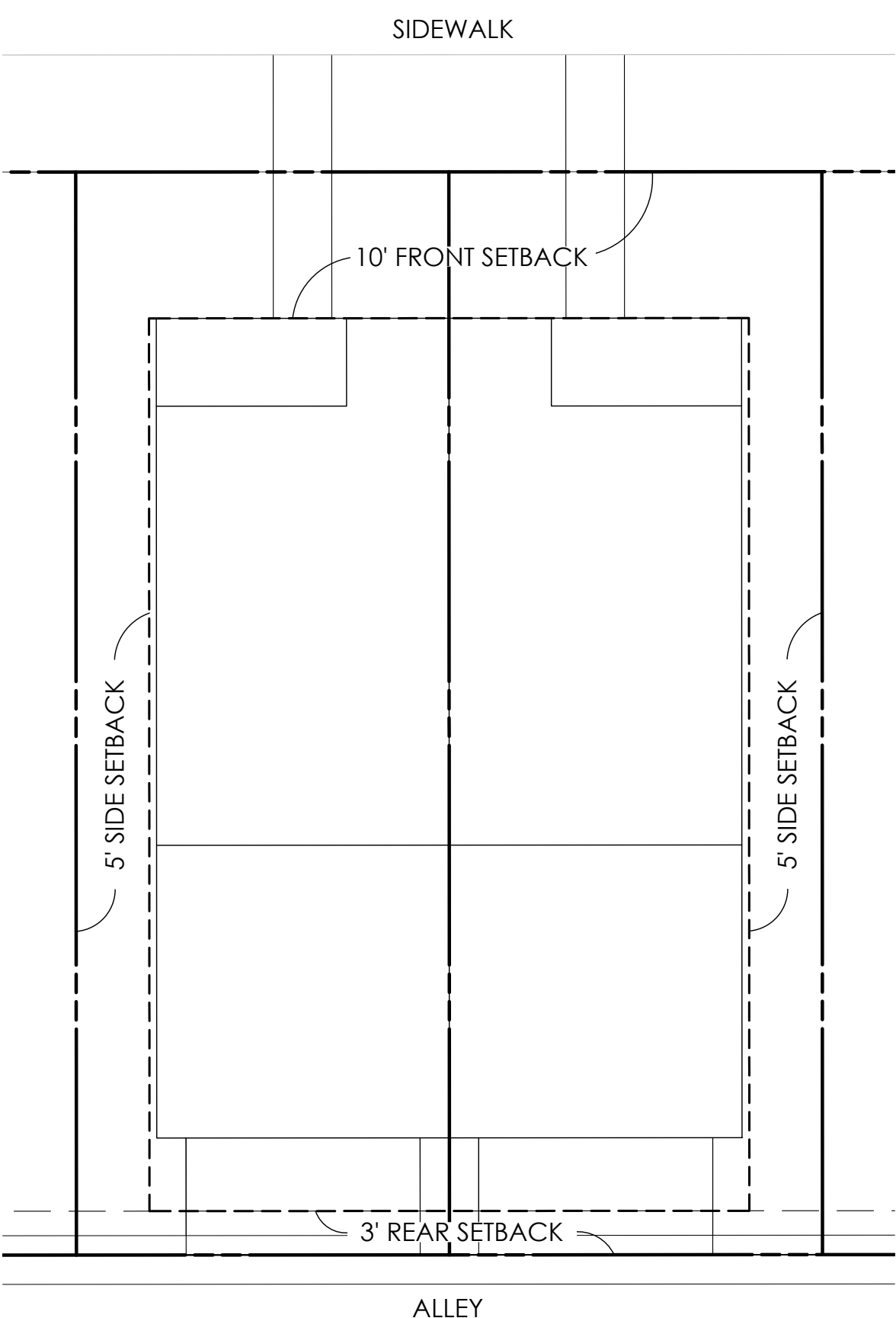
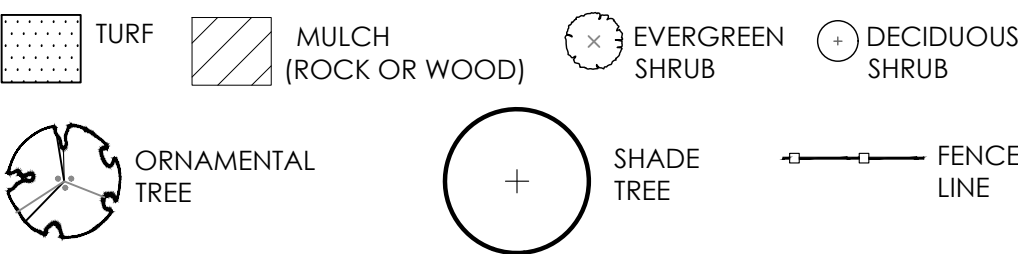


SINGLE FAMILY ATTACHED
TYPICAL LANDSCAPE

PROVIDE A MINIMUM OF:
ONE (1) TREE/HOME
FOUR (4) SHRUBS/HOME
75% LIVE PLANT MATERIAL WITHIN LANDSCAPE AREAS
(MAX 50% OF LIVE PLANT MATERIAL MAY BE TURF)
1 MULCH TYPE

- PRODUCT TYPICAL NOTES:
1. PLANTING DESIGN IS CONCEPTUAL. SPECIFIC PLANTS WILL BE CHOSEN FROM THE PLANT SCHEDULE ON SHEET L1.8.
 2. FOR ADDITIONAL INFORMATION CONCERNING DRIVEWAY LENGTHS, SEE SHEET L3.1.

LEGEND

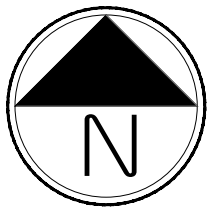


SINGLE FAMILY ATTACHED
SETBACKS

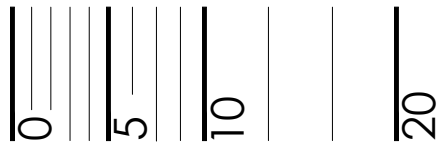
SINGLE FAMILY ATTACHED DEVELOPMENT STANDARDS

SINGLE FAMILY ATTACHED	
Front Setback Minimum	a) 5 feet to a porch with no living space below it. b) 10 feet to building
Side Setback Minimum	a) 5 feet, 10' building separation b) Cantilevers, including structural elements, may encroach no more than 1 foot per LDC 21-4200(1)
Side on Street (R.O.W.) Setback	15 feet
Side on Alley or Tract Setback	5 feet
Rear Setback Minimum	3 feet
Setback from Tower Rd./High Plains Parkway	Front = 50 feet, Side = 25 feet, Rear = N/A
Maximum Building Height	35 feet
Minimum Lot Size	N/A
Minimum Dwelling Size	N/A
Parking Required	2 spaces per unit

- DEVELOPMENT STANDARD NOTES:
1. PURSUANT TO SECTION 21-4200(1) OF THE COMMERCE CITY LAND DEVELOPMENT CODE, CORNICES, CUPOLAS, BOX AND BAY WINDOWS, OR SIMILAR ARCHITECTURAL FEATURES ARE ALLOWED TO EXTEND OUTWARD FROM THE PRINCIPAL STRUCTURE UP TO ONE FOOT INTO ANY SETBACK.



Scale: 1"= 10'-0"



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AUGUST 27, 2024

SHEET TITLE

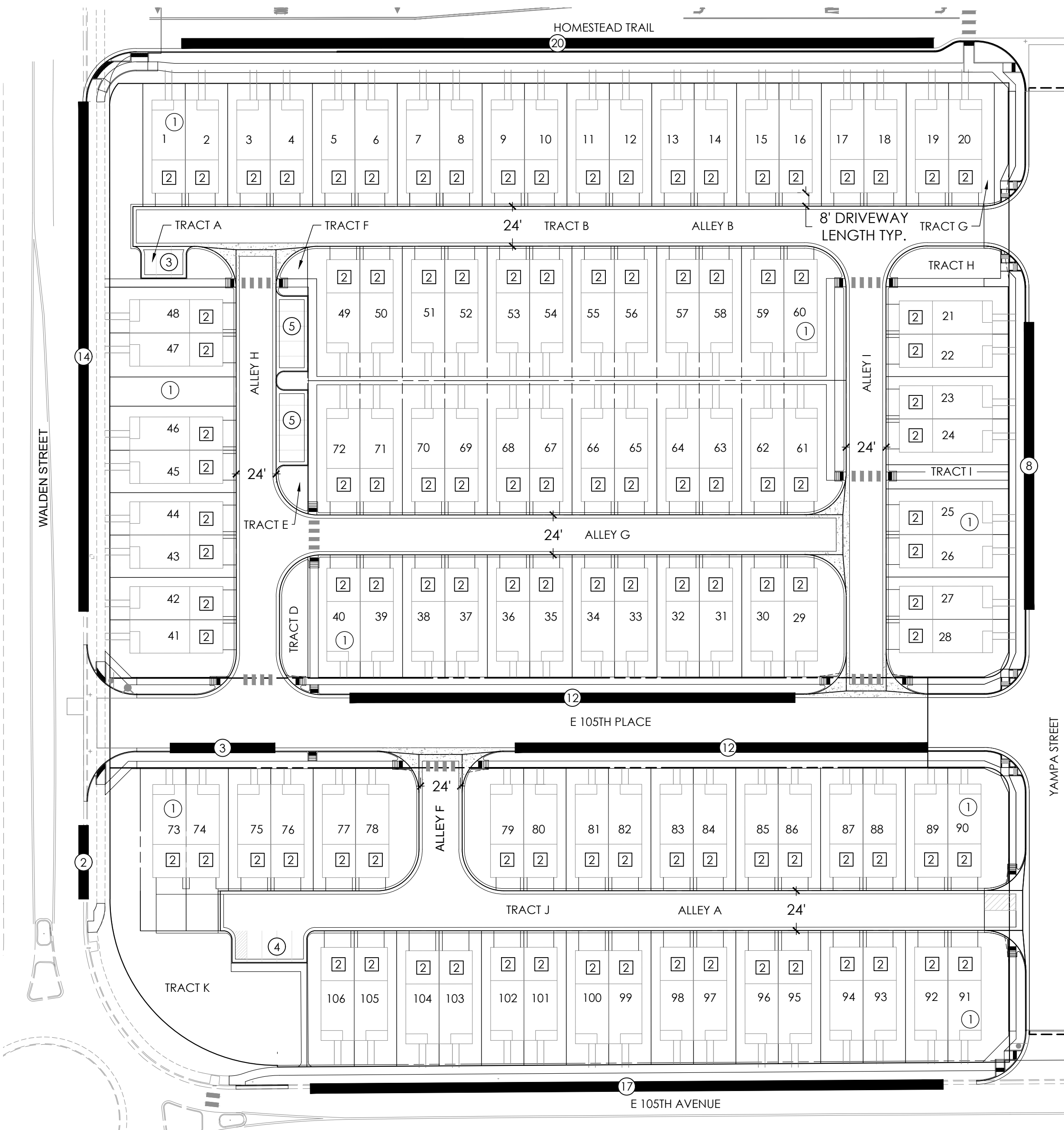
PRODUCT
TYPICALS

SHEET NUMBER

L2.1
SHEET 25 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



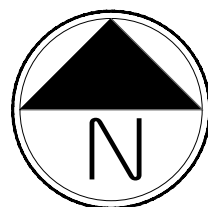
LEGEND

- GARAGE PARKING
- DRIVEWAY PARKING
- ON-STREET PARKING

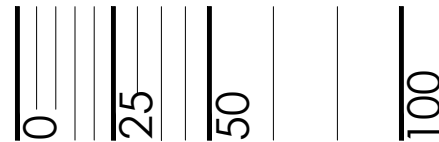
PARKING TABULATION			
TYPE	REQUIRED	PROPOSED	PROPOSED/UNIT
GARAGE		212	2.0
OFF-STREET	212	17	0.2
ON-STREET		88	0.8
TOTAL	212	317	3.0

