

VICINITY MAP



iVita Wellness
 5500 COLORADO BOULEVARD
 COMMERCE CITY, COLORADO 80022

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PROJECT CONTACTS

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PROJECT DESCRIPTION

PROPOSED MEDICAL MARIJUANA DISPENSARY, COMMERCE CITY, COLORADO.
 ASSESSOR'S PIN: 0182318200005

SURROUNDING USES

KELLY GUTTER, CO.
 CUSTOM GUTTER DESIGN AND PRODUCTION

COLORADO ASPHALT SERVICES, INC.
 FULL-SERVICE ASPHALT, CONCRETE, AND MAINTENANCE COMPANY.

DALCART & ASSOCIATES, INC.
 MANUFACTURER REPRESENTATIVE THAT SELLS STOCKS, AND DISTRIBUTES PLUMBING, HEATING, PIPE, VALVES AND FITTINGS TO WHOLESALE COMPANIES.

HARRIS REBAR
 FABRICATOR, INSTALLER AND DISTRIBUTOR OF CONCRETE REINFORCING STEEL AND RELATED PRODUCTS.

SPEEDCO
 LUBE AND TIRE SERVICES

TRIPPLE A MOTEL
 MEDIUM-SIZED MOTEL FACILITY COMPANY.

SHEPHERD ENTERPRISES, LTD.
 FREIGHT SHIPPING AND TRUCKING COMPANY.

PACEMETER COACH LINES
 CHARTER BUS SERVICE.

SUNSTATE EQUIPMENT
 PROVIDES CONSTRUCTION RENTAL EQUIPMENT AND TOOLS.

AMERICAN ROOFING SUPPLY, INC.
 STOCK AND SELL RESIDENTIAL AND COMMERCIAL ROOFING MATERIALS.

JOB PRECISION
 SERVICES FOR CUSTOM PLASTIC INJECTION MOLD DESIGN AND PART MANUFACTURING.

DENO'S 6 & 85 RESTAURANT
 STEAKHOUSE

NOTES

- (e.) Lighting: In the interest of compatibility of adjacent uses, the illumination of any kind on private property shall be directed and controlled in such a manner so that there shall be no direct rays of light which extend beyond the boundaries of the property from which it originates.
- (f.) Trash Enclosure: Trash enclosures shall be constructed to a minimum height of six (6) feet and of the same or complementary material and color as the main building.
- (g.) Screening: Roof mounted electrical and mechanical equipment shall be placed or screened such that the equipment is not visible from any point. Such equipment shall be screened with the same materials and colors as the main building.
- (h.) Signage: Approval of a sign permit is required in addition to development plan approval. Sign locations shown on the development plan shall be approved by the applicant with sign triangles and easements however, these signs will not be approved by the development plan review process or approval of this development plan. All signs must conform to the City of Commerce City's sign code.
- (i.) Fencing: Approval of a fence permit is required in addition to development plan approval. All fences must conform to the City of Commerce City's fencing requirements.
- (j.) Downspout: No roof downspout outlets will be allowed to drain over sidewalks, bike paths, or any other pedestrian route.
- (k.) Americans with Disabilities: The applicant has the obligation to comply with all applicable requirements of the American Disabilities Act. Approval of this development plan does not constitute approval of this development plan. The development plan does not constitute final approval of grading, drainage, utility, public improvements and building plans. These plans must be reviewed and approved by the appropriate agency prior to the issuance of building permits.
- (l.) Underground Utility: All overhead utilities serving this site must be placed underground per Land Development Code.

BUILDING CODE INFORMATION

- REFERENCES:**
- 2009 IBC, 2011 CC AMENDMENT TO THE 2009 INTERNATIONAL CODES
 - 2009 IPC, 2009 IMC, 2011 NEC, NEFA CODE 72
 - ANSI A117.1, 2003 ADA FED STANDARDS

PROJECT ADDRESS: 5500 COLORADO BOULEVARD
 COMMERCE CITY, CO 80022

ZONING: I-2

BUILDING USE: MERCANTILE

OCCUPANCY CLASSIFICATION:

AREA CALCULATION
 TOTAL= 1100 SF (GROSS)