NOTES

- DRIVEWAYS SHALL BE A MINIMUM OF 7' IN LENGTH, AS MEASURED FROM THE GARAGE FACE TO THE FLOWLINE OF THE ALLEY.
- NO VEHICLE ACCESS, OR USE OF ANY KIND IS ALLOWED ON THIS LOT UNTIL A DEVELOPMENT PLAN OR PUD DEVELOPMENT PERMIT IS APPROVED BY THE CITY.
- ALL OFF-STREET PARKING SPACES SHALL BE 9'x19' PER COMMERCE CITY CODE.



Scale: 1"= 50'-0"



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
SEPTEMBER 20, 2021
REVISION DATES
AUGUST 27, 2024

SHEET TITLE

PARKING
PLAN

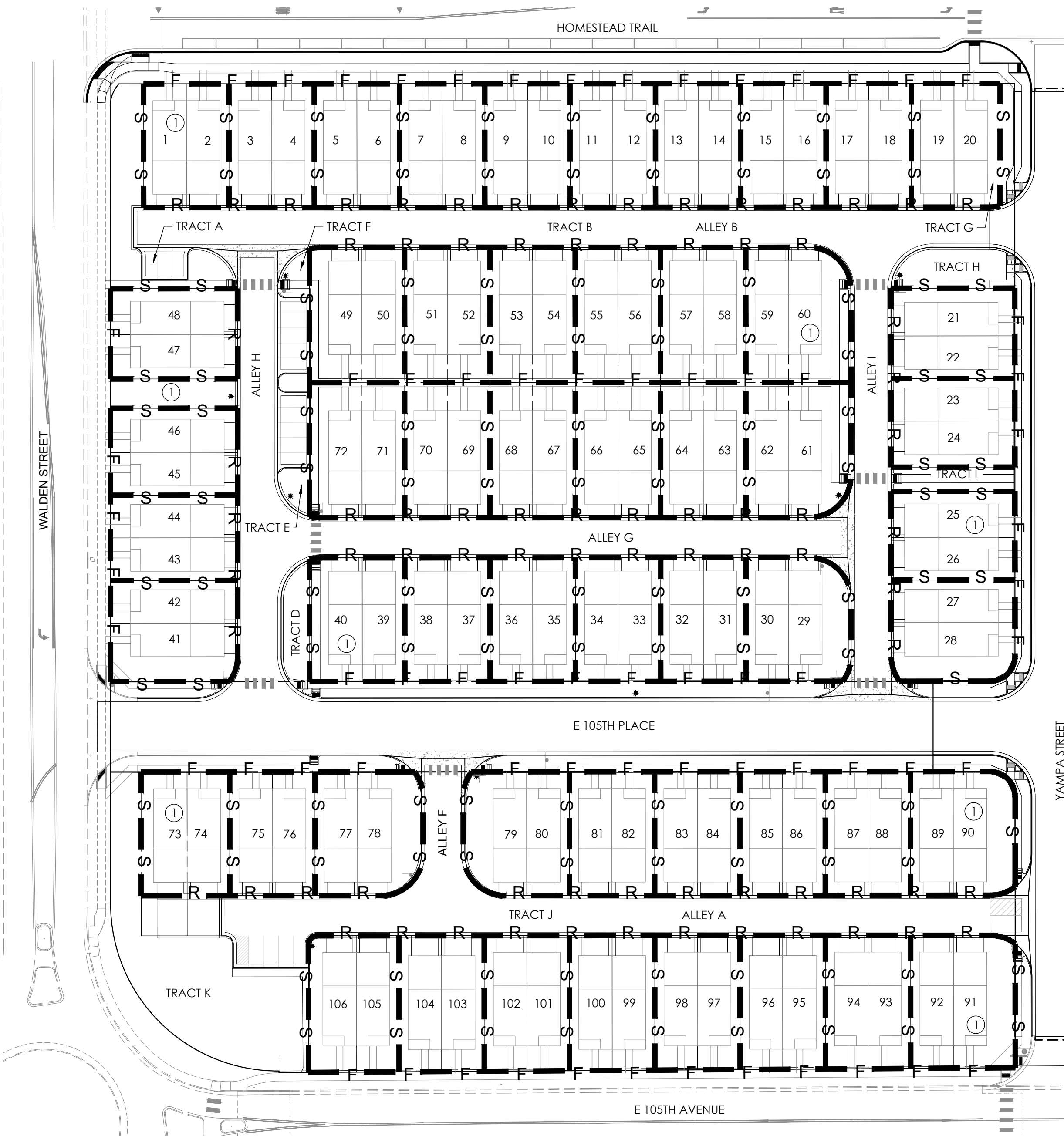
SHEET NUMBER

L3.1

SHEET 26 OF 37

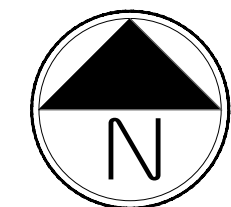
REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

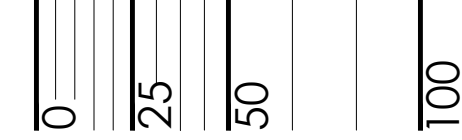


LEGEND

- F — FRONT SETBACK
- S — SIDE SETBACK
- R — REAR SETBACK



Scale: 1"= 50'-0"



NOT FOR CONSTRUCTION

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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
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REUNION CENTER FILING 1 AMENDMENT #2
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
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ISSUE DATE
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REVISION DATES
AUGUST 27, 2024

SHEET TITLE

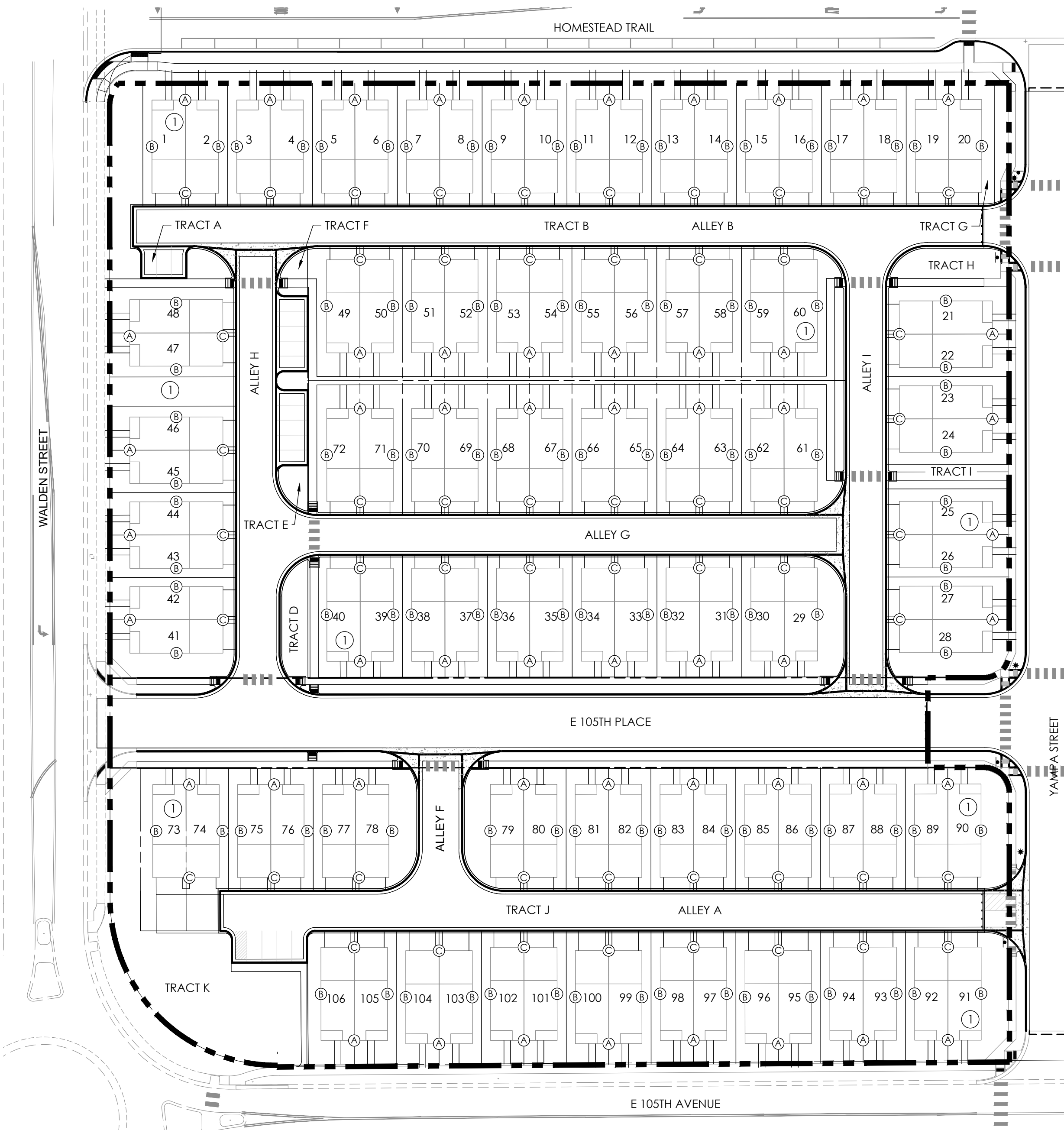
SETBACK
PLAN

SHEET NUMBER

L4.1
SHEET 27 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

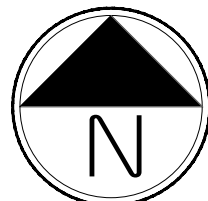
A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



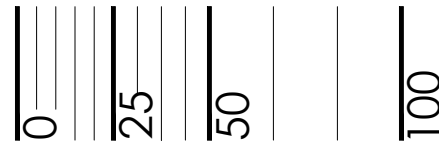
ADJACENCY REQUIREMENTS

- A-A HOMES MUST MEET ADJACENCY REQUIREMENTS
- B-B HOMES MUST MEET ADJACENCY REQUIREMENTS
- A-B HOMES DO NOT NEED TO MEET ADJACENCY REQUIREMENTS, BUT MUST BE A DIFFERENT COLOR, MATERIAL PACKAGE, OR OTHER DIFFERENTIATING FEATURE
- C-C HOMES DO NOT NEED TO MEET ADJACENCY REQUIREMENTS
- A-C HOMES DO NOT NEED TO MEET ADJACENCY REQUIREMENTS
- B-C HOMES DO NOT NEED TO MEET ADJACENCY REQUIREMENTS

- NOTES:
- EACH BUILDING WILL HAVE ONE DEFINED "A" AND "C" SIDE AND TWO DEFINED "B" SIDES.
 - ADJACENCY RULES ABOVE APPLY TO UNITS ADJACENT TO A PUBLIC RIGHT-OF-WAY, PRIVATE STREET, OR OPEN SPACE TRACT.