CITY STAFF CERTIFICATE:
 Approved by the Department of Community Development of the City of Commerce City, this day of _____, A.D., _____



ALL LANDSCAPING IN THE CDOT ROW WILL BE DEPENDENT ON CDOT REVIEW AND APPROVAL

GALVANIZED STEEL BORDER WITH TOP CAP. PURGE ALL VEGETATION OTHER THAN SHRUBBERY FROM ROCK AREA AND ROTOTILL TO 4" DEPTH PRIOR TO COVERING AT 2" MINIMUM OR AS RECOMMENDED BY COMMERCE CITY LANDSCAPING STANDARDS. TYP. ALL MULCH BEDS

GALVANIZED STEEL BORDER. PURGE ALL VEGETATION OTHER THAN SHRUBBERY FROM ROCK COVERED AREA AND ROTOTILL TO 4" DEPTH PRIOR TO MULCHING AT 2" MINIMUM OR AS RECOMMENDED BY COMMERCE CITY LANDSCAPING STANDARDS. TYP. PLANTING BEDS

PARKING CALCULATIONS
 1,100 SF RETAIL (1:30) = 3 SPACES REQUIRED
 PROPOSED: 4 SPACES + (1 ADA SPACE)

AREA CALCULATIONS
 TOTAL GROSS ACREAGE: 6.08
 TOTAL NET ACREAGE: 5.11
 TOTAL SITE NET AREA: 264,869 SF
 TOTAL BUILDING AREA: 82,629 SF
 BUILDING PERCENTAGE OF SITE NET AREA: 31%
 TOTAL FAR: .31

NOTE ON SURFACING:
 ALL AREAS NOTED AS EXISTING PAVING ARE CURRENTLY ASPHALT PAVING UNLESS NOTED OTHERWISE.