Scale: 1"= 50'-0"



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REUNION CENTER FILING 1 AMENDMENT #2
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

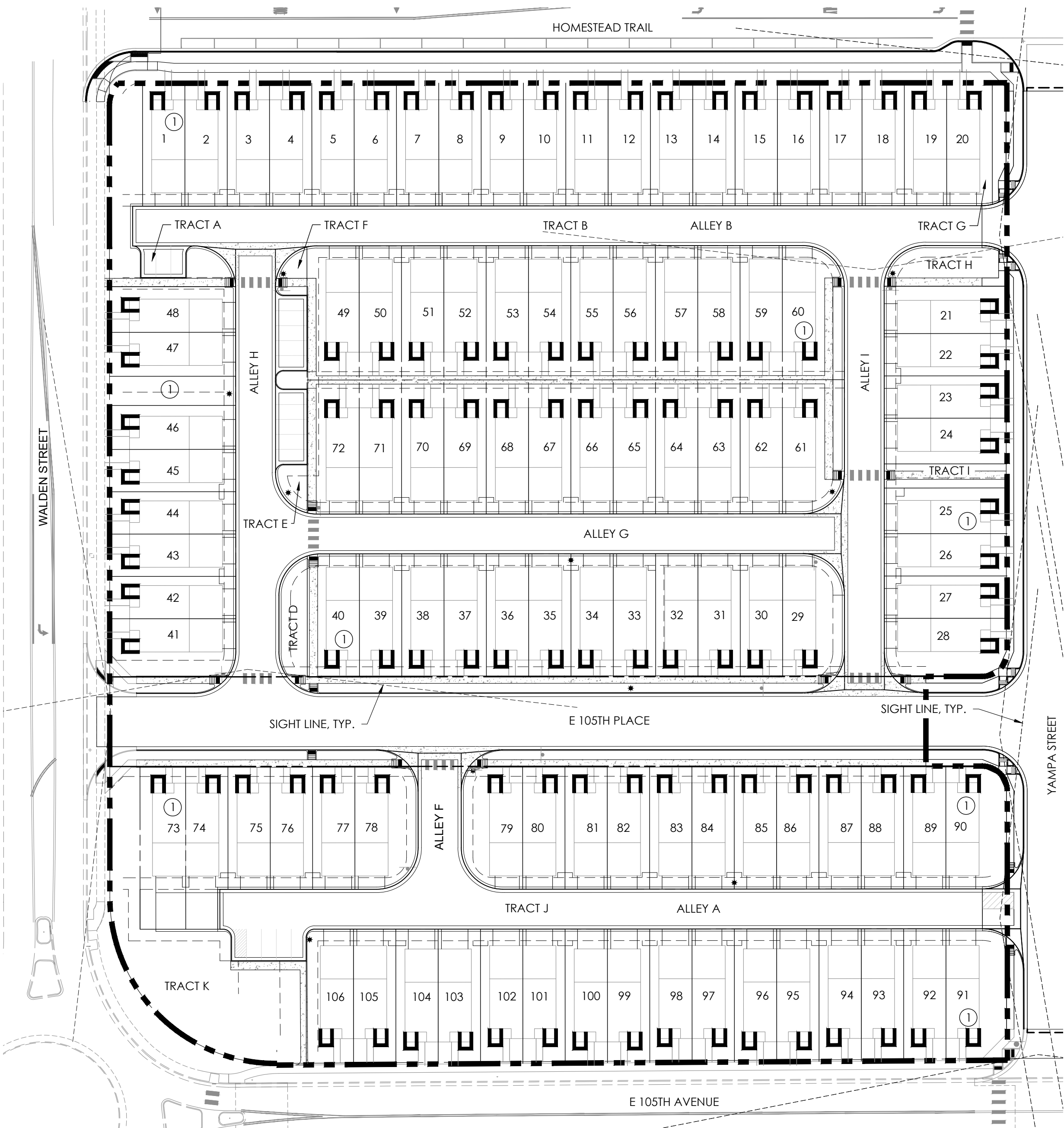
ISSUE DATE
SEPTEMBER 20, 2021
REVISION DATES
AUGUST 27, 2024

SHEET TITLE
ADJACENCY
PLAN
SHEET NUMBER

L5.1
SHEET 28 OF 37

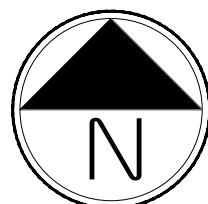
REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

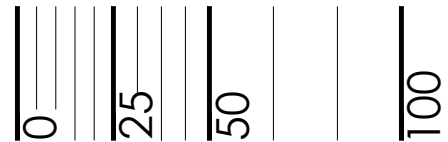


LEGEND

42" HT. PICKET FENCE



Scale: 1"= 50'-0"



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CITY STAFF CERTIFICATE
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



Know what's below.
Call before you dig.

ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE

SEPTEMBER 20, 2021

REVISION DATES

AUGUST 27, 2024

SHEET TITLE

FENCING
PLAN

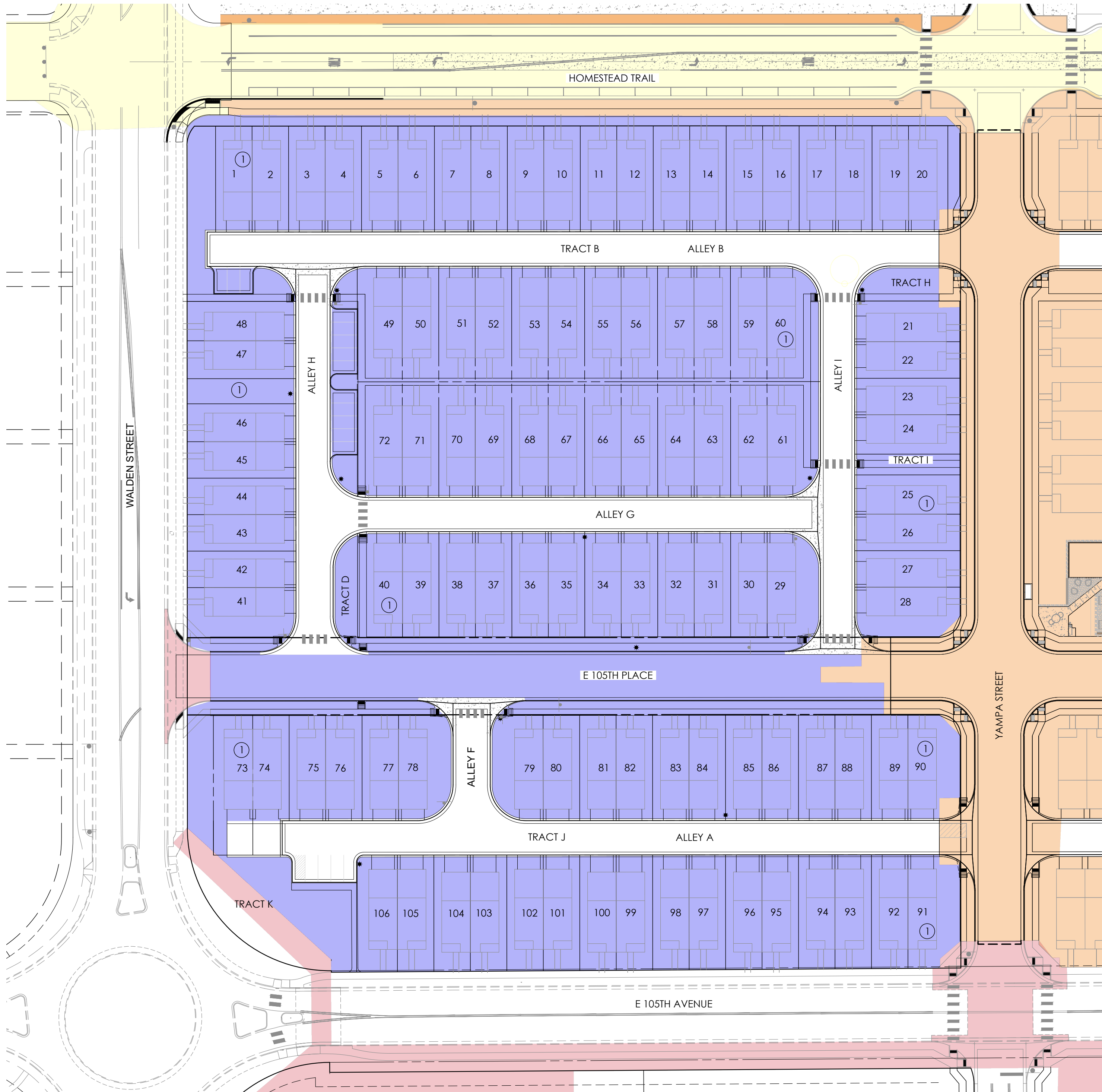
SHEET NUMBER

L6.1

SHEET 29 OF 37

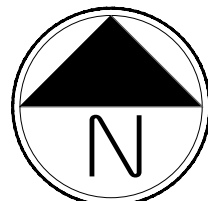
REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

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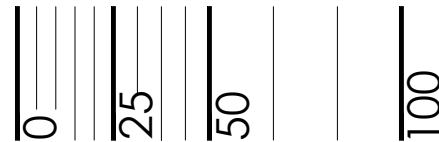


LEGEND

- PHASE 1 / METRO DISTRICT
- PHASE 2 / METRO DISTRICT
- PHASE 3
- PHASE 5



Scale: 1"= 50'-0"



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
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DEVELOPMENT OF THE CITY OF COMMERCE CITY,
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DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
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REUNION CENTER FILING 1 AMENDMENT #2
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
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ISSUE DATE
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REVISION DATES
AUGUST 27, 2024