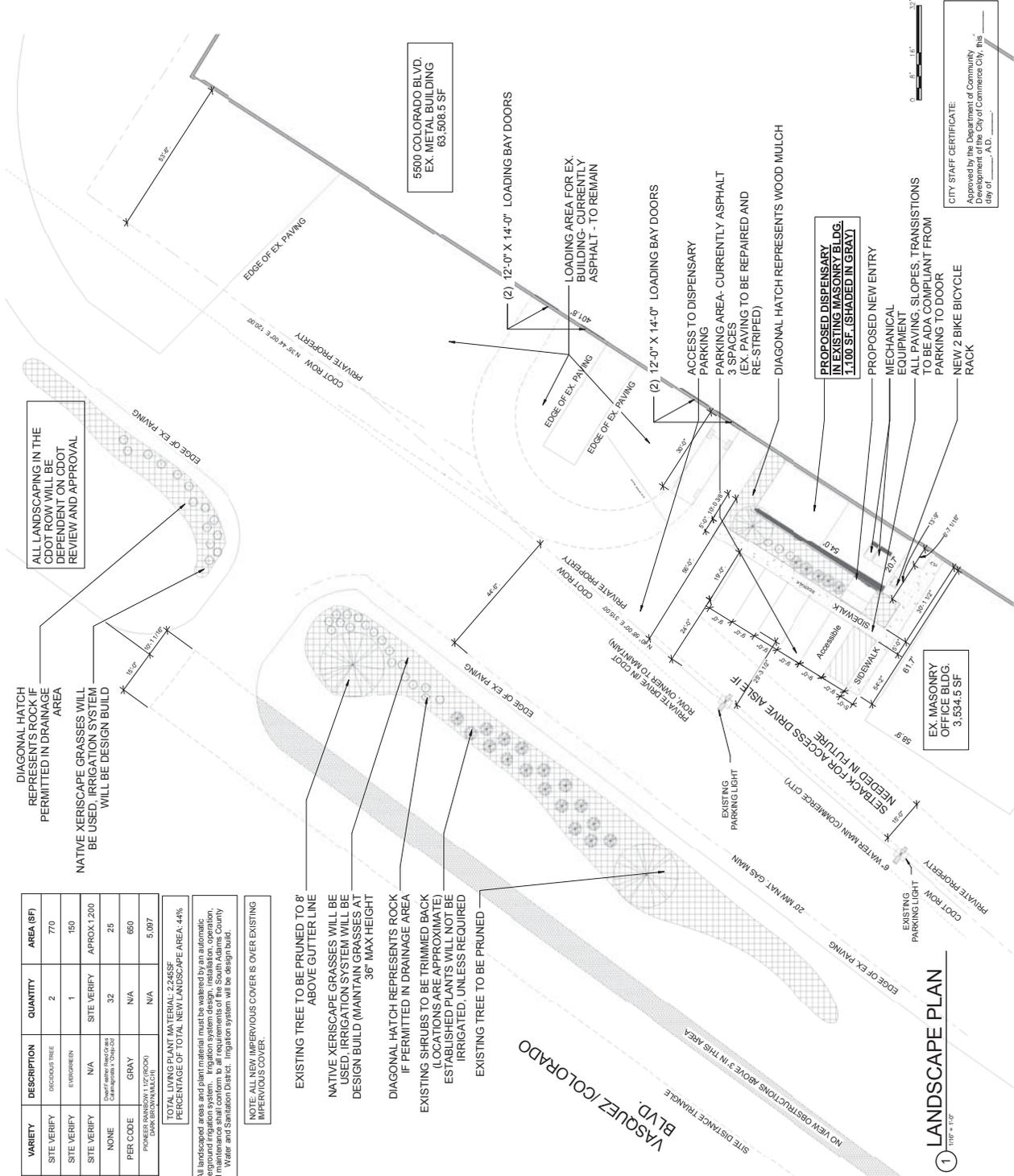
ALL AREAS WHERE CHANGES ARE BEING MADE IN RELATION TO THIS PROJECT INCLUDING REQUIRED OFF-STREET PARKING, DRIVEWAYS, TURNAROUNDS, AND ACCESS DRIVES OF PARKING AREAS SHALL BE SURFACED WITH HOT-MIX ASPHALT, CONCRETE, OR OTHER SURFACE MATERIAL APPROVED BY THE CITY ENGINEER SO AS TO PROVIDE A DURABLE AND DUST FREE SURFACE, AND SHALL BE SO GRADED AND FINISHED AS TO PREVENT STORMWATER ACCUMULATION UNDER THE DRIVEWAY, PAVING MATERIAL (E.G. GRASS-CRETE, ECO-STONE) OR POROUS PAVEMENT IS ENCOURAGED TO REDUCE STORMWATER RUNOFF. GRAVEL SHALL NOT BE ALLOWED. PAVING THICKNESS SHALL BE IN COMPLIANCE WITH THE ECCS. AT A MINIMUM, OUTDOOR STORAGE AREAS SHALL BE PAVED WITH RECYCLED ASPHALT OR OTHER ROAD BASE.

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1 **SITE PLAN**
 1" = 30.0'





ALL LANDSCAPING IN THE C&G ROW WILL BE DEPENDENT ON C&G REVIEW AND APPROVAL

DIAGONAL HATCH REPRESENTS ROCK IF PERMITTED IN DRAINAGE AREA
 NATIVE XERISCAPE GRASSES WILL BE USED. IRRIGATION SYSTEM WILL BE DESIGN BUILD

SYMBOL	STATUS	NAME	VARIETY	DESCRIPTION	QUANTITY	AREA (SF)
	EXISTING	TREE	SITE VERIFY	DECIDUOUS TREE	2	770
	EXISTING	TREE	SITE VERIFY	EVERGREEN	1	150
	EXISTING	SHRUB	SITE VERIFY	N/A	SITE VERIFY	APPROX. 1,200
	NEW	GRASS	NONE	Chief native (mixed grass) (Luzula sp.) (dry mix)	32	25
	NEW	CONCRETE	PER CODE	GRAY	N/A	650
	NEW	ROCK	PRIMER RAINBOW 1 1/2" (ROCK) (DRY MIX/MULCH)		N/A	5,087

TOTAL LIVING PLANT MATERIAL: 2,246 SF
 PERCENTAGE OF TOTAL NEW LANDSCAPE AREA: 44%

All landscaped areas and plant material must be watered by an automatic underground irrigation system. Irrigation system design, installation, operation, and maintenance shall conform to all requirements of the South Adams County Water and Sanitation District. Irrigation system will be design build.