SHEET TITLE

PHASING
PLAN

SHEET NUMBER

L7.1

SHEET 30 OF 37

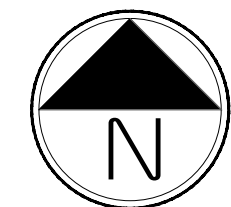
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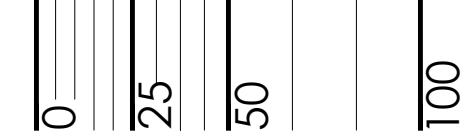


LEGEND

- BUILDING TYPE 1
- BUILDING TYPE 2
- BUILDING TYPE 3



Scale: 1"= 50'-0"



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ISSUE DATE
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REVISION DATES
AUGUST 27, 2024

SHEET TITLE

ARCHITECTURE
KEY MAP

SHEET NUMBER

A1.1
SHEET 31 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



Know what's below.
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ASSESSOR'S
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REUNION CENTER FILING 1 AMENDMENT #2
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
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AUGUST 27, 2024

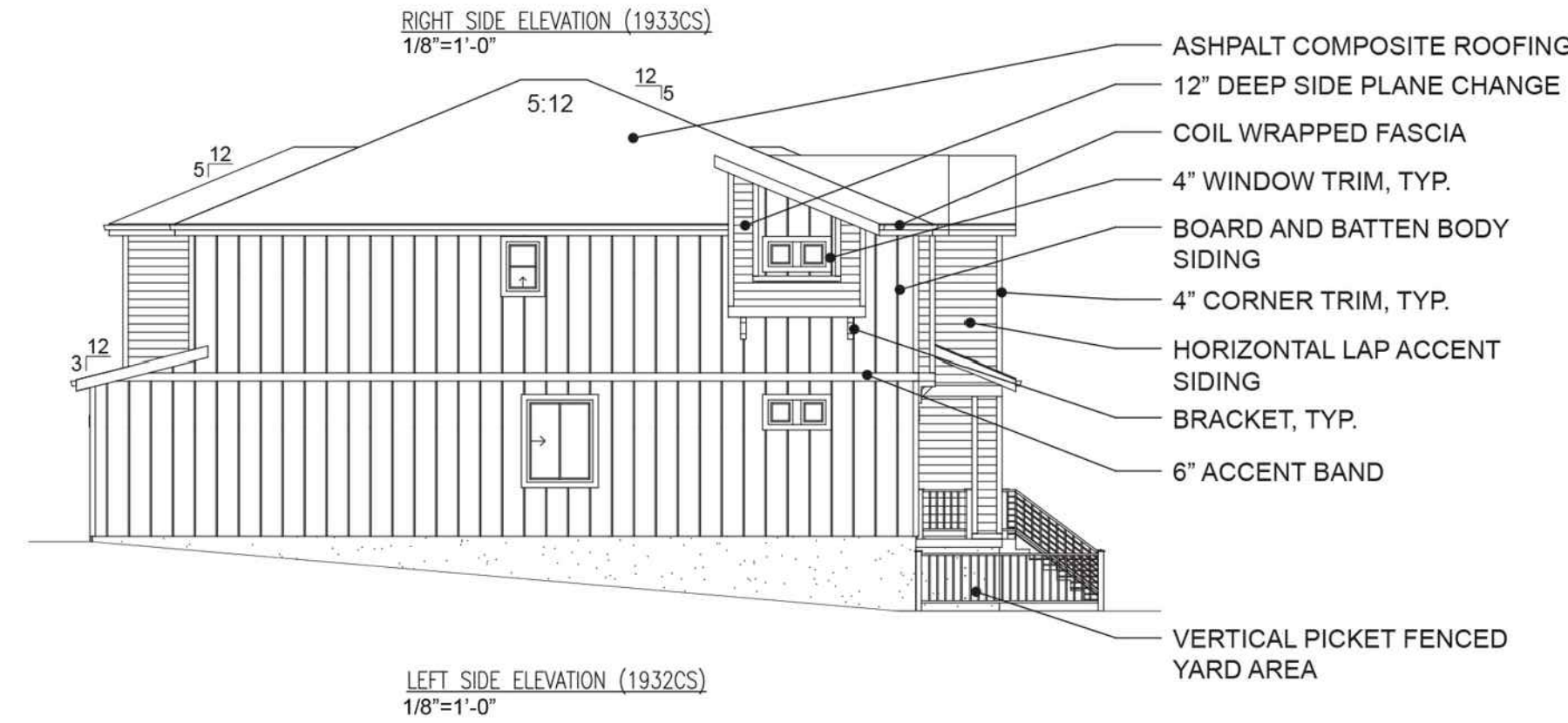
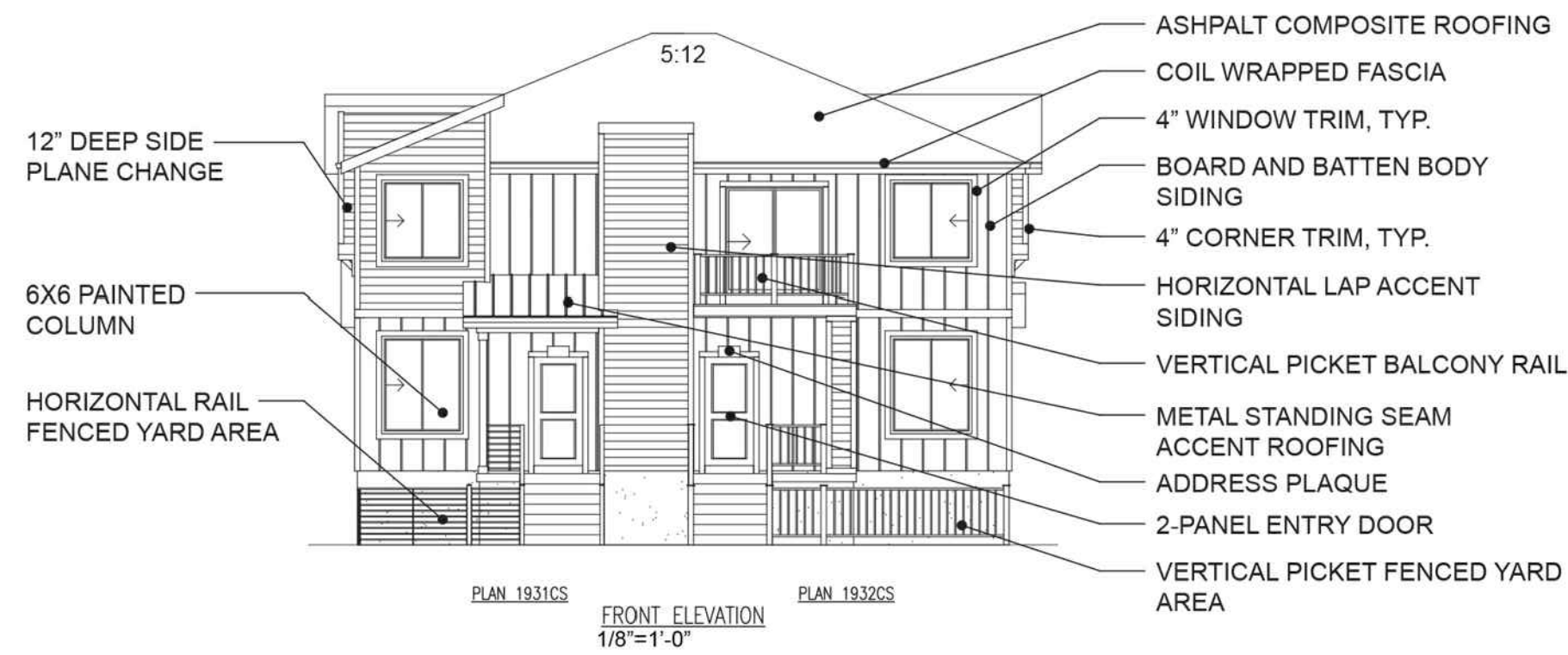
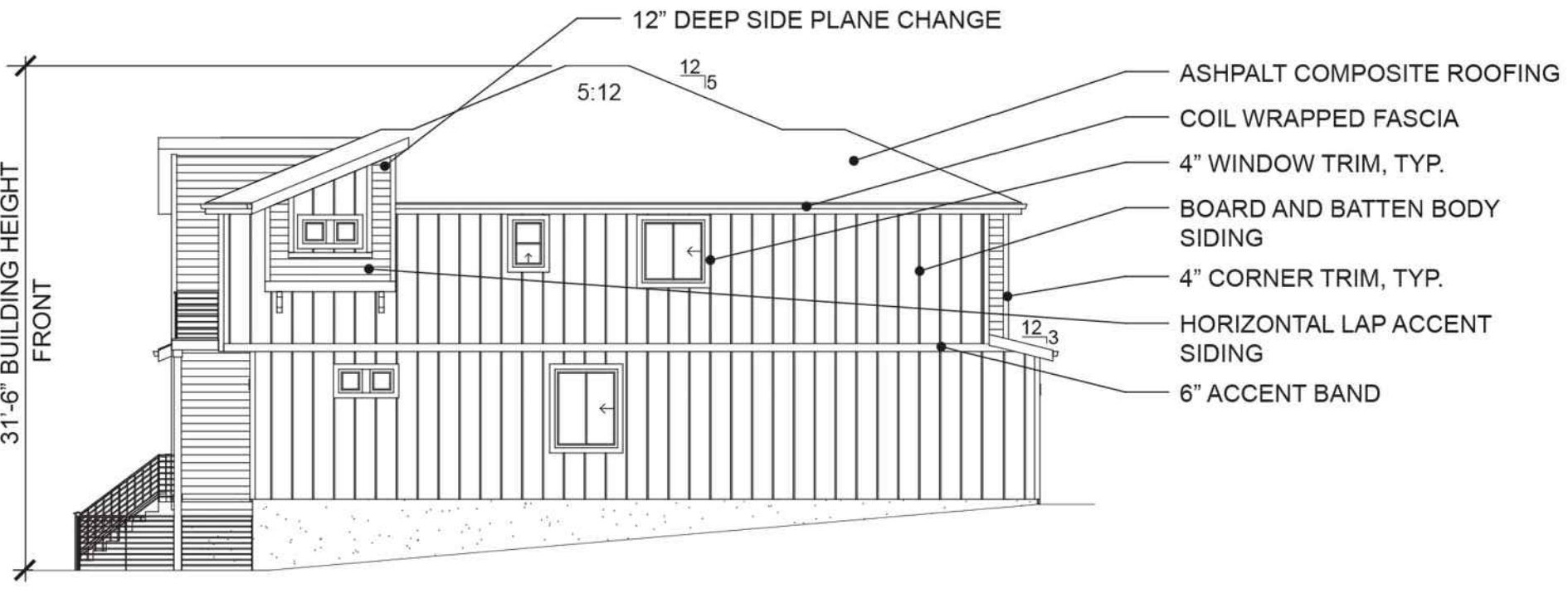
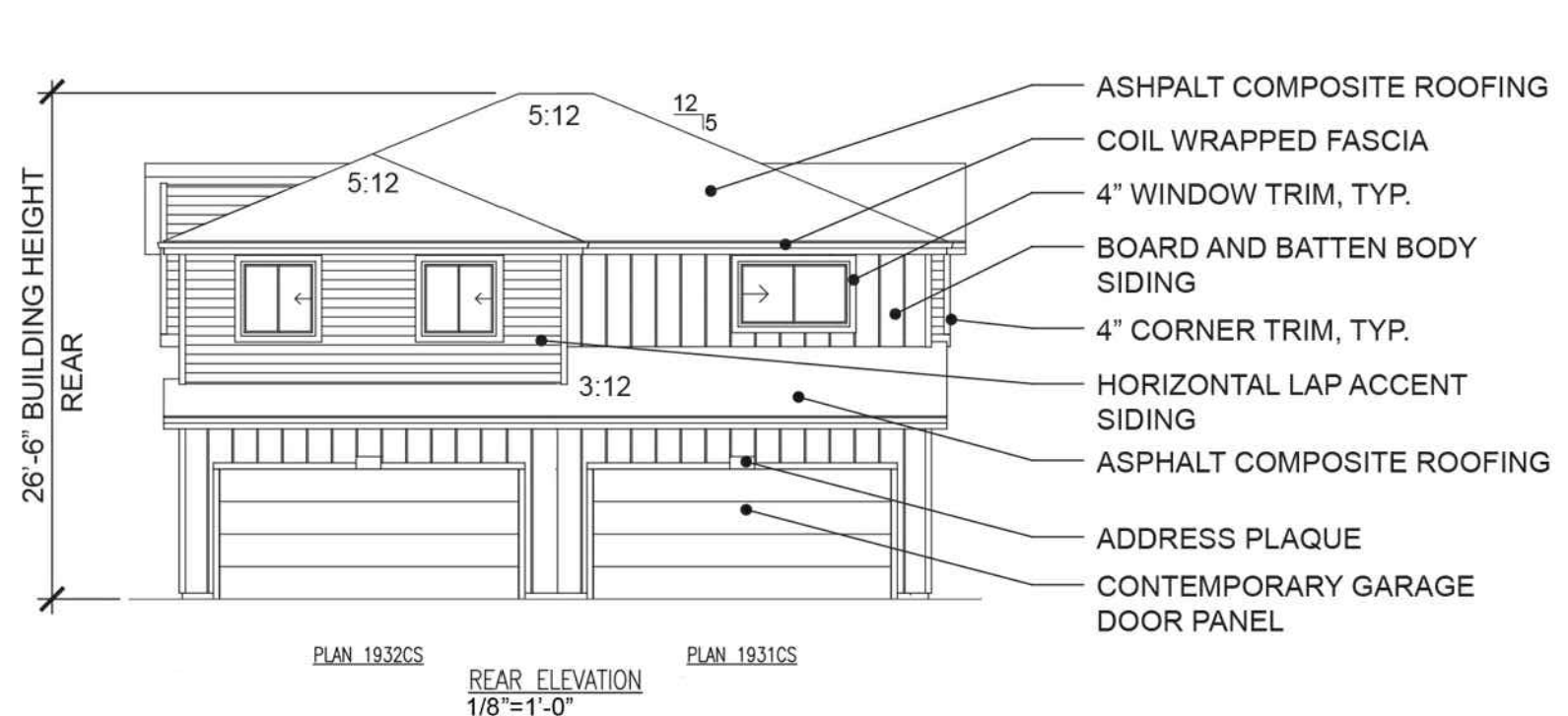
SHEET TITLE