NOTE: ALL NEW IMPERVIOUS COVER IS OVER EXISTING IMPERVIOUS COVER.

- EXISTING TREE TO BE PRUNED TO 8' ABOVE GUTTER LINE
- NATIVE XERISCAPE GRASSES WILL BE USED. IRRIGATION SYSTEM WILL BE DESIGN BUILD (MAIN PASSES 36" MAX HEIGHT)
- DIAGONAL HATCH REPRESENTS ROCK IF PERMITTED IN DRAINAGE AREA
- EXISTING SHRUBS TO BE TRIMMED BACK (LOCATIONS ARE APPROXIMATE) ESTABLISHED PLANTS WILL NOT BE IRRIGATED, UNLESS REQUIRED
- EXISTING TREE TO BE PRUNED

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Required Landscape Plan Notes (must be included on all approved landscape plans in the general notes section).

- MINIMUM PLANT SIZE REQUIREMENTS AND SOIL PREPARATION:** Minimum plant size requirements are 2-inch diameter (caliper) for deciduous trees, 1.5-inch diameter for ornamental trees and 5-foot height for evergreen trees. Minimum size requirements for shrubs is #5 gallon container, ornamental grasses one gallon container, perennials and ground covers 2 1/4 pots. Plants should be mixed approximately 50% coniferous (evergreen) and 50% deciduous (free lawn areas between curbs and detached walks shall be all deciduous shade trees). Minimum soil preparation for planting shall be 5 cubic yards of organic soil amendment filled to a depth of 6 inch for every 1,000-square feet of landscape area.
- STREET TREES:** The Department of Community Planning and Development Services has identified specific deciduous tree species to be planted within tree lawn areas. All trees chosen for tree lawn applications must be selected from the approved City list.
- WEED BARRIER:** Porous weed fabric must be used in planted beds for weed prevention, because it allows ventilation for roots and transmission of water. Plastic weed barriers in any planted area will not be approved.

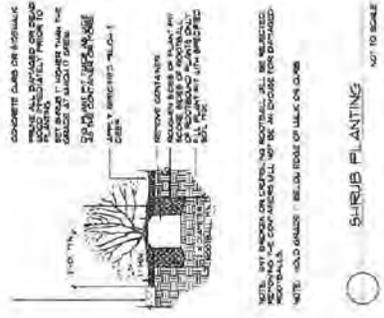
- EDGING:** Plastic or fiberglass edging is favorable to metal. However, metal edging may be used provided it has a rollover top or a protective cap is installed.
- MAINTENANCE:**
 - The developer, his successors and assigns, shall be responsible for installation, maintenance and replacement of all landscaping materials shown or indicated on the approved site plan, or landscape development plan, or landscape plan, including those areas found in the right-of-way. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, pest control, and replacement of dead or diseased plant material. Replacement for dead or diseased plant material shall be of the same type of plant material as set forth in the approved site plan; for example, a tree must replace a tree, a shrub must replace a shrub, etc. Replacement shall occur in the next planting season, but in any event, such replacement time shall not exceed one (1) year.

- This approved site plan, development plan, or landscape plan shall be on file in the planning department. All landscaping will be installed as delineated on the plan, prior to issuance of any certificate of occupancy.
- SIGHT LINE CONSIDERATIONS:** Any area determined by the City Engineer to be within a sight-distance-triangle may not contain plant material that at the time of planting or at maturity exceeds 36 inches above the gutter flow line except trees which must be limbed to 8 ft. at adequate maturity. Trees shall be planted a minimum of ten ft. from intersections and fifteen ft. from light or utility poles. All other landscape features shall not exceed 36 inches within sight-distance-triangles. Information on sight distance triangles may be obtained from The City of Commerce City Engineering Standards and Specifications – Section 3.03.2 Table 3-1.
- IMPLEMENTATION AND COORDINATION OF LANDSCAPE PLAN:** The developer shall ensure that the landscape plan is closely coordinated with plans prepared by other consultants so that the proposed grading, storm drainage or other construction does not conflict with or preclude the installation and maintenance of landscape elements as designated on the landscape plan.

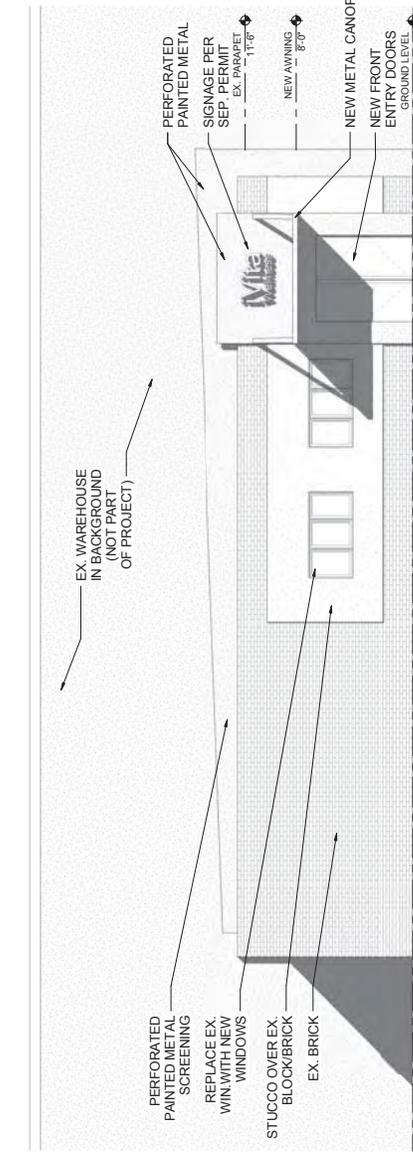
- IRRIGATION:** All landscaped area and plant materials, except for non-irrigated native, restorative, and dryland grass areas must be watered by an automatic underground irrigation system. Irrigation system design, installation, operation, and maintenance shall conform to the requirements of South Adams County Water and Sanitation District. Approval of this landscape plan does not constitute approval from South Adams County Water and Sanitation District for any irrigation system. All irrigation plans, or portions thereof, designed for public right-of-ways shall specify parts/components from the City approved irrigation parts/component list.
- NATIVE GRASS NOTE:** All areas of the lot not paved or formally landscaped, shall be, at a minimum, seeded with native grasses.
- VEHICLE PARKING NOTE:** No vehicle parking is allowed in any landscape treatment area.

- The following irrigation notes **must** appear on all landscape plans:
- All planting beds for trees, shrubs, perennials, ground covers, etc., must be drip- bubbler/emitter irrigation.
 - Rotary spray heads should be used when practical for all turf areas.
 - A rain sensor(s) must be installed in all irrigation systems (South Adams County Water and Sanitation District [SACWSD] requirement).
 - Strip type nozzles must be used to irrigate turf/soil within tree lawn areas.
 - A maximum of 60 lbs. p.s.i. (at head) design pressure (SACWSD recommendation).