BUILDING TYPE 1
ELEVATIONS

SHEET NUMBER

A1.2

SHEET 32 OF 37



SCHEME #1

BODY (BOARD AND BATTEN)
TEAK

ACCENT (HORIZONTAL SIDING)
SILVER MIST

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT WHIRLPOOL SW9135

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

SCHEME #2

BODY (BOARD AND BATTEN)
STONE MOUNTAIN CLAY

ACCENT (HORIZONTAL SIDING)
SAGEBROOK

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT BLACK FOX SW7020

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

SCHEME #3

BODY (BOARD AND BATTEN)
FLINT

ACCENT (HORIZONTAL SIDING)
ANTIQUE CINNABAR

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT PEACE YELLOW SW2857

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

SCHEME #4

BODY (BOARD AND BATTEN)
FLINT

ACCENT (HORIZONTAL SIDING)
ANTIQUE CINNABAR

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT FIREWEED SW6328

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



FRONT RIGHT CORNER VIEW (COLOR SCHEME 1 SHOWN)



FRONT LEFT CORNER VIEW (COLOR SCHEME 1 SHOWN)



REAR RIGHT CORNER VIEW (COLOR SCHEME 1 SHOWN)



FRONT LEFT CORNER VIEW (COLOR SCHEME 1 SHOWN)

NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
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DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
SEPTEMBER 20, 2021