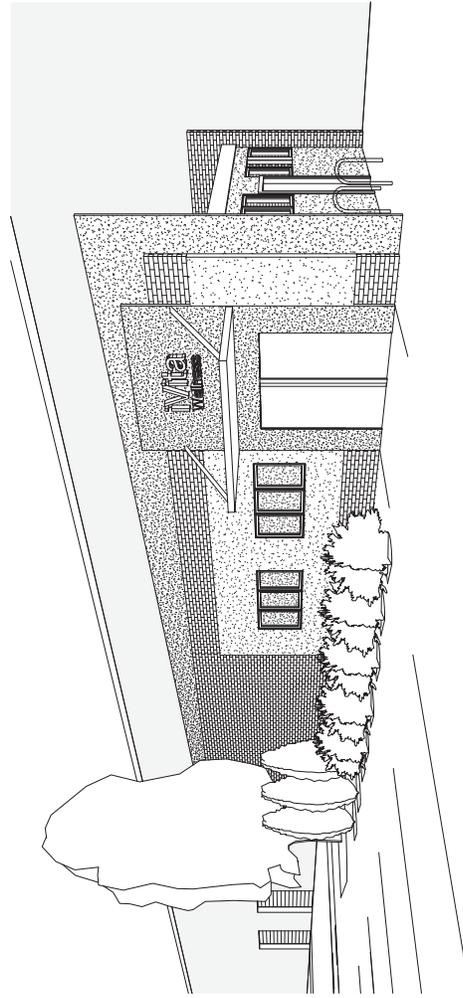
PLANTING SPECIFICATIONS – SHRUBS



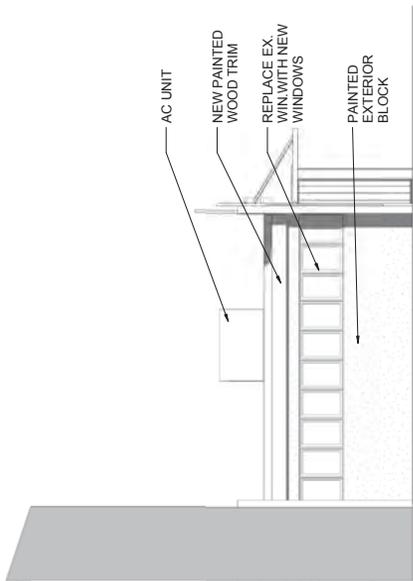
CITY STAFF CERTIFICATE:
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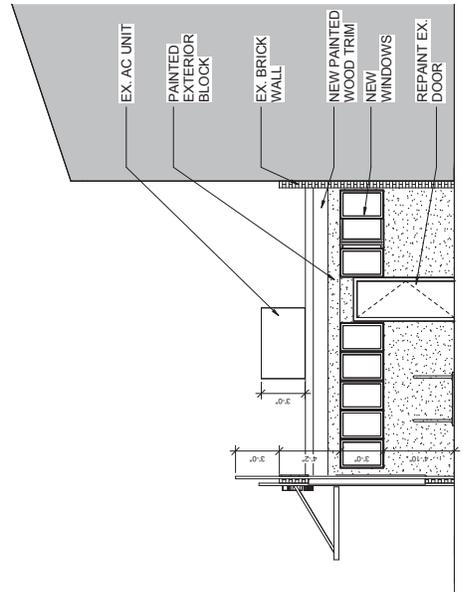
2 FRONT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



1 LEFT ELEVATION
1/8" = 1'-0"

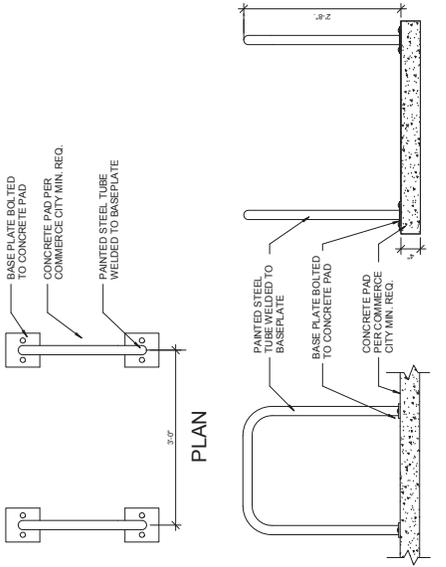


3 RIGHT ELEVATION
1/8" = 1'-0"

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 Development on _____ day of _____, A. D. _____

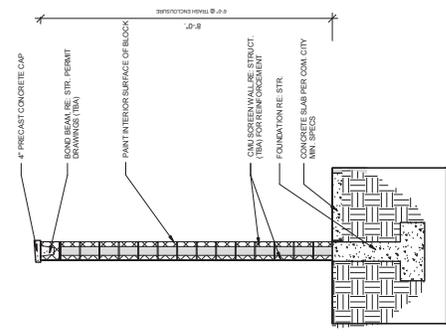
NOTE: BACK ELEVATION IS JOINED TO BUILDING BEHIND.

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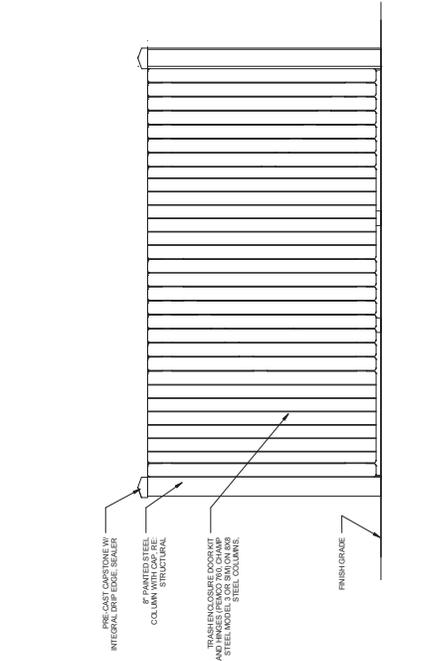


FRONT

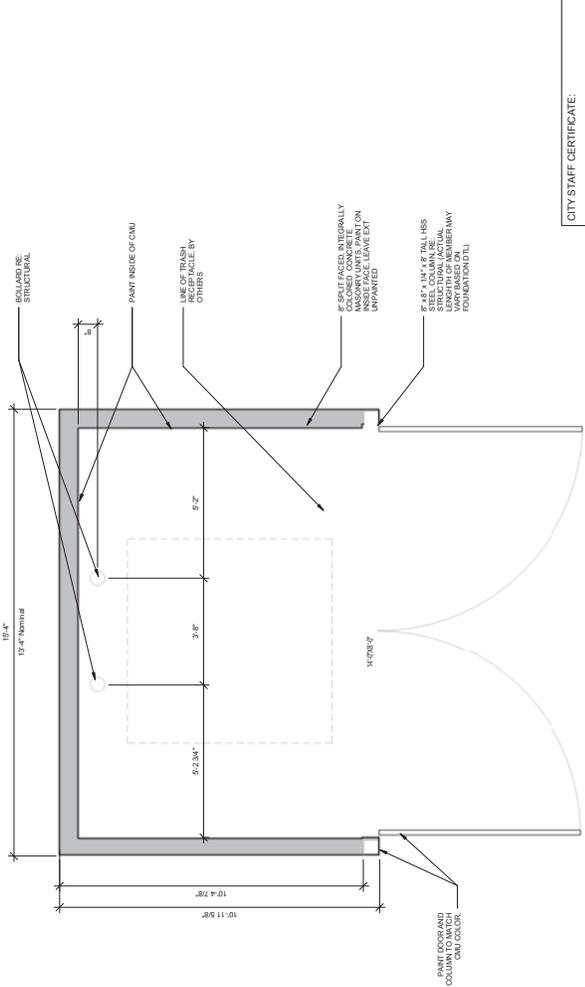
② **INVERTED U RACK - DETAIL**
 1/2" = 1'-0"



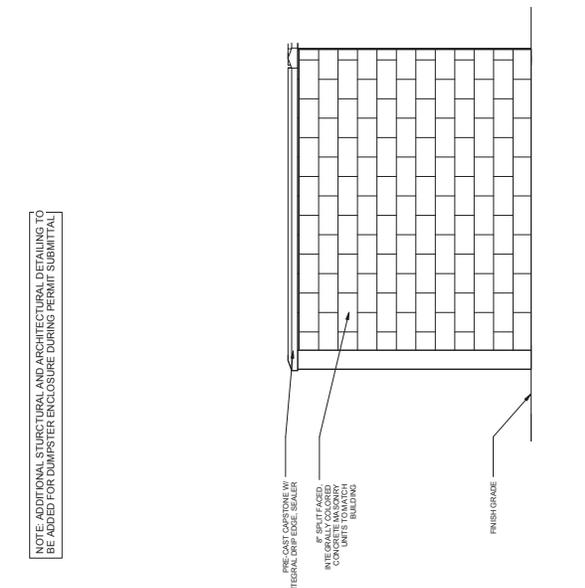
① **DUMPSTER ENCLOSURE SECTION**
 1/2" = 1'-0"



③ **DUMPSTER ENCLOSURE - FRONT ELEVATION**
 1/2" = 1'-0"



⑤ **DUMPSTER ENLARGED PLAN**
 1/2" = 1'-0"



④ **DUMPSTER ENCLOSURE - SIDE ELEVATION**
 1/2" = 1'-0"

NOTE: ADDITIONAL STRUCTURAL AND ARCHITECTURAL DETAILING TO BE ADDED FOR DUMPSTER ENCLOSURE DURING PERMIT SUBMITTAL