REVISION DATES
AUGUST 27, 2024

SHEET TITLE

BUILDING TYPE 1
ELEVATIONS

SHEET NUMBER

A1.3

SHEET 33 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



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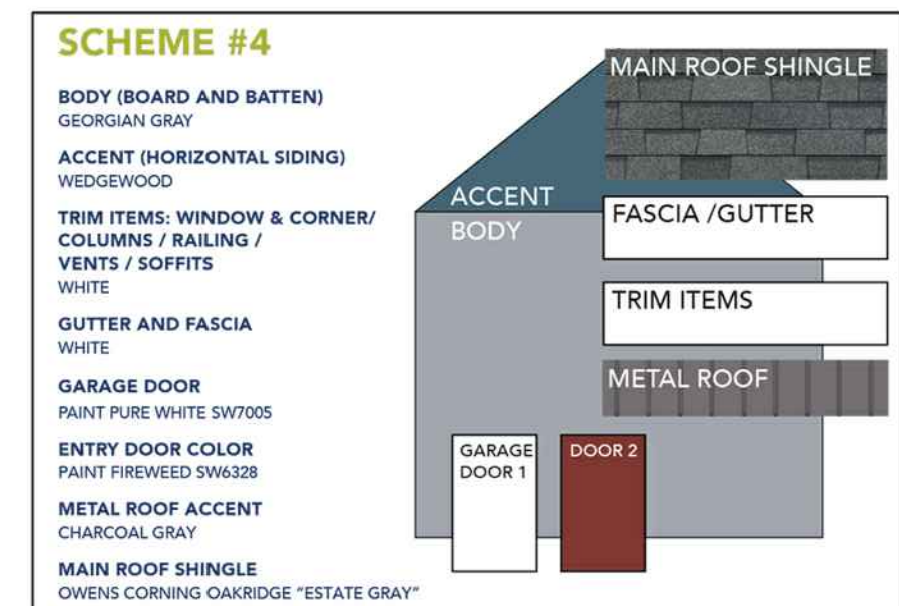
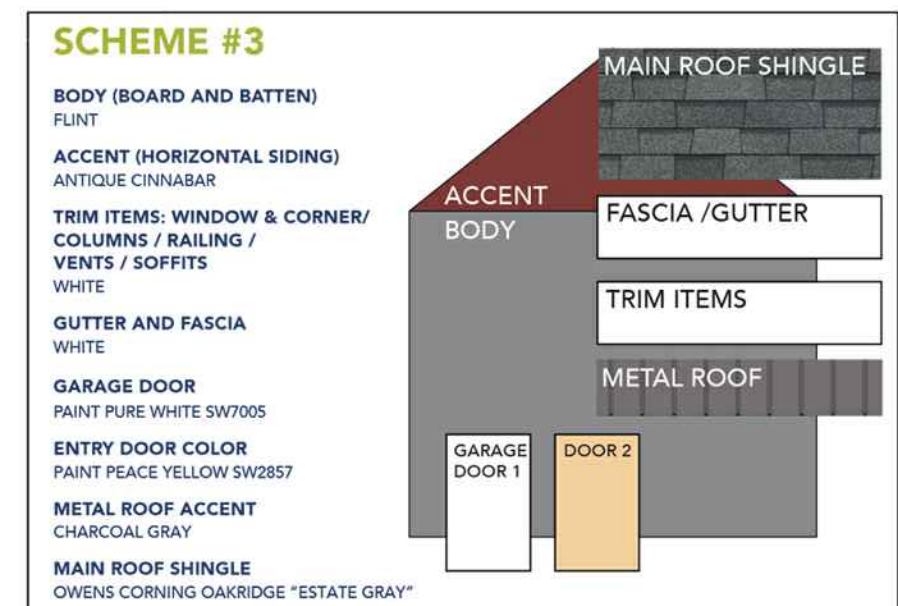
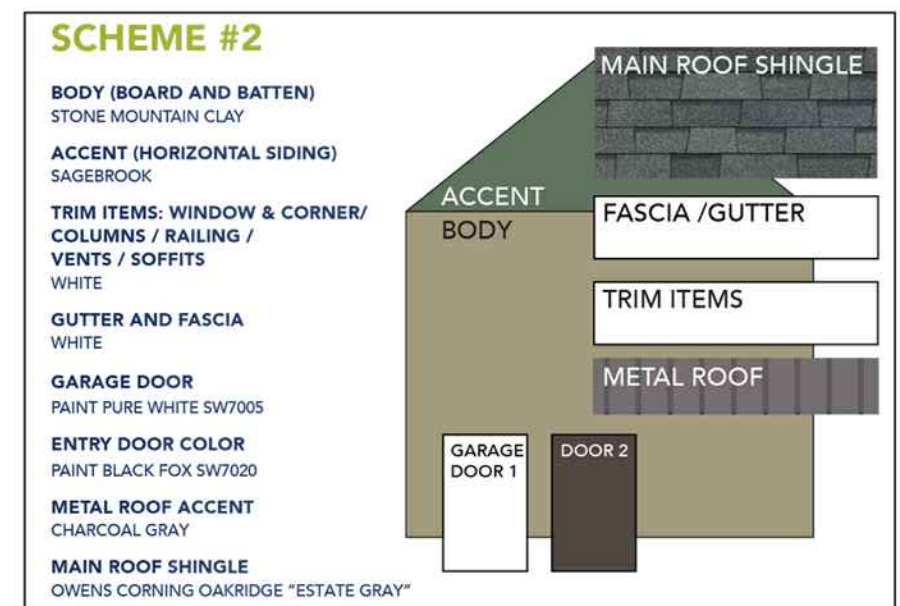
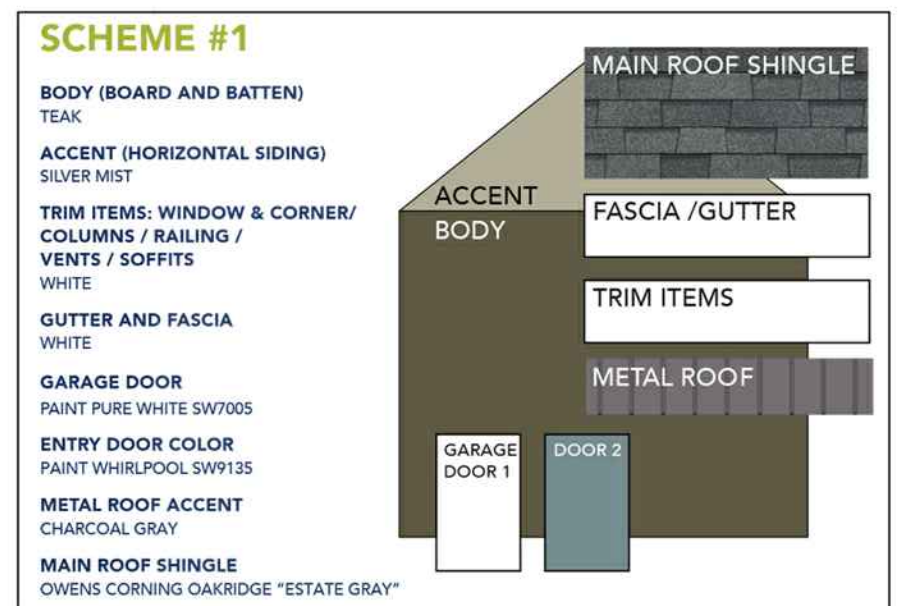
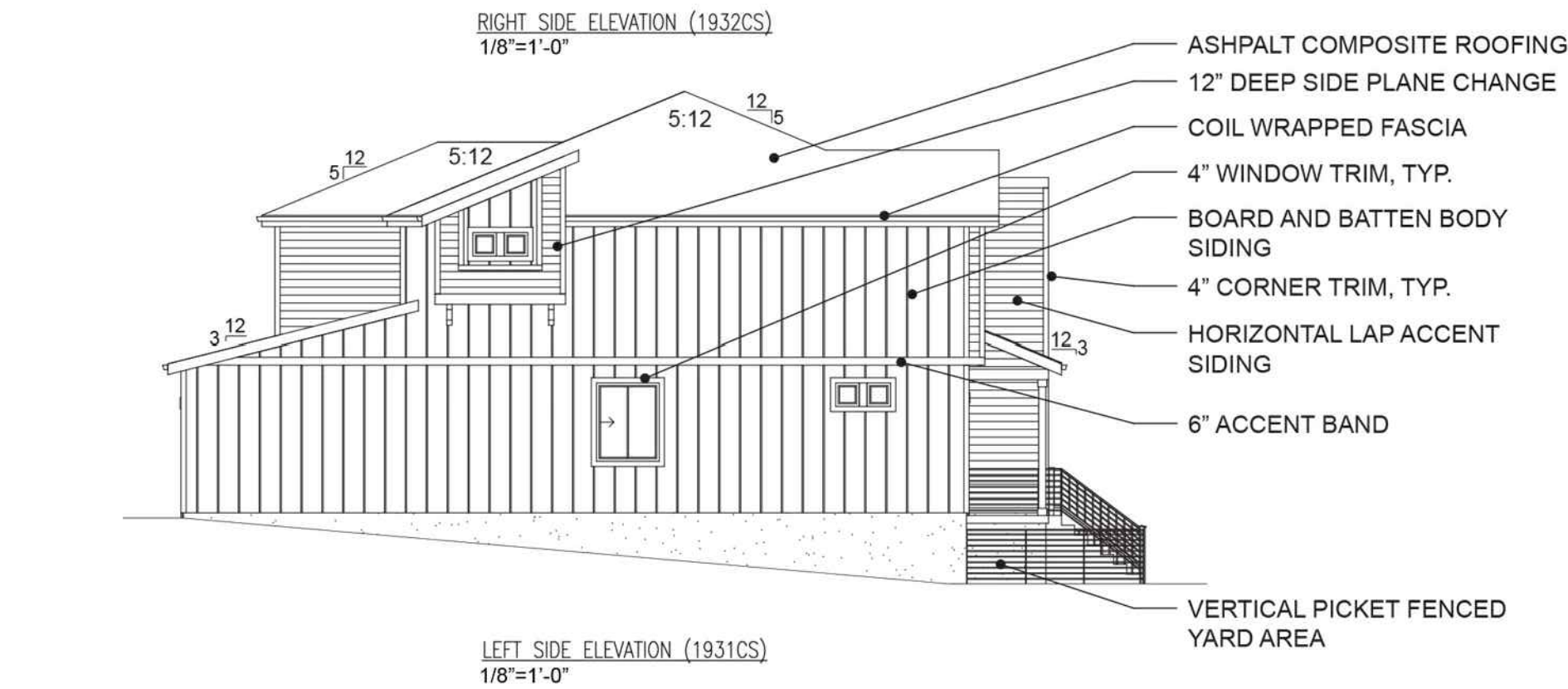
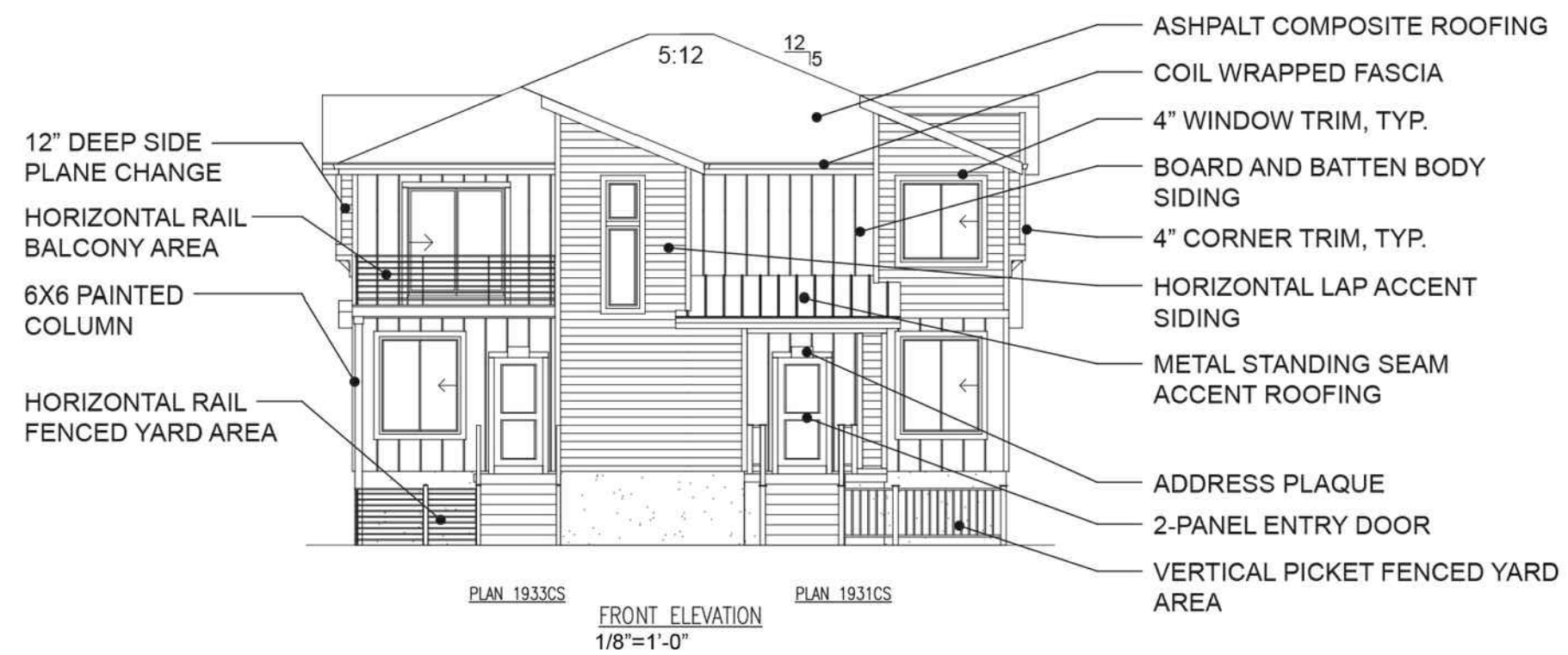
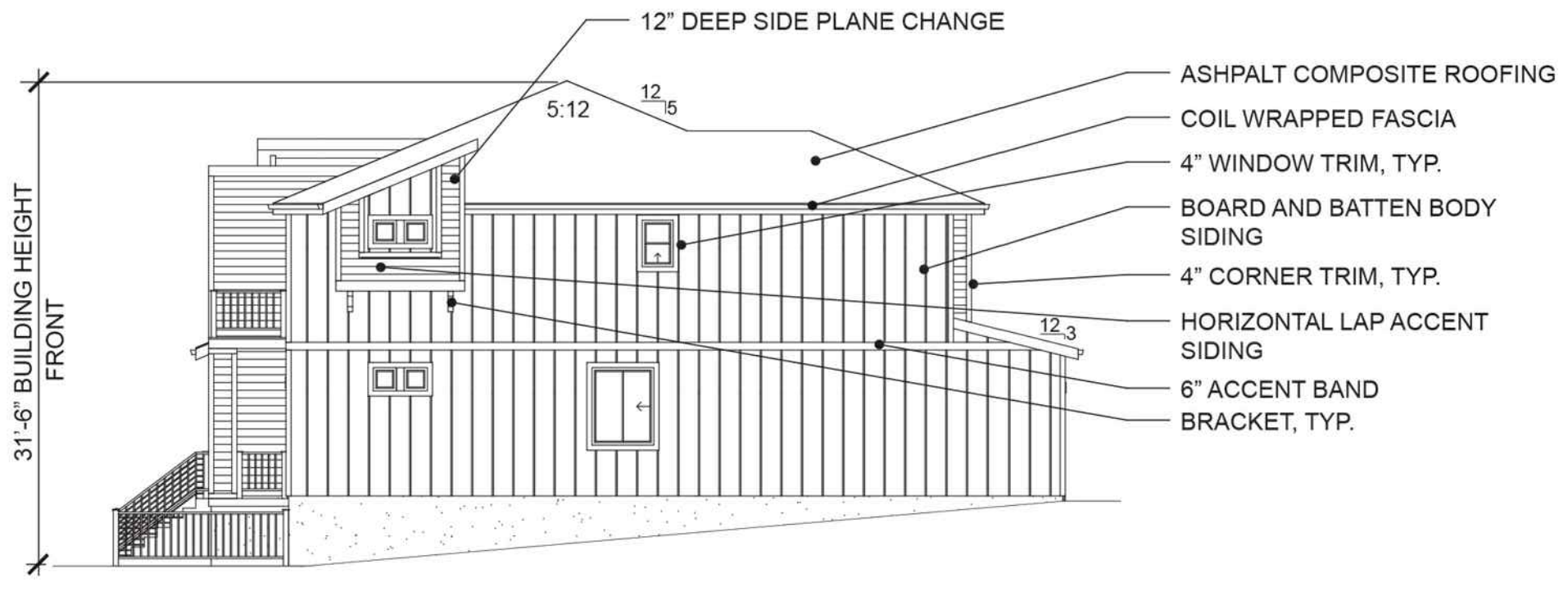
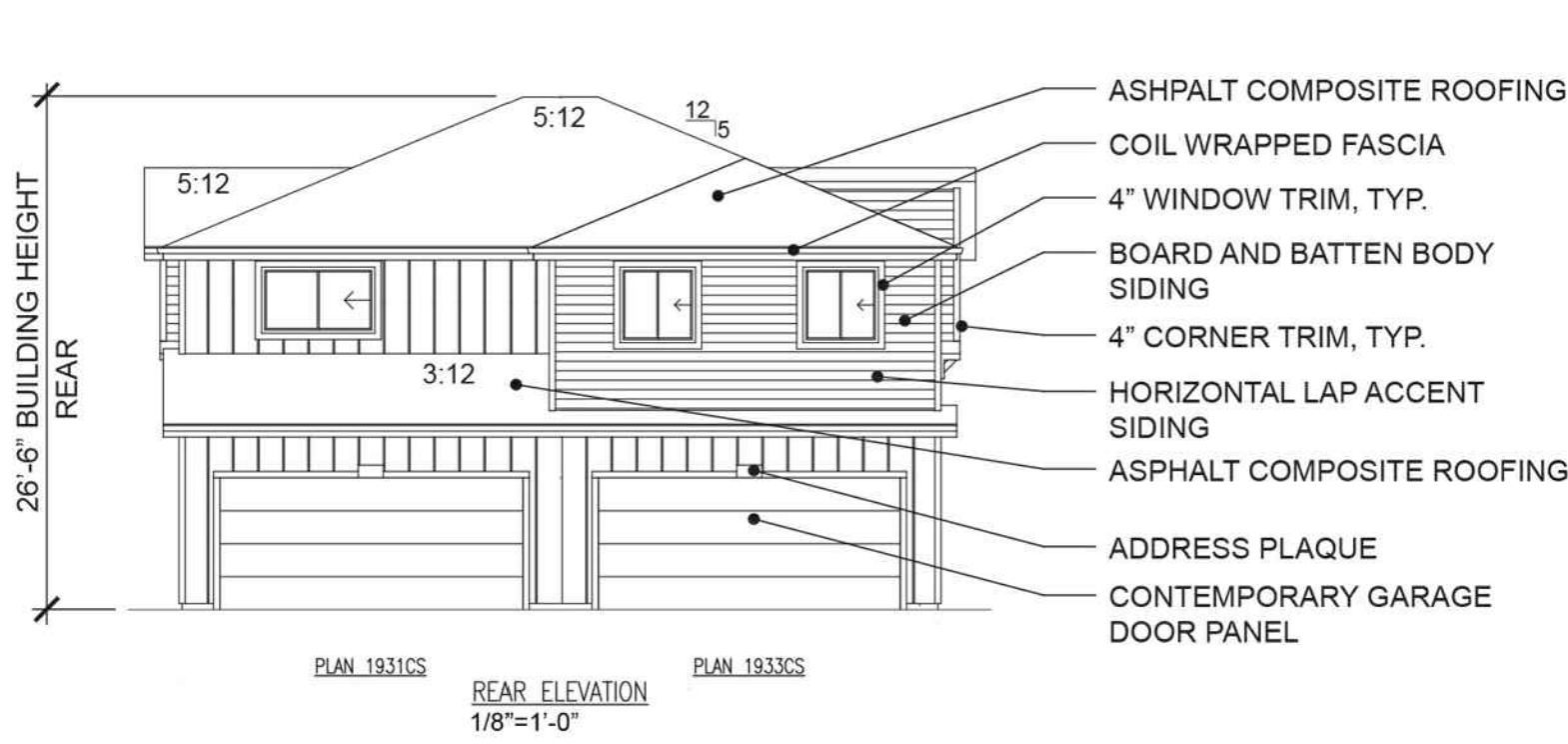
REVISION DATES
AUGUST 27, 2024

SHEET TITLE

BUILDING TYPE 2
ELEVATIONS

SHEET NUMBER

A1.4
SHEET 34 OF 37



NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT

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FRONT RIGHT CORNER VIEW (COLOR SCHEME 2 SHOWN)



FRONT LEFT CORNER VIEW (COLOR SCHEME 2 SHOWN)



REAR RIGHT CORNER VIEW (COLOR SCHEME 2 SHOWN)



FRONT LEFT CORNER VIEW (COLOR SCHEME 2 SHOWN)

NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS ____ DAY OF ____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE
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REVISION DATES
AUGUST 27, 2024

SHEET TITLE

BUILDING TYPE 2
ELEVATIONS

SHEET NUMBER

A1.5

SHEET 35 OF 37

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



ASSESSOR'S
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IDENTIFICATION
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A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

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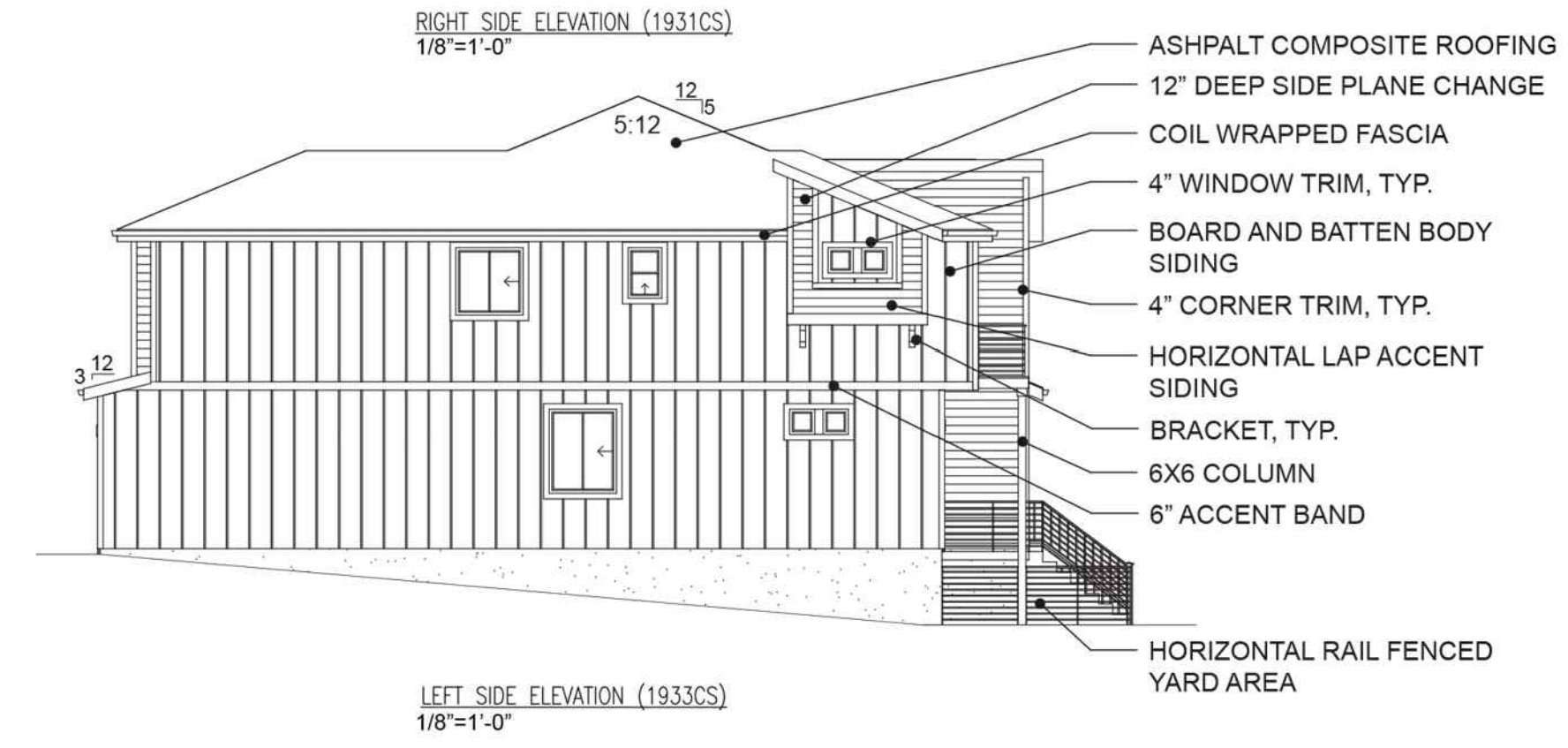
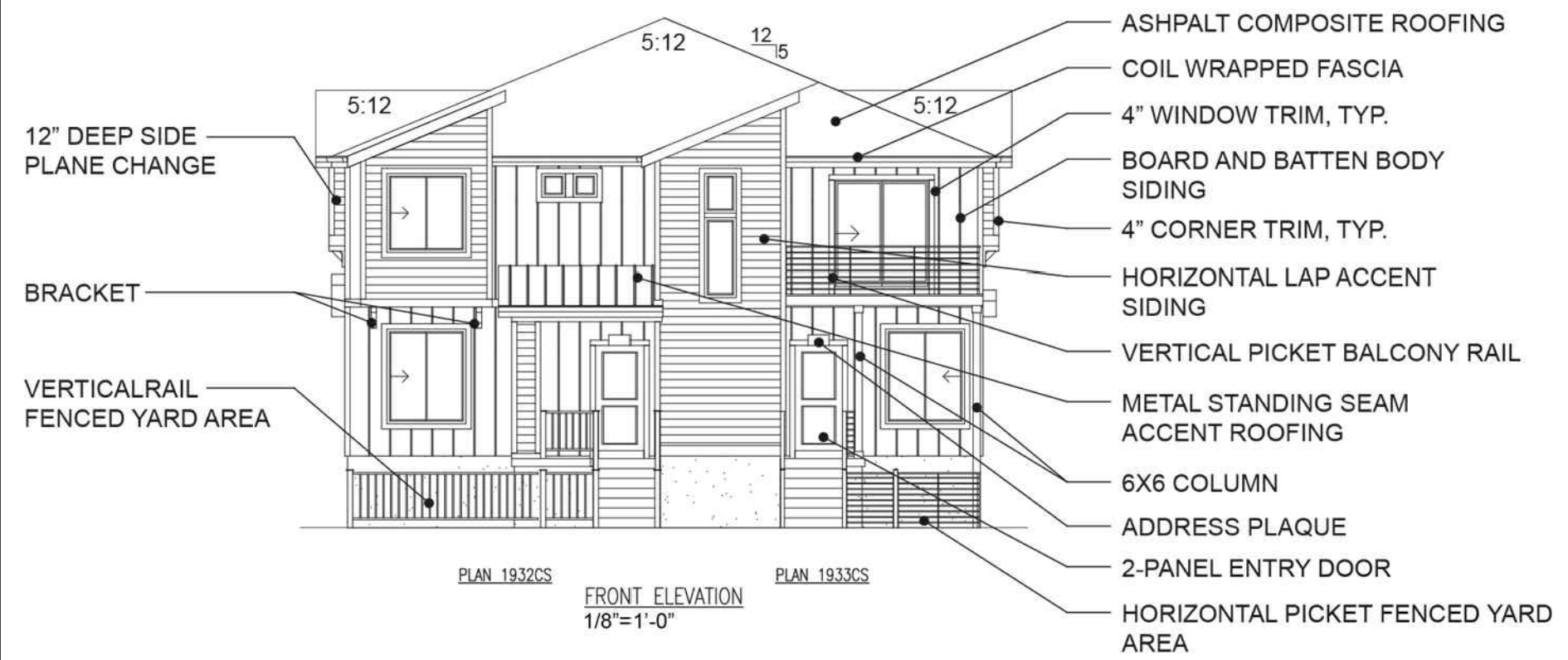
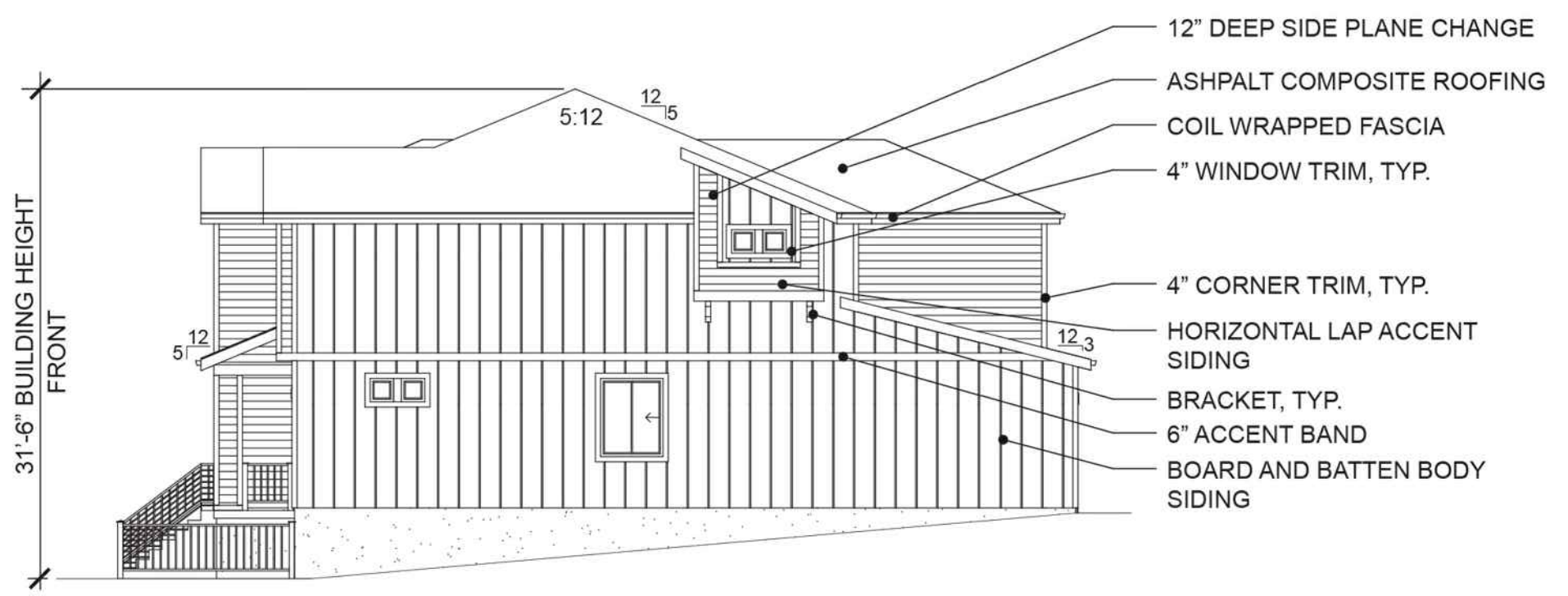
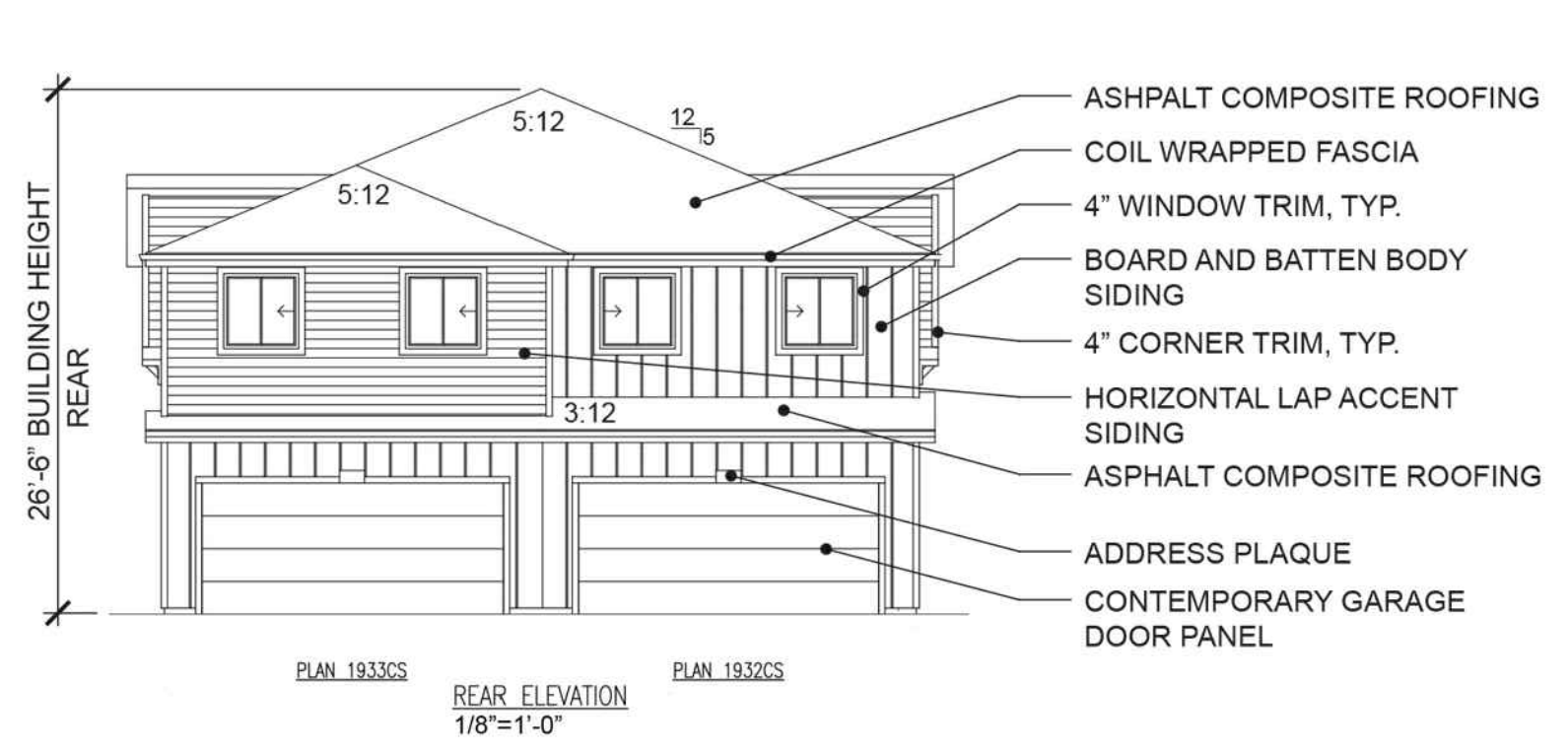
REVISION DATES
AUGUST 27, 2024

SHEET TITLE

BUILDING TYPE 3
ELEVATIONS

SHEET NUMBER

A1.6
SHEET 36 OF 37



SCHEME #1

BODY (BOARD AND BATTEN)
TEAK

ACCENT (HORIZONTAL SIDING)
SILVER MIST

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT WHIRLPOOL SW9135

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

SCHEME #2

BODY (BOARD AND BATTEN)
STONE MOUNTAIN CLAY

ACCENT (HORIZONTAL SIDING)
SAGEBROOK

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT BLACK FOX SW7020

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

SCHEME #3

BODY (BOARD AND BATTEN)
FLINT

ACCENT (HORIZONTAL SIDING)
ANTIQUE CINNABAR

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT PEACE YELLOW SW2857

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

SCHEME #4

BODY (BOARD AND BATTEN)
GEORGIAN GRAY

ACCENT (HORIZONTAL SIDING)
WEDGEWOOD

TRIM ITEMS: WINDOW & CORNER/
COLUMNS / RAILING /
VENTS / SOFFITS
WHITE

GUTTER AND FASCIA
WHITE

GARAGE DOOR
PAINT PURE WHITE SW7005

ENTRY DOOR COLOR
PAINT FIREWEED SW6328

METAL ROOF ACCENT
CHARCOAL GRAY

MAIN ROOF SHINGLE
OWENS CORNING OAKRIDGE "ESTATE GRAY"

NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT

REUNION CENTER FILING 1 AMENDMENT #2 P.U.D. PERMIT

A REPLAT OF TRACTS B AND O, REUNION CENTER FILING NO. 1, AMENDMENT NO. 1, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



FRONT RIGHT CORNER VIEW (COLOR SCHEME 3 SHOWN)



FRONT LEFT CORNER VIEW (COLOR SCHEME 3 SHOWN)



REAR RIGHT CORNER VIEW (COLOR SCHEME 3 SHOWN)



FRONT LEFT CORNER VIEW (COLOR SCHEME 3 SHOWN)

NOT FOR CONSTRUCTION

CITY STAFF CERTIFICATE
APPROVED BY THE DEPARTMENT OF COMMUNITY
DEVELOPMENT OF THE CITY OF COMMERCE CITY,
THIS _____ DAY OF _____, 2024.

DEPARTMENT OF COMMUNITY DEVELOPMENT



ASSESSOR'S
PARCEL
IDENTIFICATION
NUMBER:
0172309100012

REUNION CENTER FILING 1 AMENDMENT #2
P.U.D. PERMIT
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

ISSUE DATE

SEPTEMBER 20, 2021

REVISION DATES

AUGUST 27, 2024

SHEET TITLE

BUILDING TYPE 3
ELEVATIONS

SHEET NUMBER

A1.7

SHEET 37 OF 37